

# SAMPLE RESIDENCE ADDITION/REMODEL

8582 LONG LAKE ROAD, PORT ORCHARD, WA 98367

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## ABBREVIATIONS (NOT ALL ABBREVIATIONS MAY BE USED)

A.F.F.	ABOVE FINISHED FLOOR
C.F.M.	CUBIC FEET PER MINUTE
CONC.	CONCRETE
DN.	DOWN
D.S.	DOWNSPOUT
D/W	DISHWASHER
E.F.	EXHAUST FAN
F.F.	FINISHED FLOOR
MFR.	MANUFACTURER
MIN.	MINIMUM
P.T.	PRESSURE TREATED
R.	RISERS
R&S	ROD AND SHELF
REFR.	REFRIDGERATOR
S.C.	SOLID CORE
S.F.	SQUARE FEET
TMP.	TEMPERED GLAZING
TY.	TYPICAL
VFY.	VERIFY

## SCOPE OF WORK

INTERIOR REMODEL OF EXISTING HOME ON BOTH FLOOR LEVELS, TO INCLUDE MASTER BED/BATH/CLOSET ADDITION IN EXISTING ATTACHED GARAGE, RELOCATION OF INTERIOR STAIR, KITCHEN REMODEL, AND NEW SHARED BATH ON MAIN LEVEL. NO EXTERIOR WORK EXCEPT INFILL OF EXISTING OPENINGS AND INSTALLATION OF NEW OPENINGS.

## 1. SITE DATA

### A. STREET ADDRESS

8582 LONG LAKE ROAD, PORT ORCHARD, WA 98367

### B. LEGAL DESCRIPTION

THAT PORTION OF GOVERNMENT LOT 2 SECTION 20, TOWNSHIP 23 NORTH, RANGE 2 EAST, W.M. DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE WEST SIDE OF LONG LAKE COUNTY ROAD, THAT IS SOUTH 1°32'36" WEST 855 FEET FROM THE NORTH LINE OF SAID SECTION 20; THENCE PARALLEL TO THE NORTH SECTION LINE RUNNING NORTH 89°16'48" EAST 435.65 FEET; THENCE SOUTH 63°38' EAST 303.98 FEET; THENCE NORTH 35°13' WEST 20 FEET TO THE POINT OF BEGINNING; SITUATE IN THE COUNTY OF KITSAP, STATE OF WASHINGTON

### C. PARCEL NUMBER(S)

202302-2-007-2002

## 2. BUILDING CODE

### A. APPLICABLE CODES

2015 INTERNATIONAL RESIDENTIAL CODE

### B. USE

RESIDENCE

### C. CONSTRUCTION TYPE

TYPE V  
WOOD FRAMED

### D. AREA OF BUILDING (SF)

	MAIN LEVEL	LOWER LEVEL	TOTAL AREA
EXISTING:	1,630 S.F.	1,177 S.F.	2,807 S.F.
PROPOSED:	514 S.F.	0 S.F.	514 S.F.
TOTAL:	2,144 S.F.	1,177 S.F.	3,321 S.F.

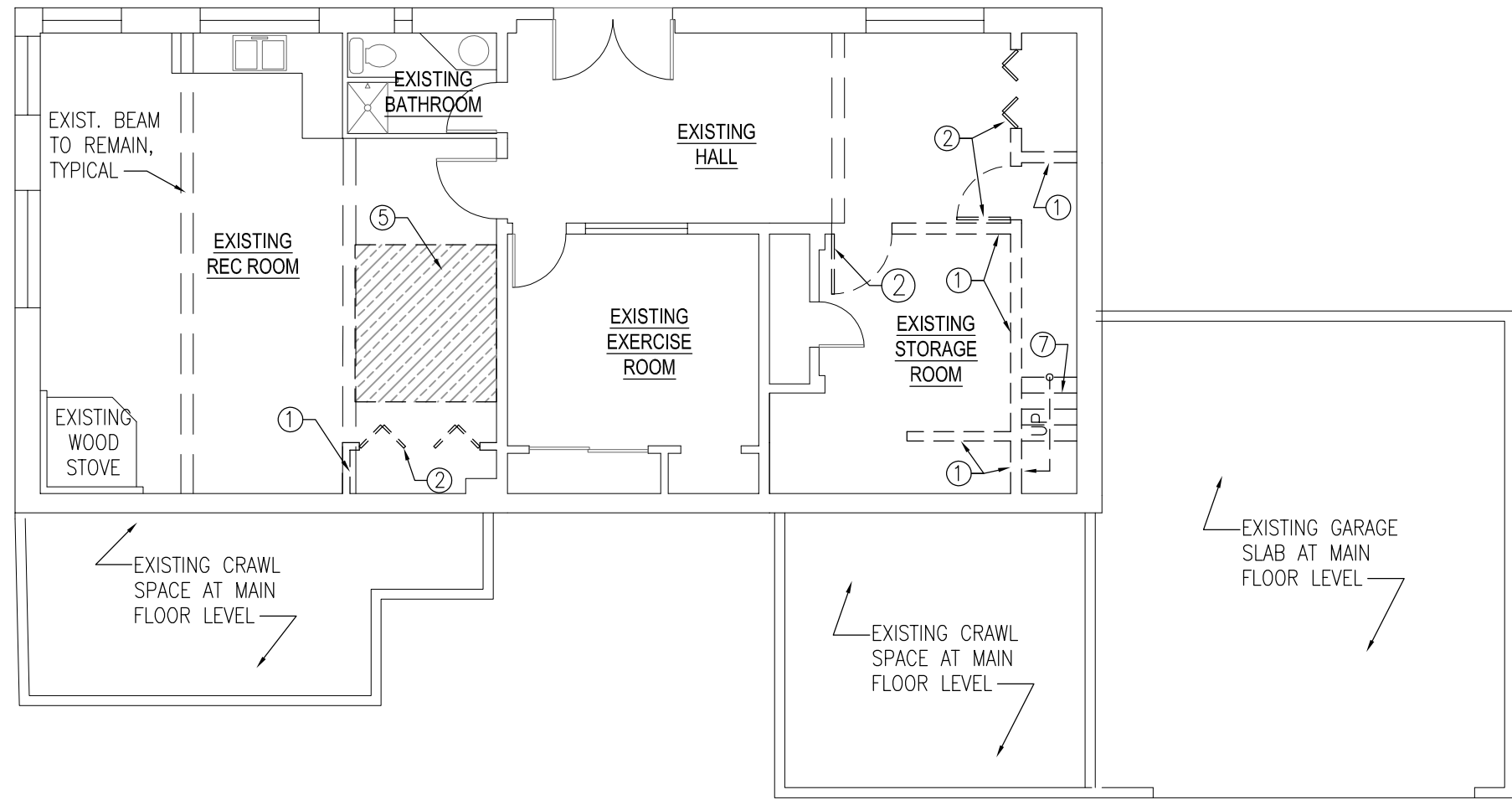
Subject To Field Inspection

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
gshapiro@co.kitsap.wa.us  
10/05/2020

Validity of permit. The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the International Codes or any other ordinance of Kitsap County. Permits presenting to give authority to violate or cancel the provisions of the International Codes and ordinances of Kitsap County shall not be valid. IRC & IRC 105

CHANGES  
MUST Be Approved Prior  
To Performing Work

Must Comply With  
All Washington  
State Codes

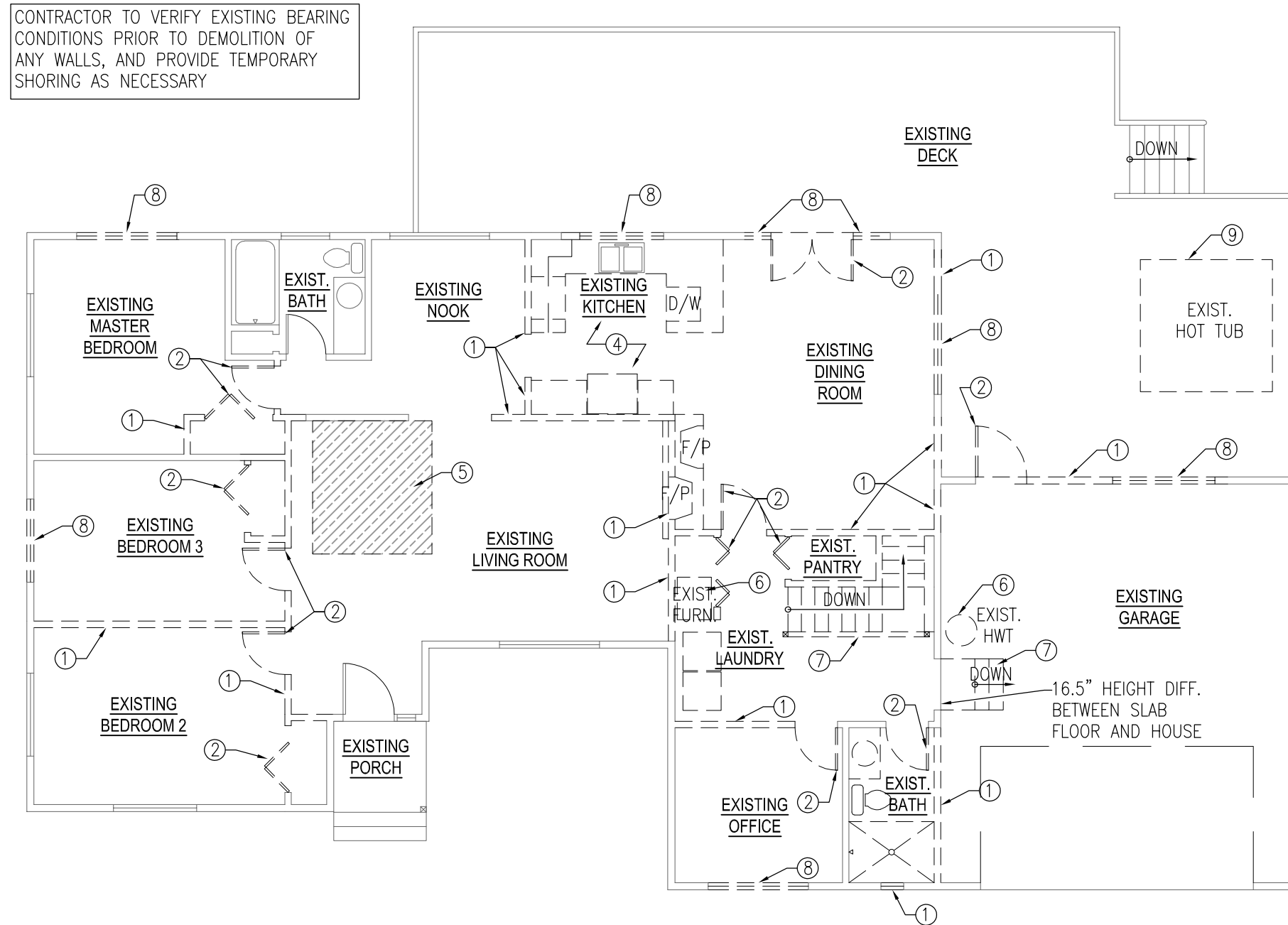


LOWER FLOOR EXISTING/DEMO PLAN

1/8" = 1'-0"

## DEMOLITION KEYNOTES

- DEMO ALL OR PORTION OF EXISTING WALL (SHOWN DASHED), INCLUDING ELECTRICAL AND PLUMBING (CAP), COORDINATE EXTENT WITH NEW WORK. CONTRACTOR TO NOTIFY ARCHITECT IF UNEXPECTED LOAD BEARING CONDITIONS ARE ENCOUNTERED PRIOR TO DEMO.
- REMOVE EXIST. DOOR AND FRAME, PREP FOR NEW WORK.
- REMOVE EXIST. HOT TUB, CAP POWER STUB, PREP FOR DECK INFILL.
- REMOVE EXISTING CASEWORK, AND PLUMBING FIXTURES THIS ROOM, PLUMBING TO BE MODIFIED FOR NEW WORK.
- REMOVE EXISTING FLOOR, INCLUDING STRUCTURE, COORD. EXTENT WITH NEW WORK.
- REMOVE/REWORK EXISTING MECH. EQUIPMENT AND DUCTWORK, HVAC CONTRACTOR TO RE-ROUTE.
- DEMO EXIST. STAIR AND GUARD, PREP FOR FLOOR INFILL.
- REMOVE EXIST. WINDOW, MODIFY FRAMING TO ACCOMODATE NEW WORK.
- REMOVE EXIST. HOT TUB, CAP POWER STUB, PREP FOR DECK INFILL.
- DEMO EXISTING MASONRY FIREPLACE, INCLUDING CHIMNEY, TO MAIN FLOOR LEVEL.

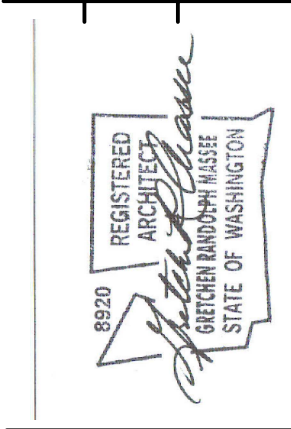


MAIN FLOOR EXISTING/DEMO PLAN

1/8" = 1'-0"

REVISIONS					

DATE	JUN 12, 2020	CAC FILE
FOR NO.		



PROJECT/CIDE INFO  
SITE PLAN  
EXISTING/DEMO PLANS  
NOTES

PROJECT  
SAMPLE RESIDENCE  
REMODEL/ADDITION  
8582 LONG LAKE ROAD SE  
PORT ORCHARD, WASHINGTON 98367

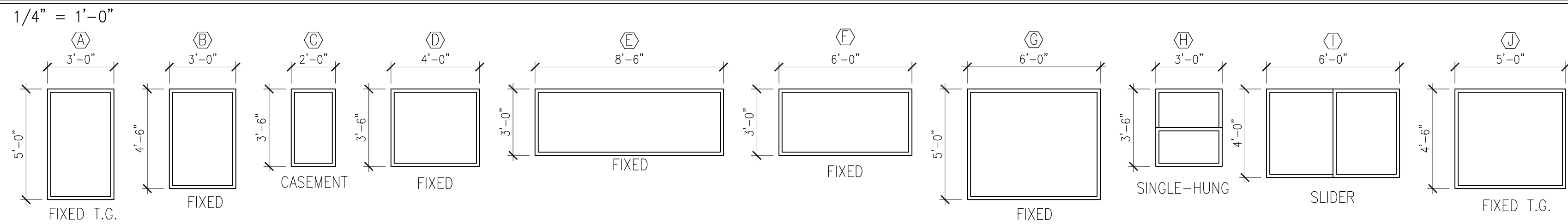
GR Massee Architecture, Inc.  
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4810 Pt. Fosdick Dr. NW, #244 Gig Harbor, WA 98335

SHEET

A1.0



WINDOW TYPES



WINDOW + DOOR NOTES

- FENESTRATION TO HAVE A U-VALUE OF 0.28
- SEE GENERAL NOTES (SHEET A1.0) FOR TEMPERED GLAZING REQUIREMENTS, ALSO NOTED WITH A 'T.G.' ON WINDOW TYPE INDICATOR ON FLOOR PLAN, AND ON ELEVATIONS
- EGRESS WINDOWS FROM BEDROOMS TO HAVE MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20", AND NET CLEAR OPENING OF 5.7 SF.
- VERIFY SWING DIRECTION OF CASEMENT WINDOWS WITH OWNER PRIOR TO ORDERING
- SEE EXTERIOR ELEVATIONS FOR WINDOWS TO INCLUDE GRIDS

PLAN LEGEND

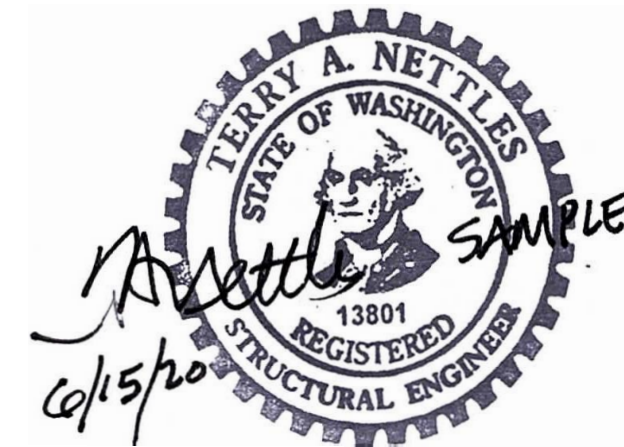
NOT ALL SYMBOLS MAY BE USED

- EXHAUST VENT
- CEILING-MOUNTED SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- SECTION CUT MARK
- DEMOLISHED WALL (DEMO PLAN)
- EXISTING WALL TO REMAIN
- 2x4 WALL (TYPICAL INTERIOR, U.N.O.)
- 2x6 WALL (TYPICAL EXTERIOR, U.N.O.)

Subject To Field Inspection

CHANGES  
MUST Be Approved Prior  
To Performing Work

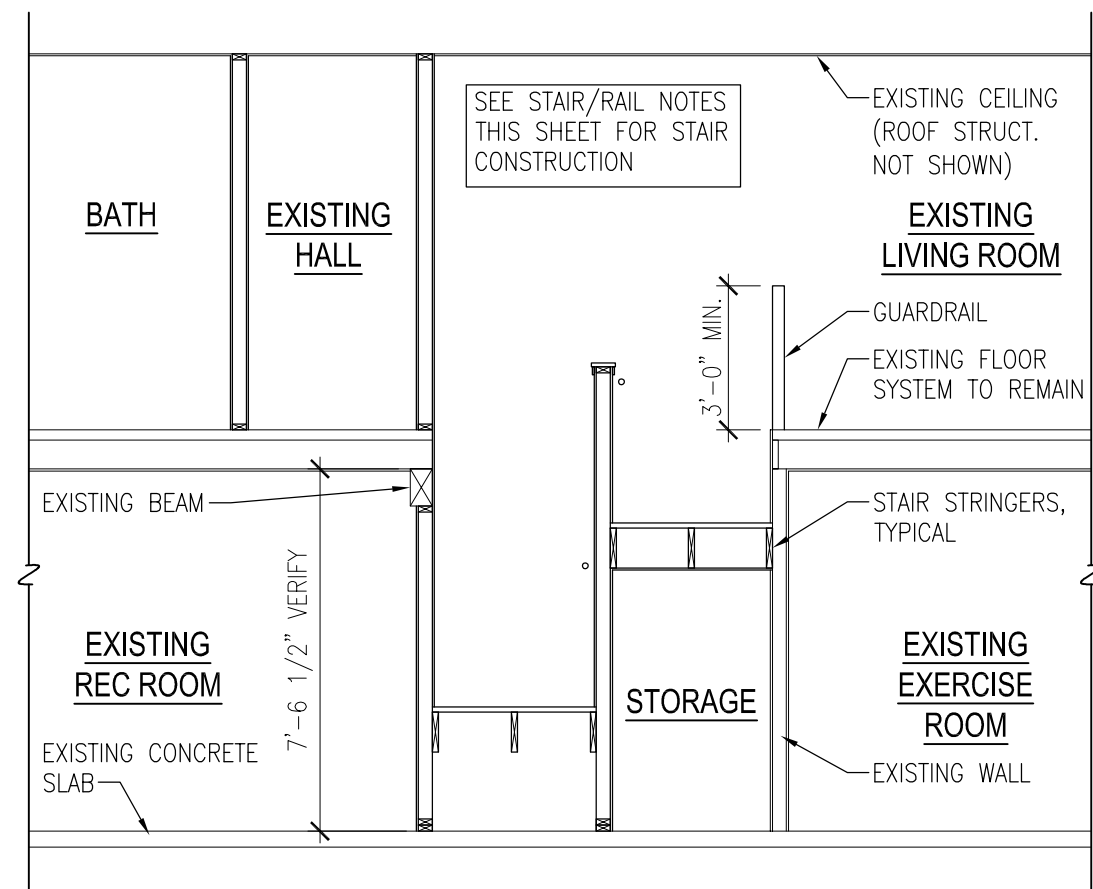
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with IRC 2015  
Kitsap County Building Department  
gshapiro@co.kitsap.wa.us  
10/05/2020



Smoke & carbon monoxide detectors required.  
Smoke and carbon monoxide detectors must be  
installed throughout the building in all locations  
required by the IRC as amended by WAC.

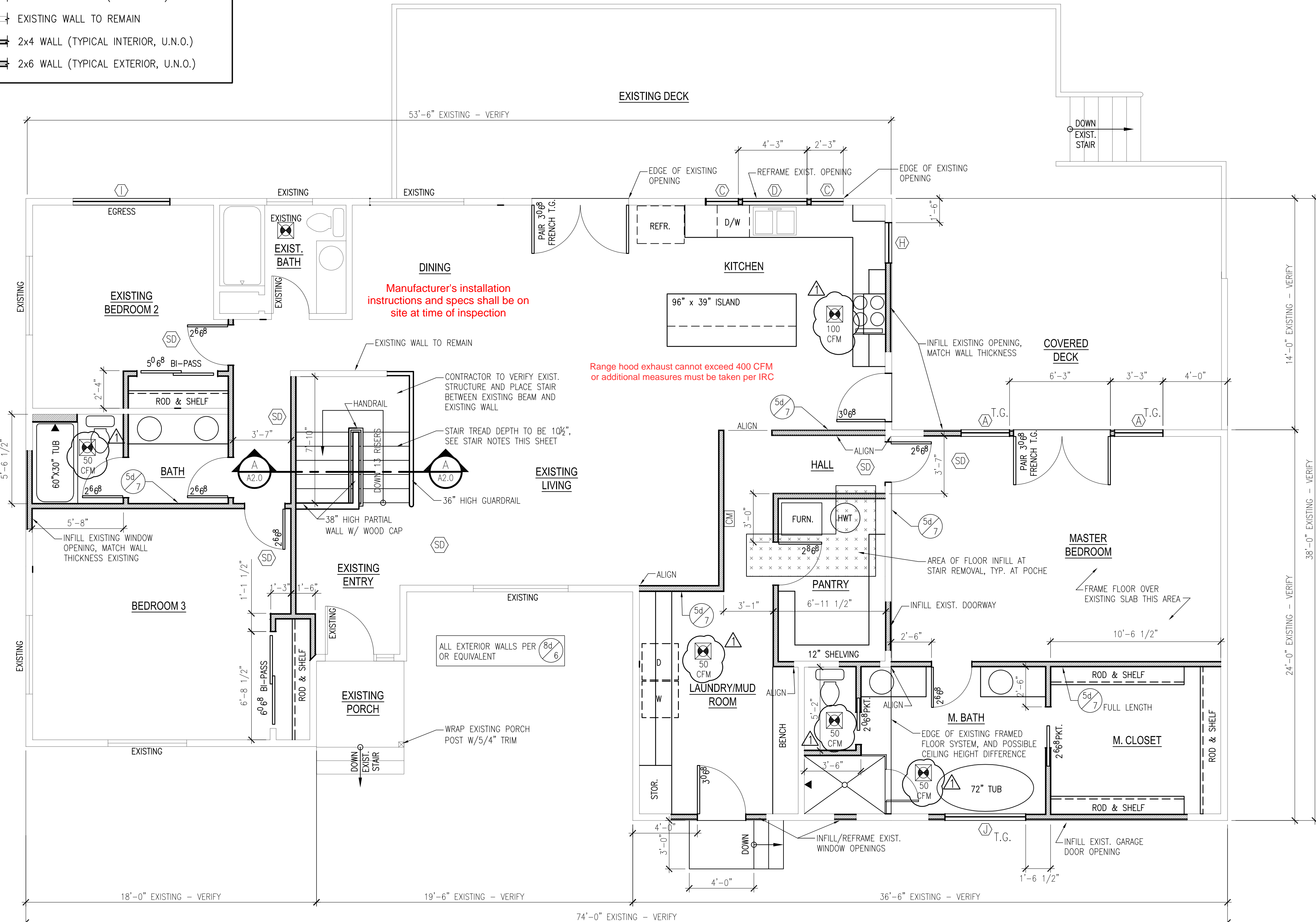
STAIR/RAIL CALCULATIONS/NOTES:

- TREAD HEIGHT TO BE MAX. 7 3/4" AND MIN. TO BE 4"
- TREAD DEPTH TO BE 11" MIN. (NOSE TO NOSE)
- TREAD THICKNESS TO BE 3/4" MAX
- TREAD NOSING TO EXTEND 1 1/4" MAX. BEYOND RISER
- GUARDRAILS TO BE MIN. 36" HIGH ABOVE FINISHED FLOOR
- GUARDRAIL COMPONENTS TO BE PLACED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH
- HANDRAILS REQUIRED AT STAIRS WITH 4 OR MORE RISERS, HANDRAIL REQ'D AT ONE SIDE OF STAIR, AND TO A HEIGHT OF 34"-38" MEASURED FROM TREAD NOSING
- HANDRAIL GRASPABILITY SHALL COMPLY WITH IBC SECTION 1012.3, AND SHALL BE CONTINUOUS, ONLY INTERRUPTED BY NEWEL POST AT A TURN OR LANDING



SECTION A

1/4" = 1'-0"



MAIN FLOOR PLAN

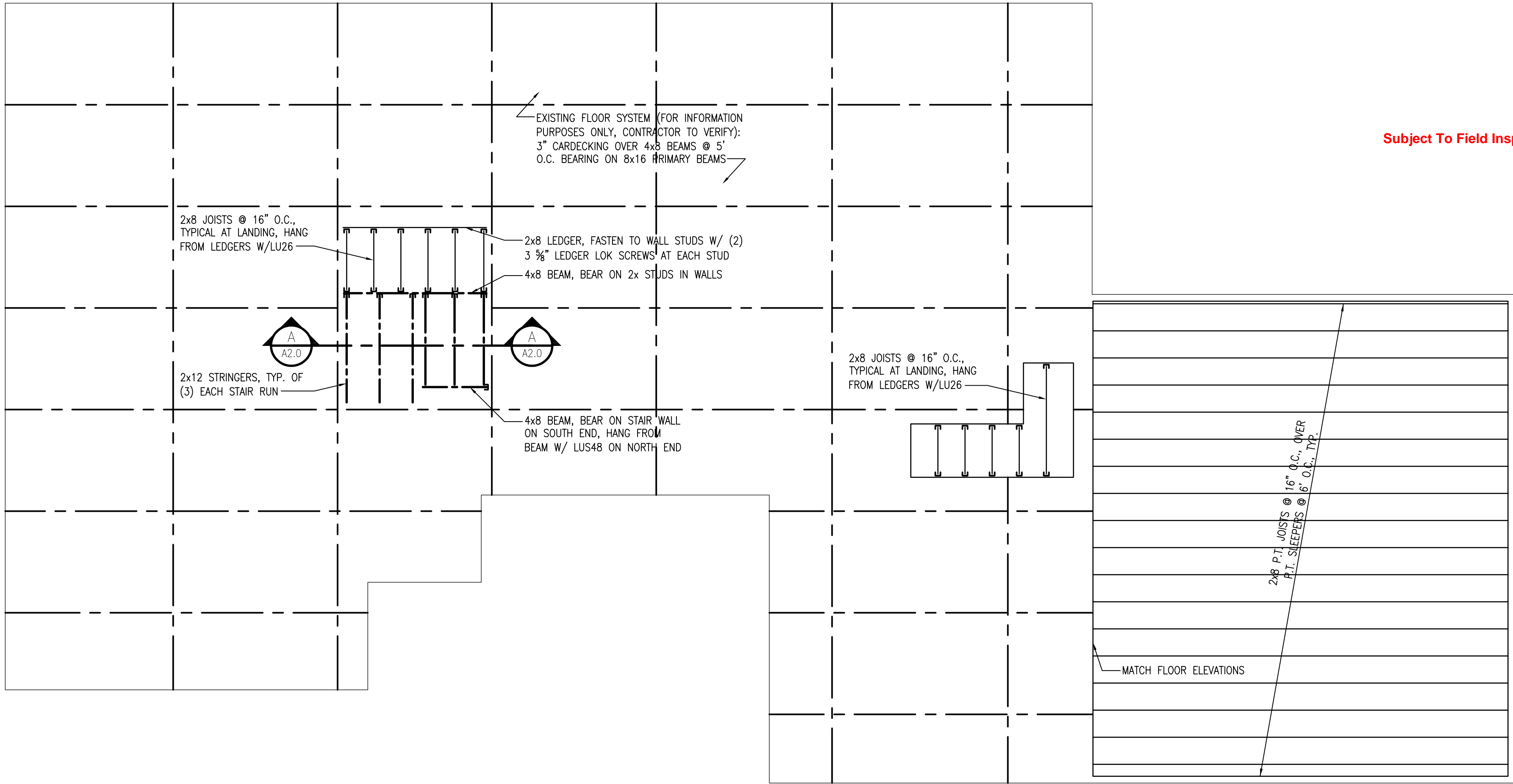
1/4" = 1'-0"

MAIN FLOOR PLAN,  
LEGEND, WINDOW TYPES,  
STAIR/RAIL NOTES, STAIR  
SECTION

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A2.0

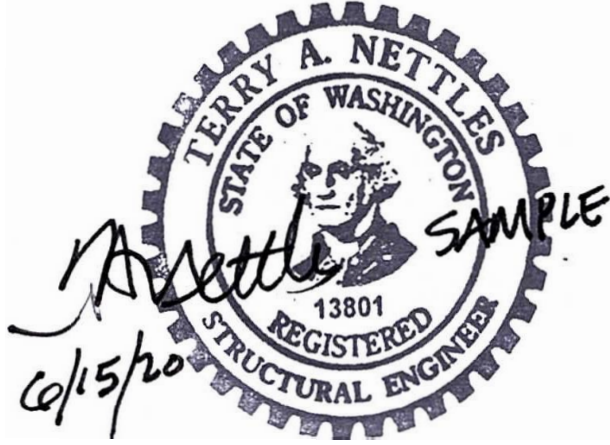


FLOOR FRAMING PLAN

Subject To Field Inspection

Reviewed for code compliance with IRC 2015 Kitsap County Building Department gshapiro@co.kitsap.wa.us 10/05/2020

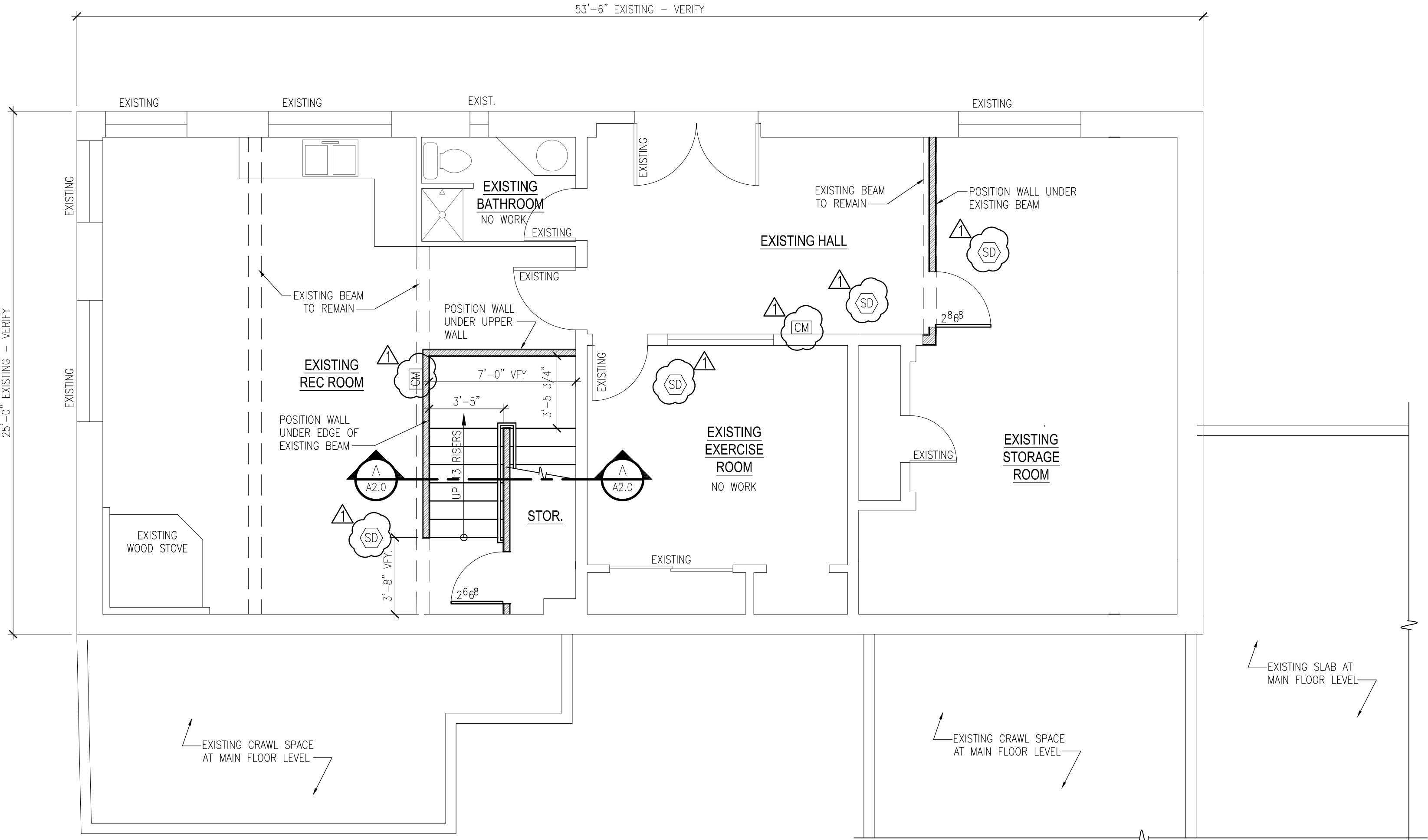
CHANGES MUST Be Approved Prior To Performing Work



PLAN LEGEND

NOT ALL SYMBOLS MAY BE USED

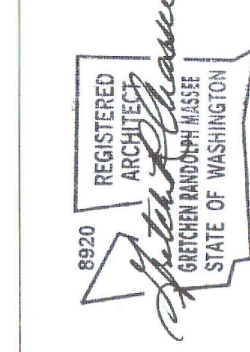
- [X] EXHAUST VENT
- [SD] CEILING-MOUNTED SMOKE DETECTOR
- [CM] CARBON MONOXIDE DETECTOR
- [A-2.0] SECTION CUT MARK
- [---] DEMOLISHED WALL (DEMO PLAN)
- [---] EXISTING WALL TO REMAIN
- [---] 2x4 WALL (TYPICAL INTERIOR, U.N.O.)
- [---] 2x6 WALL (TYPICAL EXTERIOR, U.N.O.)



BASEMENT FLOOR PLAN

REVISIONS	DATE	BY	CHK
	9-21-20		

DATE	JOB NO.	CADD FILE
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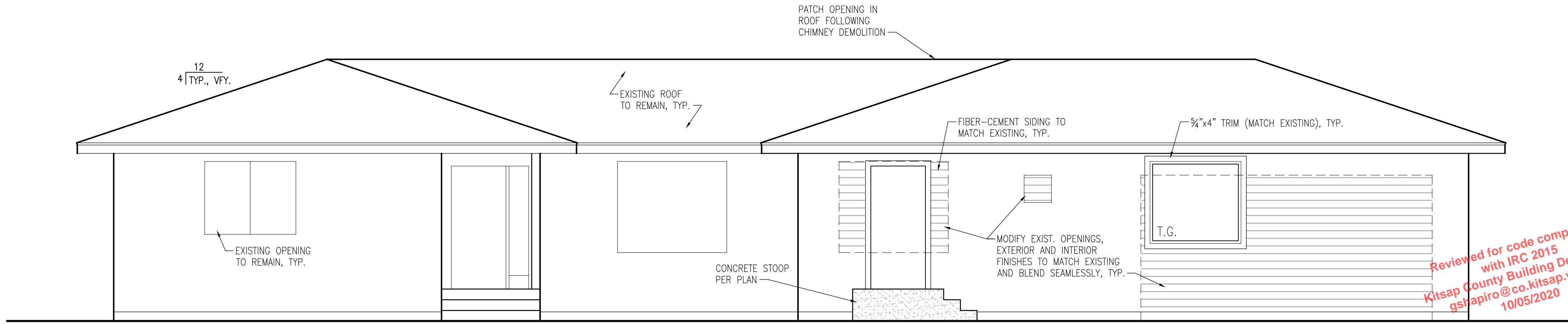
LOWER FLOOR PLAN, LEGEND, STRUCTURAL NOTES, FLOOR FRAMING PLAN

PROJECT SAMPLE RESIDENCE REMODEL/ADDITION 8582 LONG LAKE ROAD SE PORT ORCHARD, WASHINGTON 98367

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SHEET





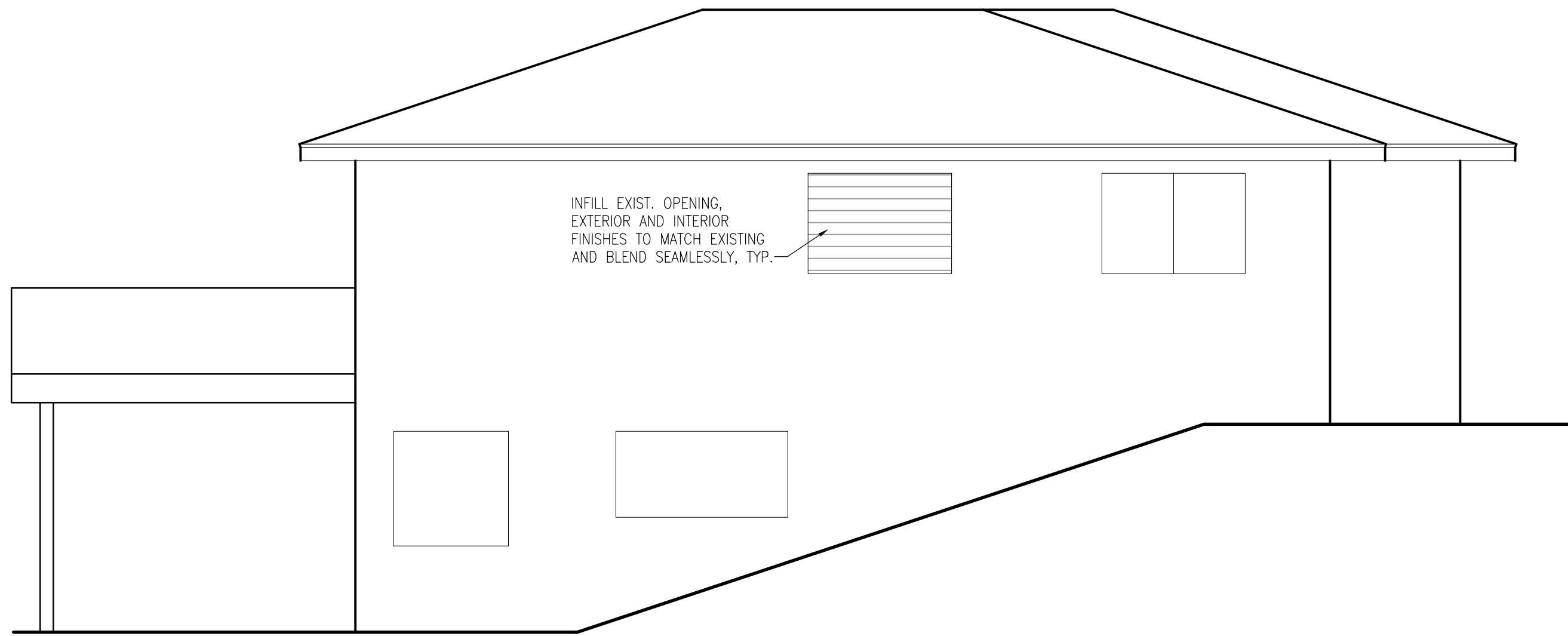
**EAST EXTERIOR ELEVATION**

1/4" = 1'-0"

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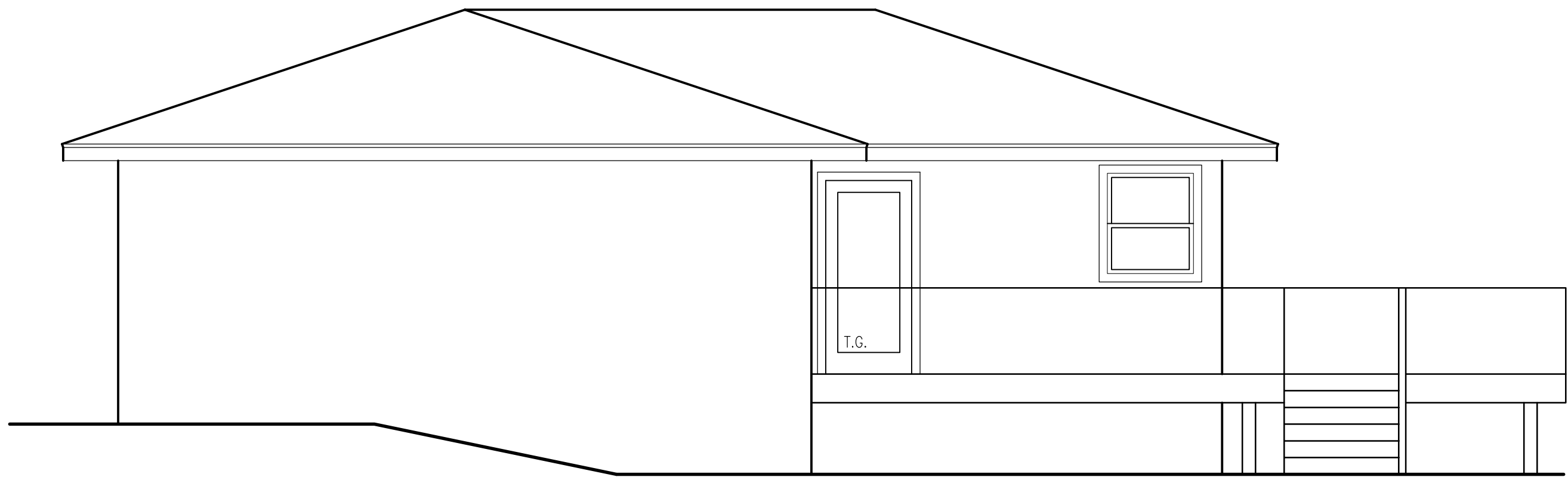
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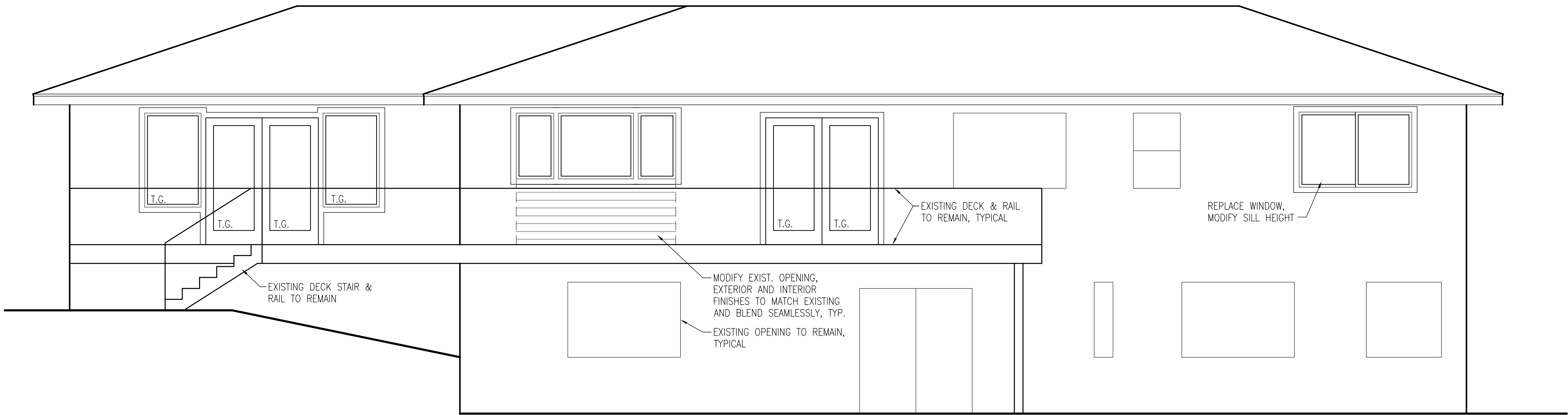
**SOUTH EXTERIOR ELEVATION**

1/4" = 1'-0"



**NORTH EXTERIOR ELEVATION**

1/4" = 1'-0"



**WEST EXTERIOR ELEVATION**

1/4" = 1'-0"

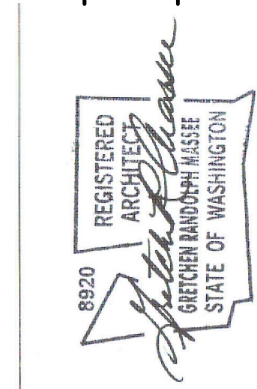
REVISIONS

DATE

JUN 12, 2020

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CACD FILE



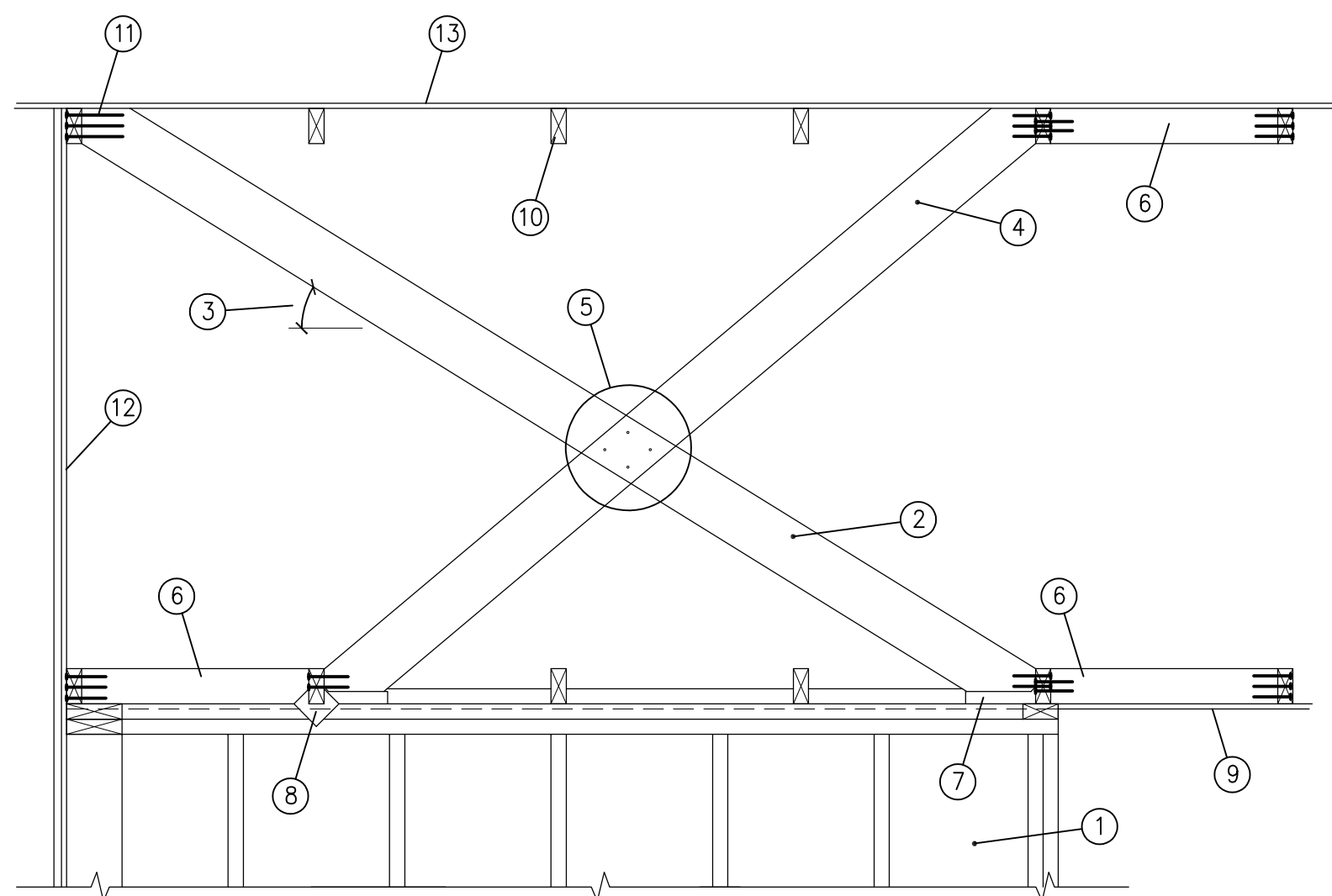
EXTERIOR ELEVATIONS

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SHEET

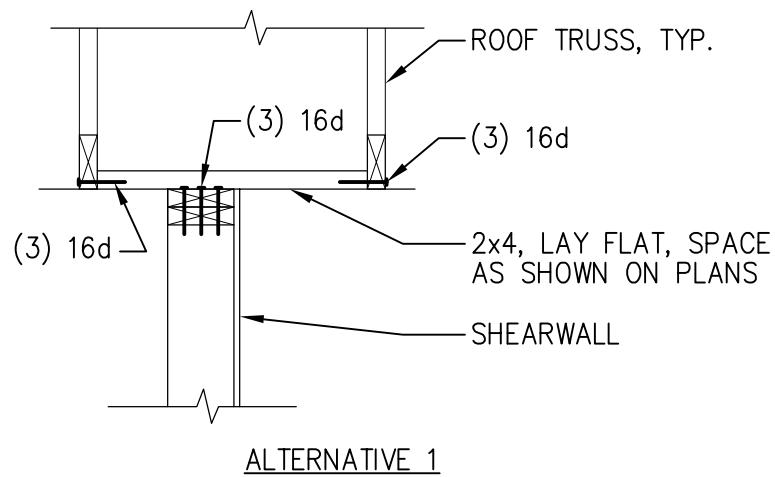
A3.0



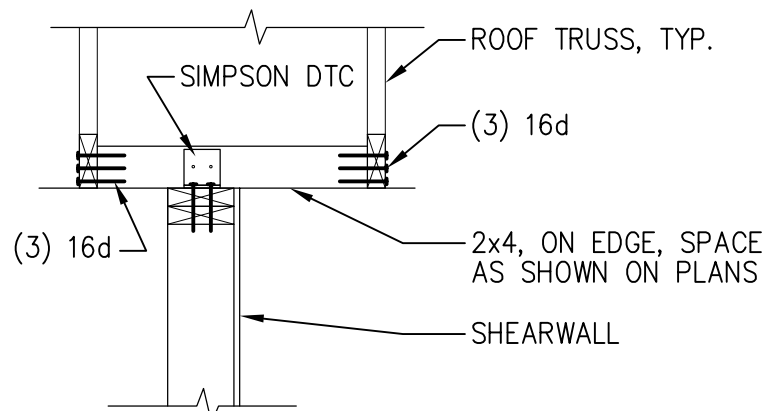
**1 X-BRACE DETAIL** SEE ROOF FRAMING PLAN FOR LOCATION(S)  
SCALE: 3/4" = 1'-0"

- DESIGNATED SHEAR WALL BELOW WHICH IS PERPENDICULAR TO DIRECTION OF ROOF FRAMING.
- 2x6 X-BRACE FRAME FROM TOP PLATE OF WALL TO ROOF DIAPHRAGM.
- SET ANGLE OF BRACES NO LESS THAN 30° AND NO GREATER THAN 45° OFF HORIZONTAL.
- BRACES MAY BE SET UP TO 10" OUT OF VERTICAL PLANE TO AVOID TRUSS WEBS.
- PROVIDE (4) 16d NAILS AT CROSSING.
- INSTALL A 2x4 BLOCK AT ENDS OF BRACES TO NEXT ROOF FRAMING MEMBER WITH (3) 16d.
- PLACE SIMPSON LU26 FLAT ON TOP PLATE TO RECEIVE BASE OF BRACES OVER WALL.
- CONNECT CEILING JOIST OR TRUSS BOTTOM CHORD TO WALL WITH H1 AT BRACE LOCATIONS.
- TYPICAL CEILING GYPSUM BOARD SHEATHING INSTALLATION.
- RAFTERS OR ROOF TRUSSES, TYPICAL.
- INSTALL (3) 20d NAILS THROUGH TRUSS OR RAFTERS INTO END OF EACH X-BRACE.
- CABLE END WALL SHEATHING WHERE OCCURS.
- TYPICAL ROOF SHEATHING, NAIL AT 4-INCHES O.C. TO BLOCKS AT BRACE ENDS.

PROVIDE INTERIOR SHEAR WALL CONNECTION TO ROOF SYSTEM WHEN WALL IS PARALLEL TO TRUSSES

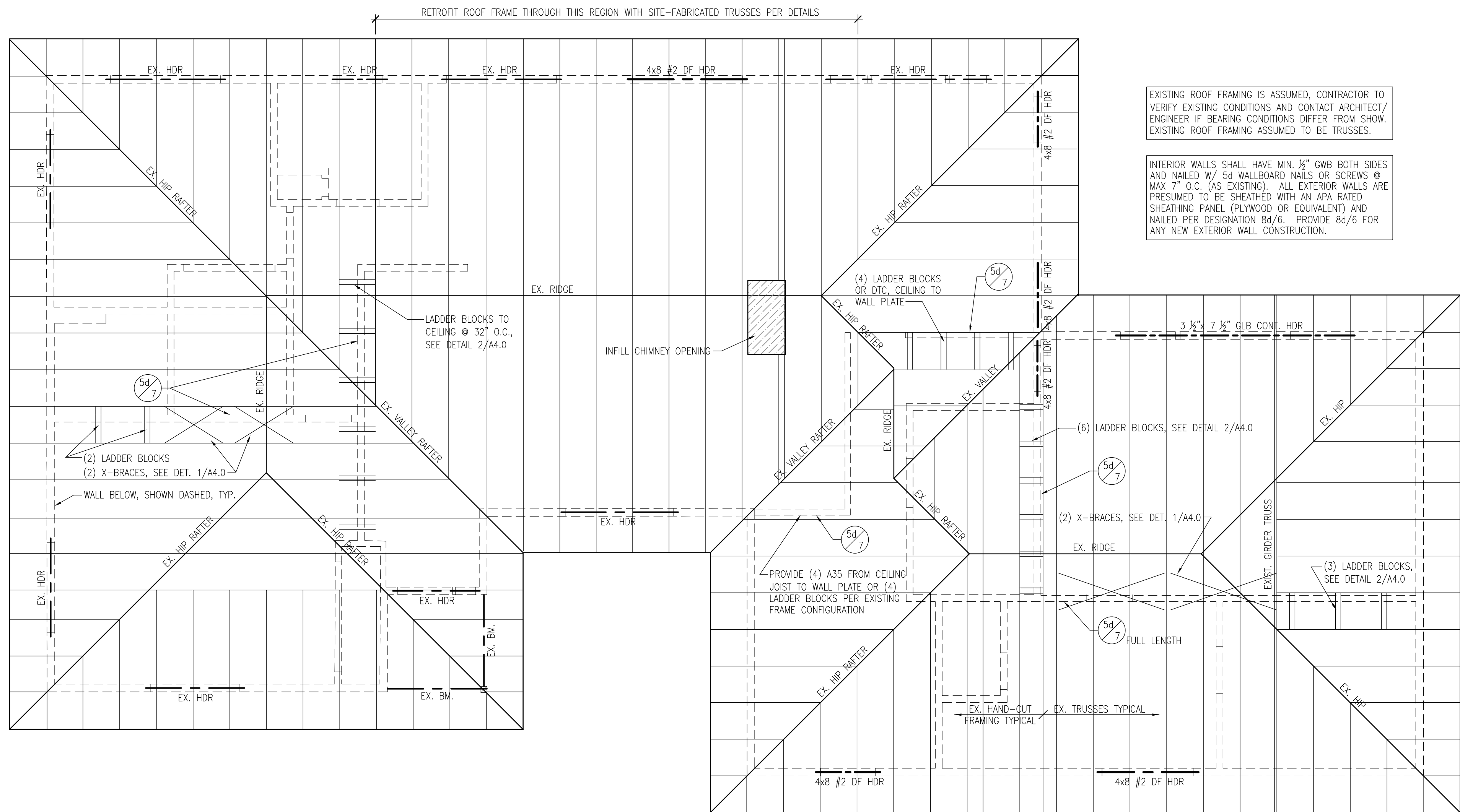


ALTERNATIVE 1



ALTERNATIVE 2 (RECOMMENDED)

**2 LADDER BLOCK DETAIL**  
SCALE: 3/4" = 1'-0"

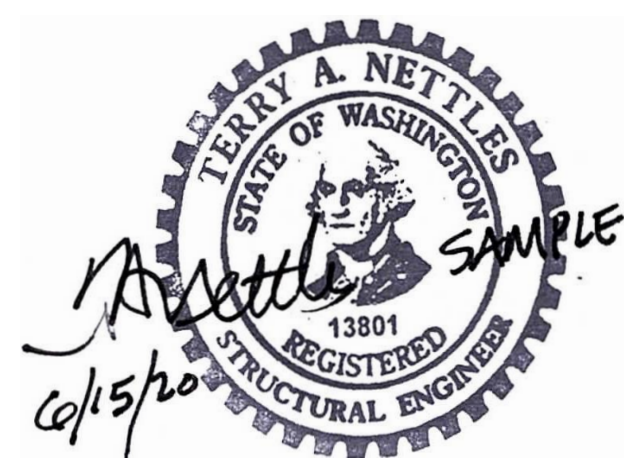
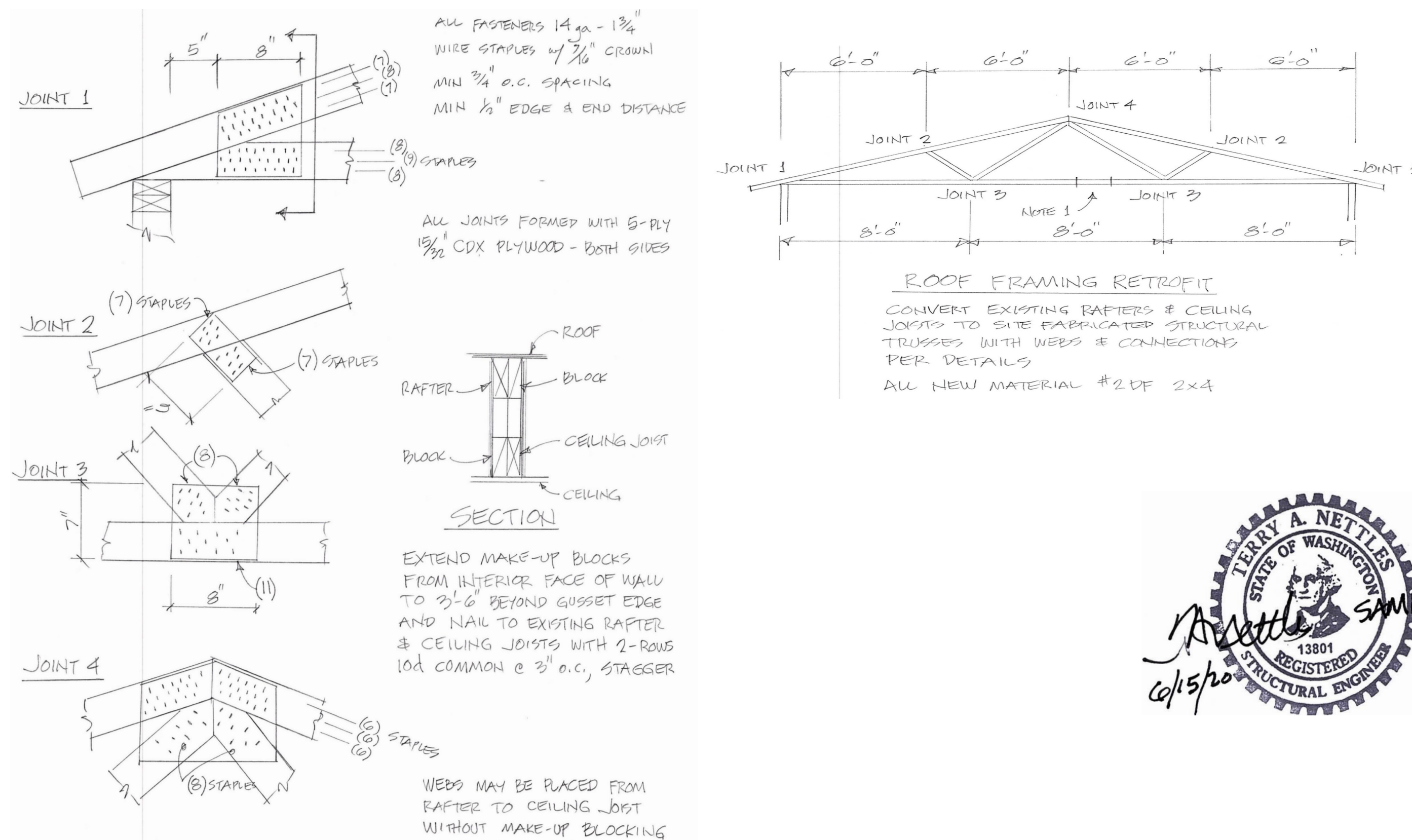


**ROOF FRAMING PLAN**

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10/05/2020

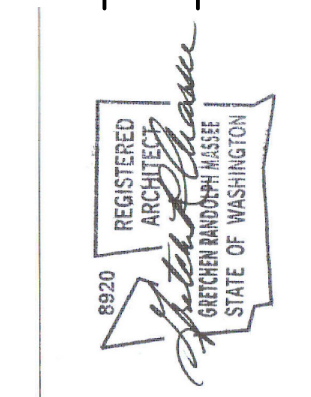
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**ROOF FRAMING PLAN,  
ROOF DETAILS**

**PROJECT**  
**SAMPLE RESIDENCE  
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SHEET

**A4.0**