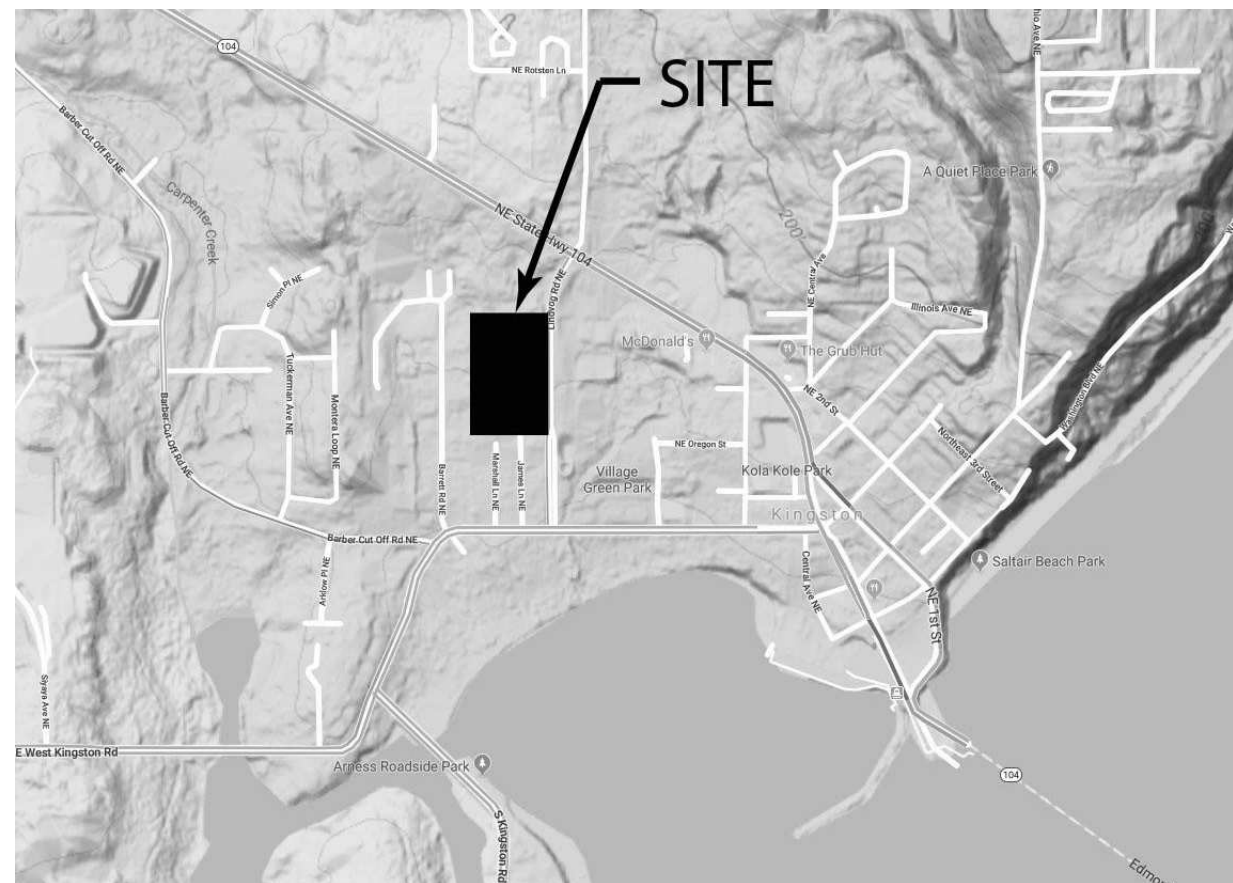
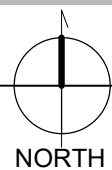


SEASIDE AT KINGSTON

BUILDING 'C' -12 TOWNHOMES



VICINITY PLAN
NOT TO SCALE



Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/2020:35:25 PM kwlodarchak



SITE DATA:

PROJECT ADDRESS: 24700-26200 LINDVOG ROAD NE KINGSTON, WA 98346
PARCEL TAX I.D.: PARCELS - 4-007, 4-067, 4-015, 4-023, 4-024, 4-025, 4-075, 4-073, 4-044, 4-078, 1-030
LEGAL DESCRIPTION: FOR LEGAL DESCRIPTION, SEE PAGE A04

ZONING: C - COMMERCIAL (10-30 DU/Ac)
SITE AREA: GROSS SITE AREA: 308,404 SF (7.08 ACRES)
NET DEVELOPABLE: 287,500 SF (6.60 ACRES)
SETBACKS: STREET SETBACK: 20'
SIDE YARD: 20'-10'
REAR YARD: 20'
MAX. ALLOWABLE BUILDING HEIGHT: 35 FEET
PROPOSED BUILDING HEIGHT: ABOUT 35 FEET
MAX. ALLOWABLE LOT COVERAGE: (TOTAL BLDG FOOTPRINTS)
PROPOSED LOT COVERAGE: 33.4% (103,040 SF)
PARKING REQUIRED: 2 STALLS PER D.U. = (140 UNITS x 2) = 280 RESIDENT STALLS
PROPOSED 15% REDUCTION = 238 STALLS
PARKING PROVIDED: UNIT GARAGES: 140
STANDARD STALLS: 57
COMPACT STALLS: 41
TOTAL: 238

PROJECT TEAM:

OWNER
ELEMENT RESIDENTIAL
12900 NE 180TH ST.
SUITE 220
BOTHELL, WA 98011
PHONE: (425) 949-8041
CONTACT: ROB GELINE

ARCHITECT
WATTENBARGER ARCHITECTURE, INC.
11000 NE 33rd Pl., Ste #102
BELLEVUE, WA 98004
PHONE: (425) 453-0606
CONTACT: TRAVIS MCDANOLD A.I.A.

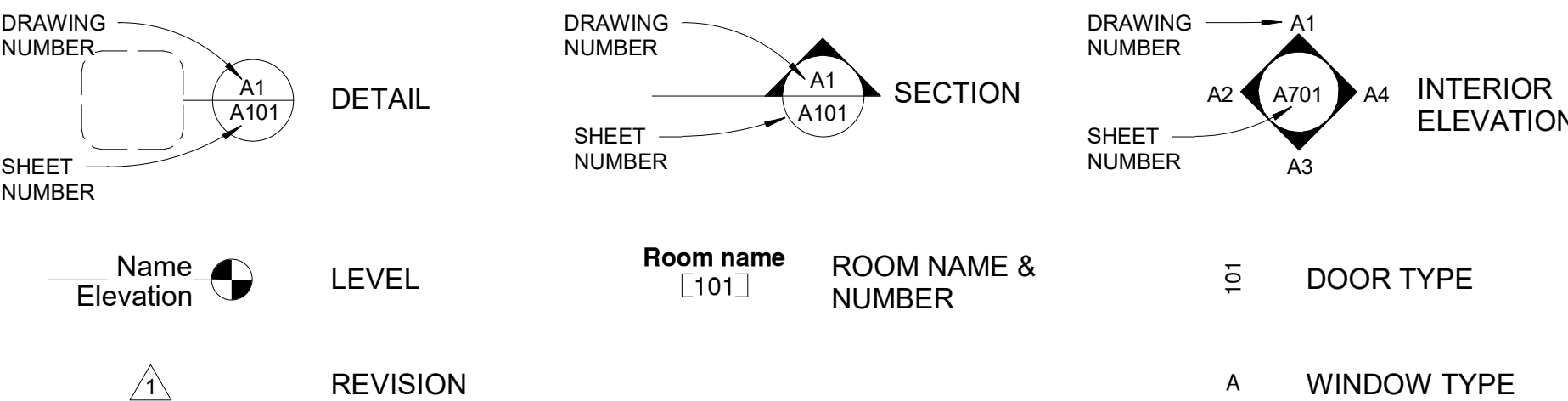
CIVIL ENGINEER
N.L. OLSON & ASSOCIATES, INC.
2453 BETHEL AVENUE PO BOX 637
PORT ORCHARD, WA 98366
PHONE: (360) 895-2350
CONTACT: NORMAN OLSON

STRUCTURAL ENGINEER
BTL ENGINEERING, INC.
19011 WOODINVILL RD. NE, SUITE 100
WOODINVILLE, WA 98072
PHONE: (425) 814-8448
CONTACT: BRIAN LAMPE

LANDSCAPE ARCHITECT
RICHARD WARD & ASSOCIATES
11000 NE 33rd Pl., Ste #102
BELLEVUE, WA 98004
PHONE: (425) 453-0606
CONTACT: RICHARD WARD

ENVELOPE CONSULTANT
TBD

GRAPHIC SYMBOLS



PROJECT DATA:

PREVIOUS APPROVALS & ASSOCIATED PERMITS:
PRELIMINARY PLAT: 17-04643
PERFORMANCE BASED DEVELOPMENT: 17-04646
ADMINISTRATIVE CONDITIONAL USE PERMIT: 17-04647
SITE DEVELOPMENT ACTIVITY PERMIT: 18-02605

PROJECT DESCRIPTION: CONSTRUCT 12 NEW ATTACHED TOWNHOUSE DWELLING UNITS
CONSTRUCTION TYPE: TYPE VB
OCCUPANCY CLASSIFICATIONS: TOWNHOUSE
FIRE SPRINKLER: YES, NFPA 13d

GROSS DWELLING UNIT AREAS

UNIT A - CONDITIONED	
NAME	AREA
UNIT A - 1ST FL CONDITIONED	363 SF
UNIT A - 2ND FL CONDITIONED	610 SF
UNIT A - 3RD FL CONDITIONED	693 SF
GRAND TOTAL	1,666 SF

TOTAL UNCONDITIONED - 12 UNIT BLDG	
NAME	AREA
UNIT A - 1ST FL UNCONDITIONED	621 SF
UNIT B - 1ST FL UNCONDITIONED	2,167 SF
UNIT C - 1ST FL UNCONDITIONED	927 SF
GRAND TOTAL	3,715 SF

12 UNIT BLDG - TOTAL AREA SCHEDULE	
NAME	AREA
1ST FL UNCONDITIONED	3,711 SF
1ST FL CONDITIONED	4,356 SF
2ND FL UNCONDITIONED	7,297 SF
3RD FL UNCONDITIONED	8,156 SF
TOTAL UNCONDITIONED	19,810 SF

UNIT B - CONDITIONED	
NAME	AREA
UNIT B - 1ST FL CONDITIONED	363 SF
UNIT B - 2ND FL CONDITIONED	577 SF
UNIT B - 3RD FL CONDITIONED	676 SF
GRAND TOTAL	1,615 SF

UNIT C - CONDITIONED	
NAME	AREA
UNIT C - 1ST FL CONDITIONED	363 SF
UNIT C - 2ND FL CONDITIONED	578 SF
UNIT C - 3RD FL CONDITIONED	686 SF
GRAND TOTAL	1,627 SF

Subject to Field Inspection

DEFERRED SUBMITTALS:

THE GENERAL CONTRACTOR (GC) SHALL BE RESPONSIBLE FOR VERIFYING EXISTING FIELD CONDITIONS AND COORDINATING ALL DEFERRED SUBMITTALS. THE GC'S SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE WITH LOCAL AUTHORITIES AND ALL CURRENT CODES, REGULATIONS & REQUIREMENTS.

- MECHANICAL & PLUMBING**
- THE MECHANICAL & PLUMBING WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED HVAC & PLUMBING DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS & COMPLIES WITH ALL CODES, REGULATIONS & REQUIREMENTS. THE GC'S MECHANICAL SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING & SECURING ALL NECESSARY MECHANICAL PERMITS.
 - THE GC'S PLUMBING SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING & SECURING ALL NECESSARY PLUMBING PERMITS.

- FIRE SPRINKLER**
- THE FIRE SPRINKLER FOR THE PROJECT SHALL BE DESIGNED S DESIGN BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED FIRE SPRINKLER DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS & COMPLIES WITH ALL CODES, REGULATIONS & REQUIREMENTS. THE GC'S FIRE SPRINKLER SUBCONTRACTOR(S) WILL BE RESPONSIBLE FOR APPLYING & SECURING ALL NECESSARY PERMITS.
 -

- ELECTRICAL**
- THE ELECTRICAL WORK FOR THE PROJECT SHALL BE PERFORMED AS DESIGN-BUILD. THE GC SHALL SUBMIT WITH THE BID A PROPOSED ELECTRICAL DRAWING THAT COORDINATES WITH THE ARCHITECTURAL DRAWINGS & COMPLIES WITH ALL CODES, REGULATIONS & REQUIREMENTS. THE GC'S ELECTRICAL SUBCONTRACTOR WILL BE RESPONSIBLE FOR APPLYING & SECURING ALL NECESSARY ELECTRICAL PERMITS.
 -

ADDITIONAL DEFERRED SUBMITTALS:

- ROOF TRUSS SHOP DRAWINGS & ENGINEERING

SPECIAL INSPECTIONS:

SPECIAL INSPECTIONS SHALL BE REQUIRED AS ESTABLISHED BY THE AUTHORITY HAVING JURISDICTION AND PER STRUCTURAL ENGINEERING

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA:

Ground Snow Load	Wind Design Speed (mph)	Topographic effects	Seismic Design Category	subject to damage from weathering	frost line depth	termite	WINTER DESIGN TEMP.	ICE SHIELD UNDER-LAYMENT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
25 PSF	110	YES	D2	Moderate	12"	Slight-Moderate	26	NO	(a) 1980 (b) 1980	148	51.4

GENERAL NOTES:

- Construction shall conform to the 2015 edition of the International Residential Code and all applicable regulations adopted by the authority having jurisdiction.
- Construction documents for this work have been prepared in accordance with generally accepted architectural and engineering practice to meet minimum requirements of the 2015 edition of the IRC.
- In the event of conflict between pertinent codes and regulations and referenced standards of these drawings and specifications, the more stringent provisions shall govern.
- Contractor shall be responsible for all materials, construction methods, craftsmanship, procedures and conditions (including safety).
- Contractor shall verify all existing conditions, requirements, notes, and dimensions shown on drawings or noted in specifications. Any variances within drawings and specifications, or with conditions encountered at job site, shall be reported in writing to the architect before commencement of any work affected by such variance.
- Contractor shall rigidly adhere to all laws, codes, and ordinances, which apply to this work. Contractor shall notify and receive written clarification from the architect of any variations between contract documents and governing regulations.
- The contractor shall make no structural changes without written approval of the architect or engineer of record.
- The architect assumes no responsibility for construction conformance, means, methods, techniques or procedures of on-site work relating to the construction plans.
- All manufactured materials, components, fasteners, assemblers, etc., shall be handled and installed in accordance with manufacturer's instructions and provisions of applicable industry standards. Where specific manufactured products are called for, generic equals that meet applicable standards and specifications may be used.
- All materials used to be selected and installed in accordance with state, federal, national and local codes and installed in accordance with manufacturers recommended installation procedures.
- Construction loads shall not overload structure nor shall they be in excess of design loadings indicated herein.
- Drawings and specifications are intended to provide the basis for the proper completion of the Project suitable for the intended use of the Owner.
- Items not expressly set forth but which are reasonably implied or necessary for the proper performance of this work shall be included.
- Inspect substrates and report unsatisfactory conditions in writing. Do not proceed until unsatisfactory conditions have been corrected.
- Unless noted otherwise, all horizontal dimensions are framing to framing of lumber or to face of concrete. All vertical dimensions are to top of structural floor sheathing or roof sheathing.
- Do not scale drawings. Use dimensions as indicated for all locations.
- All construction documents are complimentary, and what is called for by any will be binding as if called for by all. any work shown or referred to on any construction documents shall be provided as though on all related documents. The construction documents are provided to illustrate the design and general type of construction, material and workmanship throughout. the general contractor, in assuming responsibilities for the work indicated, shall comply with the spirit as well as the letter in which they were written.
- Deviations from these drawings which are not performed with prior written consent from the architect are solely at the contractor's risk and he shall accept fully liability for same.

DRAWING INDEX:

SHEET SHEET CONTENTS

SHEET	SHEET CONTENTS
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A02	CODE COMPLIANCE
A03	ENERGY ANALYSIS
A04	SITE PLAN
A05	FIRST FLOOR PLAN
A06	FIRST FLOOR PLAN
A07	SECOND FLOOR PLAN
A08	SECOND FLOOR PLAN
A09	THIRD FLOOR PLAN
A10	THIRD FLOOR PLAN
A11	ROOF PLAN
A12	REFLECTED CEILING PLAN
A13	EXTERIOR ELEVATIONS - FRONT
A14	EXTERIOR ELEVATIONS - BACK
A15	EXTERIOR ELEVATIONS - SIDE AND WINDOW LEGEND
A16	BUILDING SECTION
A17	BLDG SECTION
A18	WALL SECTIONS
A19	INTERIOR ELEVATIONS
A20	WEATHER BARRIER
A21	AIR BARRIER
A22	FIRE RESISTANT CONSTRUCTION
A23	FOUNDATION DETAILS
A24	CLADDING DETAILS
A25	CONSTRUCTION DETAILS
S01	GENERAL STRUCTURAL NOTES
S02a	FIRST FLOOR FRAMING PLAN
S02b	FIRST FLOOR FRAMING PLAN
S03a	SECOND FLOOR FRAMING PLAN
S03b	SECOND FLOOR FRAMING PLAN
S04a	THIRD FLOOR FRAMING PLAN
S04b	THIRD FLOOR FRAMING PLAN
S05a	ROOF FRAMING PLAN
S05b	ROOF FRAMING PLAN
S06	DETAILS
S07	DETAILS
S08	DETAILS
S09	DETAILS

PROJECT DATA

SEASIDE at KINGSTON

LINDVOG ROAD, KINGSTON

Seaside Kingston, LLC

JOB NO.: 21714.2

PLOT DATE: 9/25/2020 2:35:50 PM

DATE: 07/03/18
SCALE: As indicated

DRAWN: FA
CHKD: DH

BLDG. SHEET NO.:

C A01

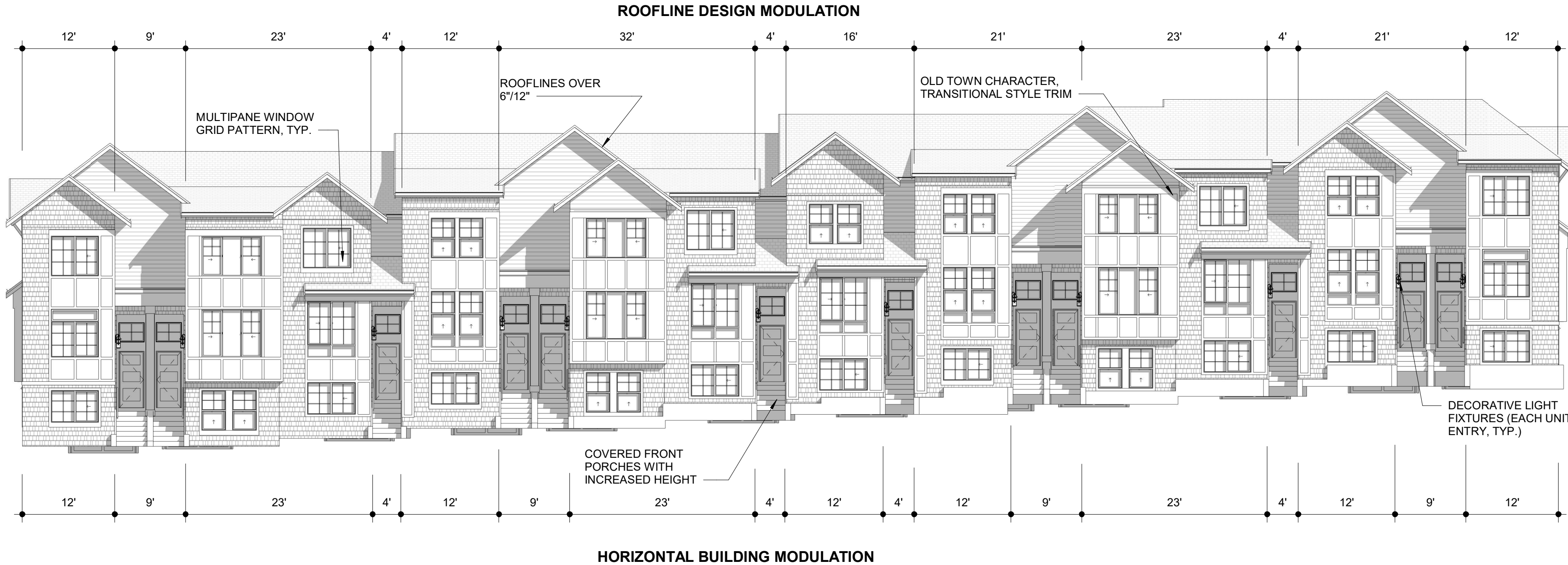
C:\Revit\KINGSTN-21714--central_V19 -travis@wattenbarger.com.rvt

APPLICABLE CODES:

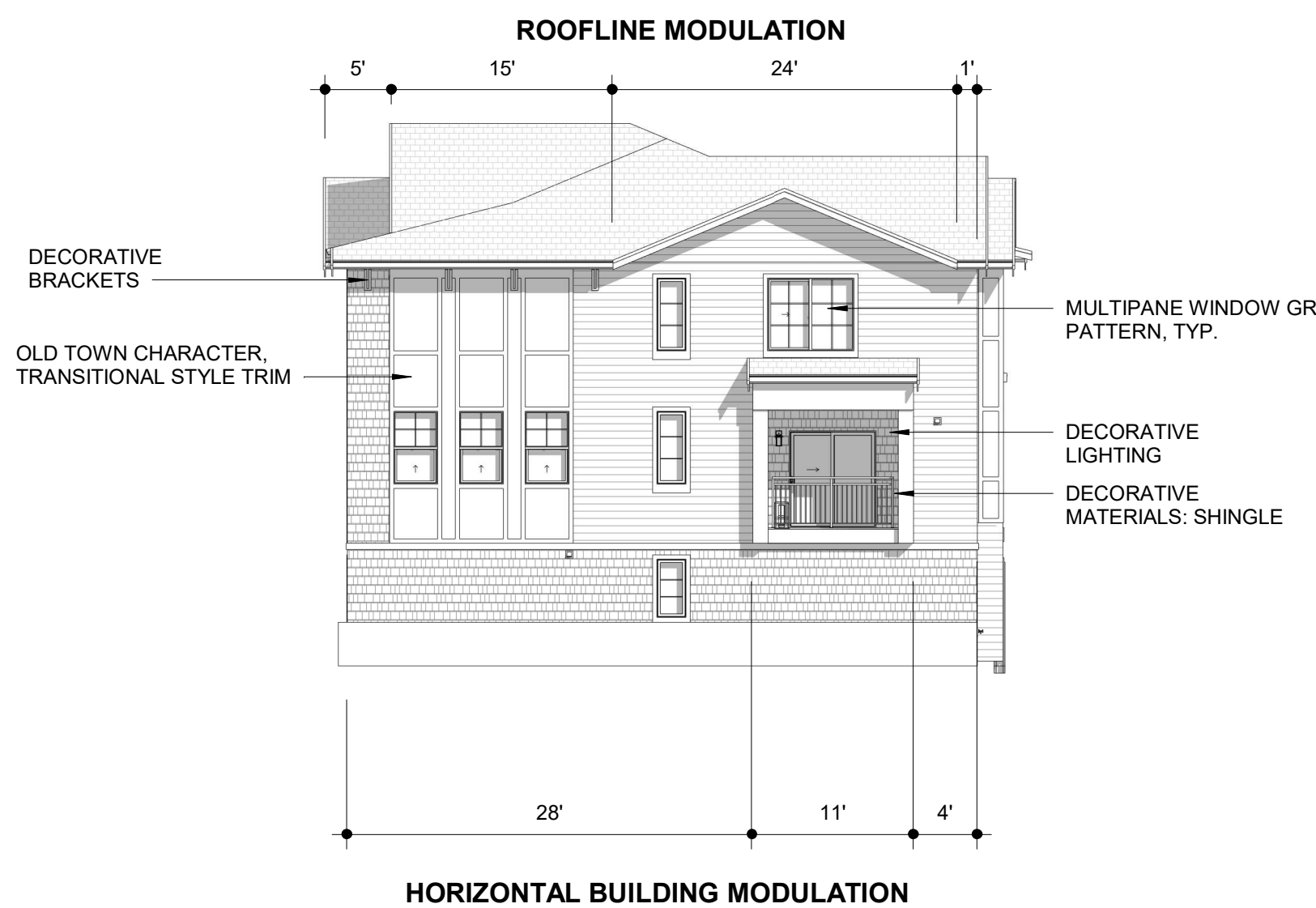
ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES & REGULATIONS:	
<ul style="list-style-type: none">• 2015 International Residential Code• Washington State amendments to the IRC, Chapter 51-51 WAC• 2015 International Fire Code with statewide amendments• 2015 Washington State Energy Code• 2014 National Electrical Code (NFPA 70)• Kitsap County Municipal Code	
BUILDING CODE ANALYSIS:	
IRC SECTION R302	
Exterior Walls:	1-HR Rated when < 3' separation
Projections:	1-HR Rated underside when >2'<3' separation
Dwelling Unit separation walls:	2-HR Rated Common wall per IRC R302.2.4 exception 5 no plumbing or ductwork inside party walls, rating shall be continuous the full length of party wall & from foundation to underside of roof sheathing
Garage Separation:	20 min. door with self closing device, penetrating ductwork shall be 26ga. min. Separation from adjacent space: 1/2" GWB Separation from habitable rooms above: 5/8" Type 'X' GWB
Fireblocking:	Vertically at ceiling & floor levels Horizontally at 10' max. vertical & horizontal void intersections Openings around vents, pipes, ducts, & wires
IRC SECTION R307	
Water Closets:	15" from face of wall to centerline min., 21" front clear floor space min.
Lavatories:	21" front clear floor space min.
Showers:	24" front clear floor space min.
IRC SECTION R308	
Safety Glazing required:	When in fixed or operable panels of doors When within 24" of door swing When all of the following are met: pane greater than 9 SF bottom below 18" AFF top more than 36" AFF & walking surface within 36" When included in a guard or railing When adjacent to wet surfaces When adjacent to a stair, ramp, or landing
IRC SECTION R309	
Garage Floor:	Noncombustible material, Sloped to drain towards vehicle entry doorway
IRC SECTION R310	
Emergency Escape Openings:	Opening not more than 44" AFF 5.7 Sq. F.t min 24" Tall, 20" Wide opening min.
IRC SECTION R311	
Egress door: Hallways: Stairways:	Min. 1 door with 32" clear width 3' min. clear width 3' min. clear width + 6'-8" clear height 7-3/4" riser max., 10" tread min. Handrail 1 side minimum
IRC SECTION R314	
Smoke Alarms:	At every sleeping room, outside sleeping areas at every story interconnected on line voltage with battery backup
IRC SECTION R315	
	Carbon Monoxide Alarms: outside sleeping areas and at every story
FIRE SPRINKLERS:	
Building to be fully sprinklered per IRC appendix Q, IRC section P2904 / NFPA 13d	
ACCESSIBILITY REQUIREMENTS:	
None applicable per the scoping requirements of the Federal Fair Housing Act or International Building Code (IBC). ANSI A117.1 does not establish scoping.	
Section R320.1 of the 2015 IRC defers to IBC chapter 11 for R-3 occupancy; IBC1107.6.3 allows reduction of Type B dwelling unit requirement per section 1107; 1107.7.2 exempts multistory dwelling units without elevator service from Type B requirements. See also ICC IBC commentary for section 1107.7.2.	
MECHANICAL, PLUMBING & ELECTRICAL NOTES:	
GENERAL NOTES	
<ol style="list-style-type: none">Detailed mechanical, plumbing and fire protection design & component selection shall be provided by the mechanical and plumbing contractors on a design-build basis. Contractors shall be responsible for obtaining any required permits.All appliances and equipment shall be approved by a nationally recognized testing lab.All piping and ducting shall be run in concealed spaces. Provide cleanouts, balancing valves and the like in accessible locations.HVAC ducts penetrating one-hour rated assemblies shall be minimum 26ga galvanized steel.Party walls between individual resident units shall not contain plumbing or mechanical equipment, ducts or vents in the cavity of the common wall.	
PLUMBING NOTES	
<ol style="list-style-type: none">Showers & kitchen sink faucets shall be rated at 2.5 gpm flow or less (RCW 19.27.170) at dwelling units less than 1,500 conditioned square feet, and shall be rated at 1.75 gpm flow or less (Per WSEC table R406.2 option 5a) at units larger than 5,000 conditioned square feet.	

2.	Toilets to be limited to 1.6 gal per flush (RCW 19.27.170).
3.	Lavatory faucets shall be rated at 2.5 gpm flow or less (RCW 19.27.170) at dwelling units less than 1,500 conditioned square feet, and shall be rated at 1.00 gpm flow or less (Per WSEC table R406.2 option 5a) at units larger than 5,000 conditioned square feet.
4.	Insulation for hot water pipes shall have a minimum thermal resistance (R-value) of R-3 per WSEC R403.5.3.
5.	Water heaters shall be secure to framing w/ (2) galv. seismic straps.
6.	Water heater pressure relief valves shall be plumbed to exterior.
7.	All electric water heaters in unheated spaces or on concrete floors shall be placed on an incompressible, insulated surface with a minimum thermal resistance of R-10 per WSEC R403.5.5.
MECHANICAL NOTES	
<ol style="list-style-type: none">Source specific fans which vent to building exterior are required as follows: baths & powder rooms: 50 cfm, v.t.o.; min. 2.8 cfm/watt efficacy laundry room: 105 cfm, v.t.o.; min. 2.8 cfm/watt efficacy kitchen range: 100 cfm, v.t.o.; min. 2.8 cfm/watt efficacyWhole House Ventilation. Installer shall be responsible for the design and installation of an intermittent whole-house ventilation system complying with the requirements as prescribed in section M1507.3 of the 2015 International Residential Code as amended by Washington State. System shall utilize whole house ventilation using exhaust fans per section M1507.3.4 & operable windows per section M1507.3.4.4. 2a. System shall provide both manual control and automatic control, ie. 24 hour clock timer 2b. System shall operate at least one hour out of every four. 2c. At the time of final inspection automatic control shall be set to operate the whole-house fan according to the schedule used to calculate the whole house fan sizing. 2d. Installer to provide manufacturer install & operating instructions All exhaust fans shall have a tight fitting back draft damper. Each room shall be provided with fresh air inlet with a minimum of 4 sq. in. All exhaust openings shall terminate not less than 3'-0" from operable or inoperable windows and property lines per section M1506.3	
ELECTRICAL NOTES	
<ol style="list-style-type: none">A minimum of 75 percent of permanently installed lamps in lighting fixtures shall be high efficacy lamps per WSEC R404.1.Electrical & lighting design provided in these plans are conceptual only. It shall be the sole responsibility of the Contractor to select fixtures and document compliance with energy code requirements.	
KINGSTON COMMUNITY DESIGN STANDARDS ANALYSIS:	
A. COMPATIBILITY	
1. DESIGN CHARACTER: The proposal provides multiple steepened rooflines exceeding the 6/12 slope minimum on the front and rear facades, with single gables and stepped gable configurations. Shed roof elements with 2nd story partial entry roofs, are suggestive of dormer roofs. Windows will incorporate integral grid patterns suggesting multi-pane window configurations. Front porches are celebrated with increased height, transom windows above the entry doors, and decorative wall mounted light fixtures. Trimwork is incorporated where appropriate, in a manner that is suggestive of the 'old town' character sought in the community design standards, but also with a clean, 'transitional' style interpretation that will help this product appeal to it's intended market.	
Side and rear facades continue this design character.	
2. BUILDING HEIGHT: Proposed building height is 3 stories, and less than 35' as measured from average finished grade to midpoint of highest gable roofs, as identified for the Lindvog commercial district. See exterior elevations for further building height analysis.	
B. HUMAN/PEDESTRIAN SCALE:	
1. PEDESTRIAN ORIENTED FACADES: The proposed design incorporates the following design elements or techniques: - Decorative light fixtures, to be located at the primary entrance to each dwelling unit - Decorative building materials; achieved with extensive use of shingle on the front and side elevations - Decorative moldings and brackets. Moldings will be created with the build-up of multiple layers of flat stock. False brackets are proposed at the building side elevations at the roof line.	
Covered porches are created by inseting the unit entry back from the 3rd floor line. Entries are setback ~9' from the front wall line, and are vertically located 1/2 story above the sidewalk level for greater visibility & presence as well as resident privacy.	
C. ARCHITECTURAL SCALE:	
1. ARCHITECTURAL SCALE: The proposed design incorporates the following three design features for facades visible from public right of way and pedestrian routes: <ul style="list-style-type: none">Horizontal building modulation. (min. 6' deep at not less than 75' spacing)Modulated roof line, as seen from a public right-of-way or designated public space (roof segment greater than 50')Building articulation with design elements – Porches & Changing roofline with alternate forms	
D. BUILDING MATERIALS	
1. EXTERIOR MATERIALS: The proposed cladding materials will be fiber cement products, with varying patterns, including shingle siding, lap siding with 6" exposure, and panel and batten sections painted in a contrasting tone. Roofing will be architectural composition shingle. Trim and millwork will be either fiber cement products or primed and painted wood products.	
No rooftop equipment is proposed. Units will be required to have a small outdoor heat pump unit, which is proposed to be located in a discrete location at 2 nd story unit decks.	
2. COLORS: The intended paint scheme will include warm earth & wood tones, including subtle tans, medium & dark warm grays, and light cream colors.	

KITSAP COUNTY DESIGN DIAGRAMS



FRONT DESIGN



SIDE DESIGN

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/20202:37:11 PM kwlodarchak

WA Architecture
WATTENBARGER
11000 NE 33rd Pl., Ste #102
BELLEVUE, WA 98004
t: 425-453-0606
www.wattenbarger.com

REGISTERED
ARCHITECT
STATE OF WASHINGTON
TRAVIS WATTENBARGER
#102

Revision Schedule
DESCRIPTION DATE

CODE COMPLIANCE

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

Element
RESIDENTIAL INC.

JOB NO.: 21714.2
PLOT DATE 9/25/2020 2:36:56 PM
DATE: 07/03/18
SCALE: As indicated
DRAWN: FA
CHKD: DH
BLDG. SHEET NO.: C A02

Permit Number: 20-03269

WSEC ANALYSIS - BUILDING ENVELOPE:

WSEC SECTION R401.3

Builder shall provide a permanent certificate posted on or within 3' of the electrical distribution panel identifying predominant R-values of insulation installed in or on ceiling/roof, walls, foundation and ducts outside conditioned spaces; U-factors for fenestration and the solar heat gain coefficient (SHGC) of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building.

WSEC SECTION R402.1

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT:

Fenestration max. U-factor:	0.28 (Per WSEC table R406.2 option 1a)
Glazed Fenestration max. SHGC:	Not Required
Ceiling R-Value:	R-49 (R-38 shall be deemed to satisfy the requirement for R-49 wherever the full height of uncompressed R-38 insulation extends over the wall top plate at the eaves.
Floor R-Value	R-38 (Per WSEC table R406.2 option 1a)
Wood-frame wall R-Value	R-21
Slab R-value & Depth	R-10 perimeter & under entire slab (Per WSEC table R406.2 option 1a)

WSEC SECTION R402.4

The building thermal envelope shall be constructed to limit air leakage. Each dwelling unit shall be tested and verified as having an air leakage rate of not exceeding **2** air changes per hour. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals) and per the requirements of section R402.4 of the Washington State Residential Energy Code.

Air barrier and thermal barrier

A continuous air barrier shall be installed in the building envelope. Exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed. Air-permeable insulation shall not be used as a sealing material.

Cavity insulation installation

All cavities in the thermal envelope shall be filled with insulation. The density of the insulation shall be at the manufacturers' product recommendation and said density shall be maintained for all volume of each cavity. Batt type insulation will show no voids or gaps and maintain an even density for the entire cavity. Batt insulation shall be installed in the recommended cavity depth. Where an obstruction in the cavity due to services, blocking, bracing or other obstruction exists, the batt product will be cut to fit the remaining depth of the cavity. Where the batt is cut around obstructions, loose fill insulation shall be placed to fill any surface or concealed voids, and at the manufacturers' specified density. Where faced batt is used, the installation tabs must be stapled to the face of the stud. There shall be no compression to the batt at the edges of the cavity due to inset stapling installation tabs. Insulation that upon installation readily conforms to available space shall be installed filling the entire cavity and within the manufacturers' density recommendation.

Ceiling/attic

The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier sealed. Access openings, drop down stair or knee wall doors to unconditioned attic spaces shall be sealed. Batt insulation installed in attic roof assemblies may be compressed at exterior wall lines to allow for required attic ventilation.

Walls

Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed. The junction of the top plate and top of exterior walls shall be sealed. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier. Knee walls shall be sealed.

Windows, skylights and doors

The space between window/door jambs and framing and skylights and framing shall be sealed.

Rim joists

Rim joists shall be insulated and include the air barrier.

Floors (including above-garage and cantilevered floors)

Insulation shall be installed to maintain permanent contact with underside of subfloor decking. The air barrier shall be installed at any exposed edge of insulation.

Crawl space walls

Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawspace walls. Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.

Shafts, penetrations

Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.

Narrow cavities

Batts in narrow cavities shall be cut to fit and installed to the correct density without any voids or gaps or compression. Narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity space.

Garage separation

Air sealing shall be provided between the garage and conditioned spaces.

Recessed lighting

Recessed light fixtures installed in the building thermal envelope shall be air tight, IC-rated, and sealed to the drywall.

Plumbing and wiring

Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls. There shall be no voids or gaps or compression where cut to fit. Insulation that on installation readily conforms to available space shall extend behind piping and wiring.

Shower/tub on exterior wall

Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.

Electrical/phone box on exterior walls

The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.

HVAC register boots

HVAC register boots that penetrate building thermal envelope shall be sealed to the subfloor or drywall.

WSEC SECTION R403.7.1

All detached one- and two-family dwellings and multiple single-family dwellings (townhouses) up to three stories in height above grade plan using electric zonal heating as the primary heat source shall install an inverter-driven ductless mini-split heat pump in the largest zone in the dwelling. Building permit drawings shall specify the heating equipment type and location of the heating system.

Notes:
See sheet A20 for typical weather barrier installation details
See sheet A21 for typical air barrier installation details

WSEC ANALYSIS - BUILDING ENVELOPE:

DWELLING UNIT PLAN 'A'

Prescriptive Energy Code Compliance for All Climate Zones in Washington

Project Information

Seaside Kingston Townhomes	Wattenbarger Architects, Inc.
24700 Lindvog Rd NE Kingston, WA 98346	11000 NE 33rd Pl., Ste #102
Dwelling Unit Plan 'A'	Bellevue WA 98004

This project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed. In addition, based on the size of the structure, the appropriate number of additional credits are checked as chosen by the permit applicant.

Authorized Representative Travis McDanold Date 08/01/2018

All Climate Zones		
	R-Value ^a	U-Factor ^a
Fenestration U-Factor ^b	n/a	0.30
Skylight U-Factor	n/a	0.50
Glazed Fenestration SHGC ^{c,e}	n/a	n/a
Ceiling ^d	49 ^f	0.026
Wood Frame Wall ^{g,h,i}	21 int	0.056
Mass Wall R-Value ^j	21/21 ^h	0.056
Floor	30 ^h	0.029
Below Grade Wall ^{h,i}	10/15/21 int + TB	0.042
Slab ^k R-Value & Depth	10, 2 ft	n/a

^aTable R402.1.1 and Table R402.1.3 Footnotes included on Page 2.

DWELLING UNIT PLAN 'C'

Prescriptive Energy Code Compliance for All Climate Zones in Washington

Project Information

Seaside Kingston Townhomes	Wattenbarger Architects, Inc.
24700 Lindvog Rd NE Kingston, WA 98346	11000 NE 33rd Pl., Ste #102
Dwelling Unit Plan 'C'	Bellevue WA 98004

This project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed. In addition, based on the size of the structure, the appropriate number of additional credits are checked as chosen by the permit applicant.

Authorized Representative Travis McDanold Date 08/01/2018

All Climate Zones		
	R-Value ^a	U-Factor ^a
Fenestration U-Factor ^b	n/a	0.30
Skylight U-Factor	n/a	0.50
Glazed Fenestration SHGC ^{c,e}	n/a	n/a
Ceiling ^d	49 ^f	0.026
Wood Frame Wall ^{g,h,i}	21 int	0.056
Mass Wall R-Value ^j	21/21 ^h	0.056
Floor	30 ^h	0.029
Below Grade Wall ^{h,i}	10/15/21 int + TB	0.042
Slab ^k R-Value & Depth	10, 2 ft	n/a

^aTable R402.1.1 and Table R402.1.3 Footnotes included on Page 2.

WSEC TABLE R406.2

EFFICIENT BUILDING ENVELOPE 1a:

Prescriptive compliance is based on Table R402.1.1 with the following modifications:
Fenestration U . = 0.28 ; Floor R-38 ; Slab on grade R-10 perimeter and under entire slab ;
Below grade slab R-10 perimeter and under entire slab

HIGH EFFICIENCY HVAC EQUIPMENT 3d:

Ductless Split System Heat Pumps, Zonal Control: In homes where the primary space heating system is zonal electric heating, a ductless heat pump system shall be installed and provide heating to the largest zone of the housing unit. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and the minimum equipment efficiency.

Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2 so as to achieve the following minimum number of credits:

1. Small Dwelling Unit: 1.5 credits
☐ Dwelling units less than 1500 square feet in conditioned floor area with less than 300 square feet of fenestration area. Additions to existing building that are greater than 500 square feet of heated floor area but less than 1500 square feet.
2. Medium Dwelling Unit: 3.5 credits
☒ All dwelling units that are not included in #1 or #3. **Exception:** Dwelling units serving R-2 occupancies shall require 2.5 credits.
3. Large Dwelling Unit: 4.5 credits
Dwelling units exceeding 5000 square feet of conditioned floor area.
4. Additions less than 500 square feet: .5 credits

Table R406.2 Summary

Option	Description	Credit(s)
1a	Efficient Building Envelope 1a	0.5
1b	Efficient Building Envelope 1b	1.0
1c	Efficient Building Envelope 1c	2.0
1d	Efficient Building Envelope 1d	0.5
2a	Air Leakage Control and Efficient Ventilation 2a	0.5
2b	Air Leakage Control and Efficient Ventilation 2b	1.0
2c	Air Leakage Control and Efficient Ventilation 2c	1.5
3a	High Efficiency HVAC 3a	1.0
3b	High Efficiency HVAC 3b	1.0
3c	High Efficiency HVAC 3c	1.5
3d	High Efficiency HVAC 3d	1.0
4	High Efficiency HVAC Distribution System	1.0
5a	Efficient Water Heating 5a	0.5
5b	Efficient Water Heating 5b	1.0
5c	Efficient Water Heating 5c	1.5
5d	Efficient Water Heating 5d	0.5
6	Renewable Electric Energy	0.5

Total Credits

*Please refer to Table R406.2 for complete option descriptions

DWELLING UNIT PLAN 'B'

Prescriptive Energy Code Compliance for All Climate Zones in Washington

Project Information

Seaside Kingston Townhomes	Wattenbarger Architects, Inc.
24700 Lindvog Rd NE Kingston, WA 98346	11000 NE 33rd Pl., Ste #102
Dwelling Unit Plan 'B'	Bellevue WA 98004

This project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed. In addition, based on the size of the structure, the appropriate number of additional credits are checked as chosen by the permit applicant.

Authorized Representative Travis McDanold Date 08/01/2018

All Climate Zones		
	R-Value ^a	U-Factor ^a
Fenestration U-Factor ^b	n/a	0.30
Skylight U-Factor	n/a	0.50
Glazed Fenestration SHGC ^{c,e}	n/a	n/a
Ceiling ^d	49 ^f	0.026
Wood Frame Wall ^{g,h,i}	21 int	0.056
Mass Wall R-Value ^j	21/21 ^h	0.056
Floor	30 ^h	0.029
Below Grade Wall ^{h,i}	10/15/21 int + TB	0.042
Slab ^k R-Value & Depth	10, 2 ft	n/a

^aTable R402.1.1 and Table R402.1.3 Footnotes included on Page 2.

Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2 so as to achieve the following minimum number of credits:

1. Small Dwelling Unit: 1.5 credits
☐ Dwelling units less than 1500 square feet in conditioned floor area with less than 300 square feet of fenestration area. Additions to existing building that are greater than 500 square feet of heated floor area but less than 1500 square feet.
2. Medium Dwelling Unit: 3.5 credits
☒ All dwelling units that are not included in #1 or #3. **Exception:** Dwelling units serving R-2 occupancies shall require 2.5 credits.
3. Large Dwelling Unit: 4.5 credits
Dwelling units exceeding 5000 square feet of conditioned floor area.
4. Additions less than 500 square feet: .5 credits

Table R406.2 Summary

Option	Description	Credit(s)
1a	Efficient Building Envelope 1a	0.5
1b	Efficient Building Envelope 1b	1.0
1c	Efficient Building Envelope 1c	2.0
1d	Efficient Building Envelope 1d	0.5
2a	Air Leakage Control and Efficient Ventilation 2a	0.5
2b	Air Leakage Control and Efficient Ventilation 2b	1.0
2c	Air Leakage Control and Efficient Ventilation 2c	1.5
3a	High Efficiency HVAC 3a	1.0
3b	High Efficiency HVAC 3b	1.0
3c	High Efficiency HVAC 3c	1.5
3d	High Efficiency HVAC 3d	1.0
4	High Efficiency HVAC Distribution System	1.0
5a	Efficient Water Heating 5a	0.5
5b	Efficient Water Heating 5b	1.0
5c	Efficient Water Heating 5c	1.5
5d	Efficient Water Heating 5d	0.5
6	Renewable Electric Energy	0.5

Total Credits

*Please refer to Table R406.2 for complete option descriptions

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WATTENBARGER ARCHITECTURE
11000 NE 33rd Pl., Ste #102
BELLEVUE, WA 98004
www.wattenbarger.com

REGISTERED
ARCHITECT
STATE OF WASHINGTON
No. 10000

ENERGY ANALYSIS

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

Element
RESIDENTIAL INC.

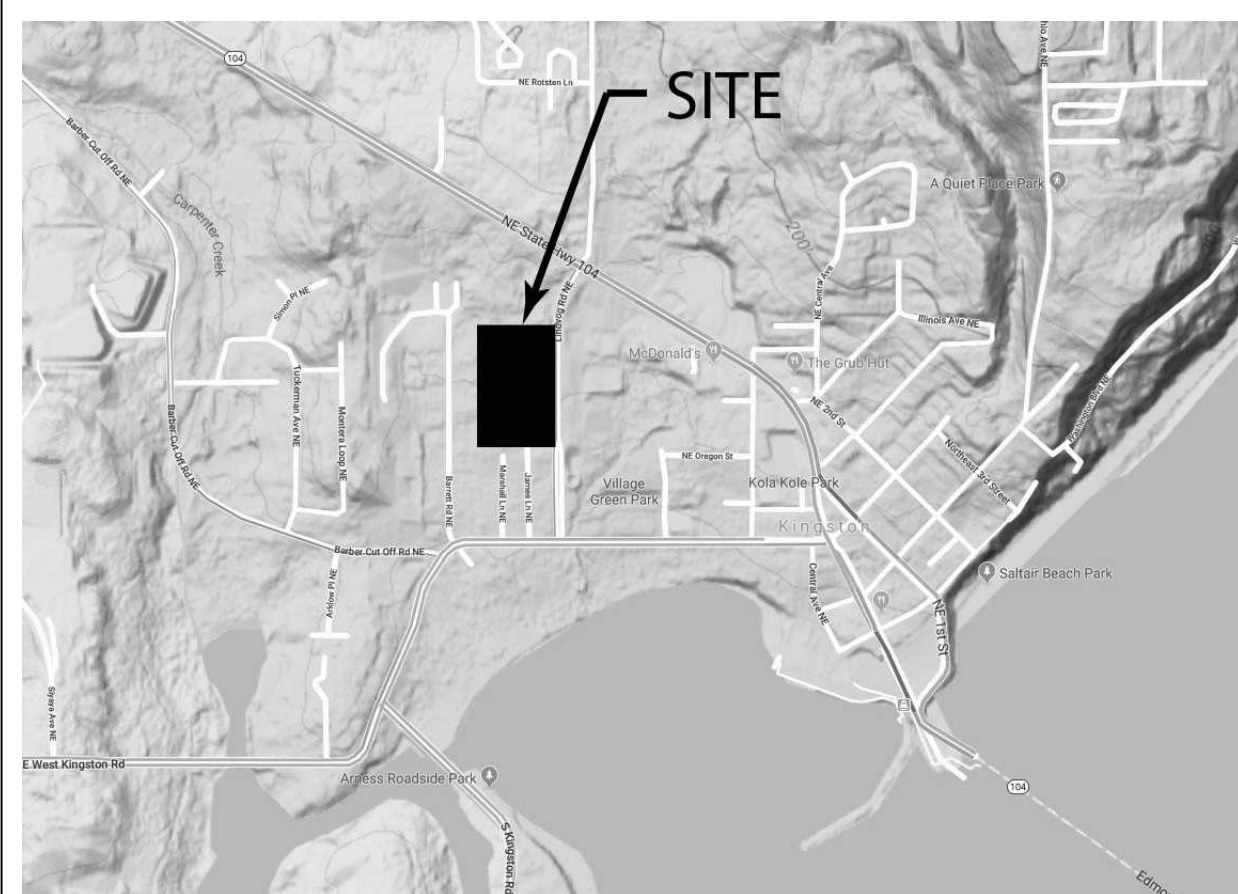
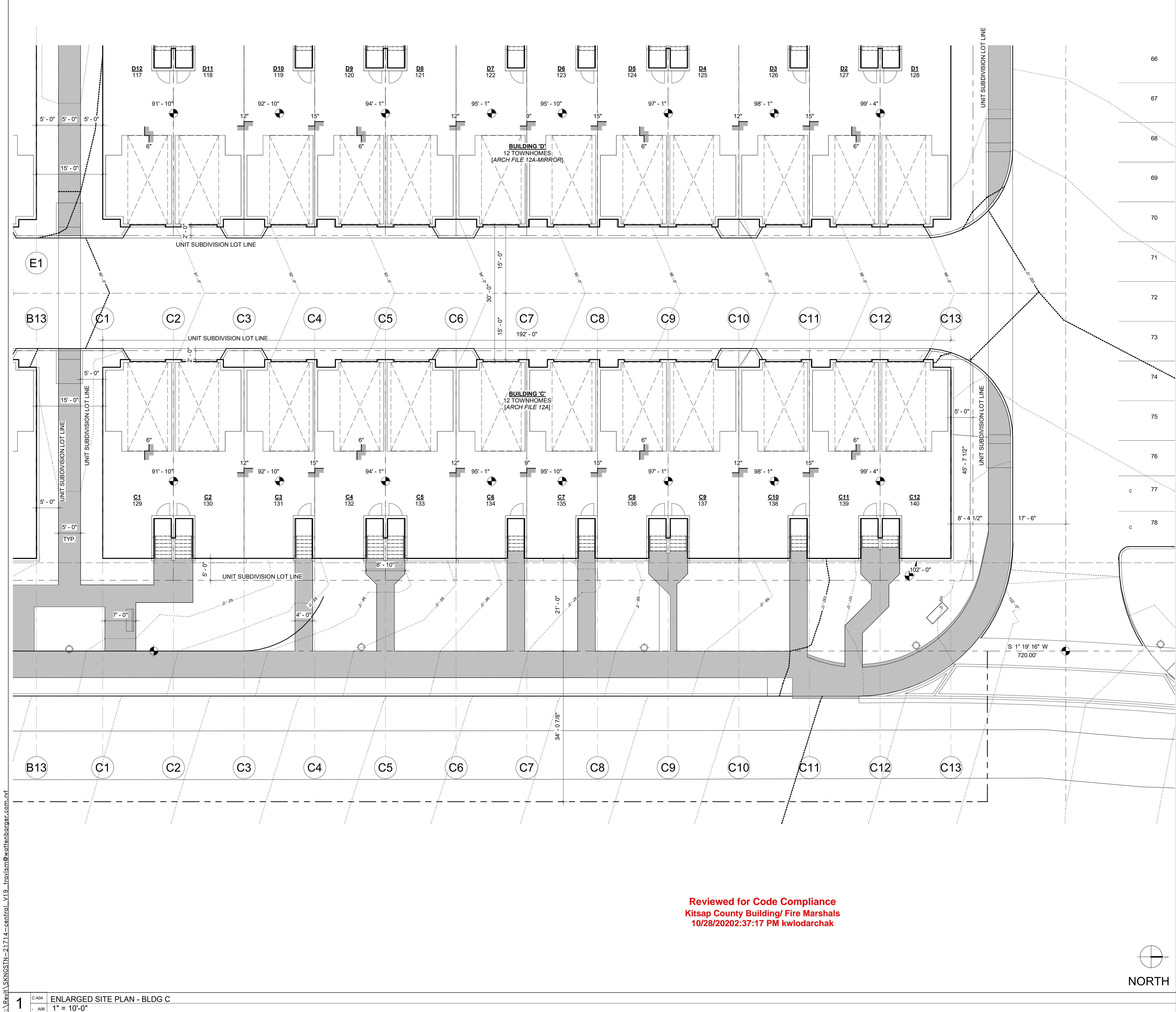
JOB NO.: 21714.2

PLOT DATE 9/25/2020 2:42:26 PM

DATE: 01/09/18
SCALE: 1/2" = 1'-0"
DRAWN: FA
CHKD: DH

BLDG. SHEET NO.: A03

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/20202:37:14 PM kwlodarchak

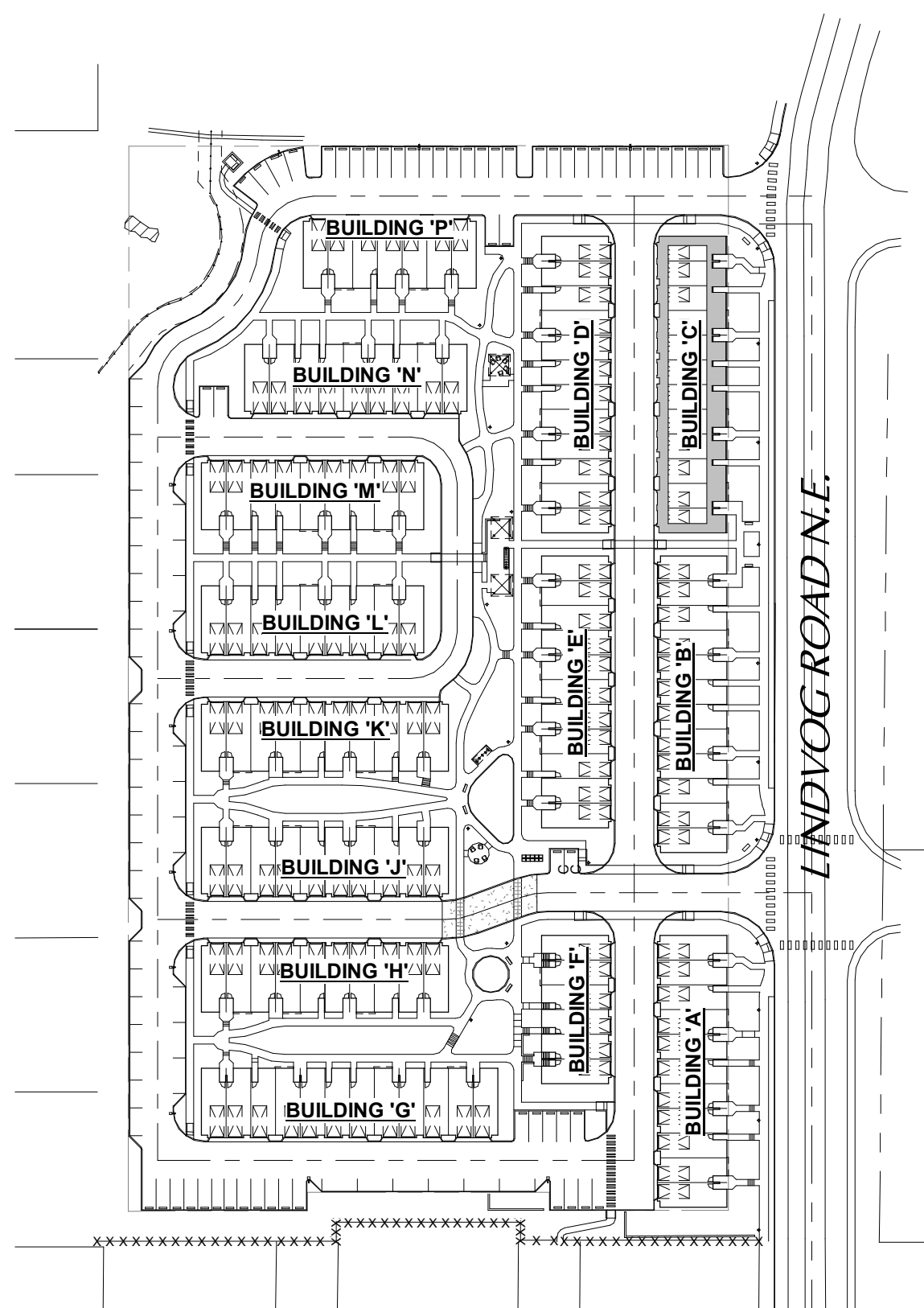


VICINITY PLAN
NOT TO SCALE

SITE DATA:

PROJECT ADDRESS: 24700-26200 LINDVOG ROAD NE KINGSTON, WA 98346
PARCEL TAX I.D.: 4-007, 4-067, 4-015, 4-023, 4-024, 4-025, 4-075, 4-073, 4-044, 4-078, 1-030
ZONING: C - COMMERCIAL (10-30 DU/Ac)
LEGAL DESCRIPTION: THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 27 NORTH, RANGE 2 EAST, W.M., IN KITSAP COUNTY WASHINGTON, LOTS A, B, C & D OR SHORT PLAT NO. 7222, RECORDED UNDER AUDITOR'S FILE NO. 200306060403/0404, IN VOLUME 17 OF SHORT PLATS, PAGE 187.

SITE KEY PLAN:



NOTES:

- 1) APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND.
- 2) ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY. ALL SITE DEVELOPMENT WORK SHALL BE AS INDICATED IN THE APPROVED SITE DEVELOPMENT PERMIT DRAWINGS.

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1 C A04 ENLARGED SITE PLAN - BLDG C
A06 1" = 10'-0"

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/20202:37:17 PM kwlodarchak

Permit Number: 20-03269

WATTENBARGER Architecture
WATTENBARGER
10000 NE 33rd Pl., Ste. #102
BELLEVUE, WA 98004
t: 425-453-0606
www.wattenbarger.com

REGISTERED ARCHITECT
STATE OF WASHINGTON
TRAFFIC MAP

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WINDOW NOTES:

- 1.) Provide insect screens at all operable windows.
- 2.) Windows shall have an air infiltration rate of no more than 0.3 cfm/SqFt.
- 3.) Quantities are provided for convenience only. it shall be the sole responsibility of the contractor to verify all quantities provided.

KEYNOTES:

- FRAMING NOTES:**
- 1.) ALL DIMENSIONS ARE TO FACE OF FRAMING & CENTERLINE OF OPENINGS UNLESS NOTED OTHERWISE.
 - 2.) ALL NON-ORTHOGONAL WALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.
 - 3.) DOORS LOCATED ADJACENT TO A PERPENDICULAR PARTITION AND NOT LOCATED BY DIMENSION ON PLANS, INTERIOR ELEVATIONS, OR DETAILS SHALL BE 3" FROM FACE OF STUD TO EDGE OF DOOR ROUGH OPENING.

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/20202:37:30 PM kwlodarchak

C:\Revit\KINGSTON-21714--central_V19_1\travis@wattenbarger.com.vrt

1 SECOND FLOOR PLAN- NORTH
1/4" = 1'-0"

Permit Number: 20-03269

0' 2' 4' 8' 16'

TOTAL AREA- BLDG C	Area	Name	Area
UNIT C1- GARAGE	310 SF	UNIT C1- LIVING 1ST FL	325 SF
UNIT C1- LIVING 1ST FL	325 SF	UNIT C1- LIVING 2ND FL	572 SF
UNIT C1- LIVING 2ND FL	572 SF	UNIT C1- LIVING 3RD FL	654 SF
UNIT C1- LIVING 3RD FL	654 SF	UNIT C1- STAIRS	77 SF
UNIT C1- STAIRS	77 SF	UNIT C2- LIVING 1ST FL	325 SF
UNIT C2- LIVING 1ST FL	325 SF	UNIT C2- LIVING 2ND FL	578 SF
UNIT C2- LIVING 2ND FL	578 SF	UNIT C2- LIVING 3RD FL	648 SF
UNIT C2- LIVING 3RD FL	648 SF	UNIT C2- STAIRS	76 SF
UNIT C2- STAIRS	76 SF	UNIT C3- LIVING 1ST FL	344 SF
UNIT C3- LIVING 1ST FL	344 SF	UNIT C3- LIVING 2ND FL	580 SF
UNIT C3- LIVING 2ND FL	580 SF	UNIT C3- LIVING 3RD FL	634 SF
UNIT C3- LIVING 3RD FL	634 SF	UNIT C3- STAIRS	57 SF
UNIT C3- STAIRS	57 SF	UNIT C4- LIVING 1ST FL	344 SF
UNIT C4- LIVING 1ST FL	344 SF	UNIT C4- LIVING 2ND FL	580 SF
UNIT C4- LIVING 2ND FL	580 SF	UNIT C4- LIVING 3RD FL	634 SF
UNIT C4- LIVING 3RD FL	634 SF	UNIT C4- STAIRS	57 SF
UNIT C4- STAIRS	57 SF	UNIT C5- LIVING 1ST FL	344 SF
UNIT C5- LIVING 1ST FL	344 SF	UNIT C5- LIVING 2ND FL	580 SF
UNIT C5- LIVING 2ND FL	580 SF	UNIT C5- LIVING 3RD FL	634 SF
UNIT C5- LIVING 3RD FL	634 SF	UNIT C5- STAIRS	57 SF
UNIT C5- STAIRS	57 SF	UNIT C6- LIVING 1ST FL	344 SF
UNIT C6- LIVING 1ST FL	344 SF	UNIT C6- LIVING 2ND FL	580 SF
UNIT C6- LIVING 2ND FL	580 SF	UNIT C6- LIVING 3RD FL	634 SF
UNIT C6- LIVING 3RD FL	634 SF	UNIT C6- STAIRS	57 SF
UNIT C6- STAIRS	57 SF	UNIT C7- LIVING 1ST FL	344 SF
UNIT C7- LIVING 1ST FL	344 SF	UNIT C7- LIVING 2ND FL	580 SF
UNIT C7- LIVING 2ND FL	580 SF	UNIT C7- LIVING 3RD FL	634 SF
UNIT C7- LIVING 3RD FL	634 SF	UNIT C7- STAIRS	57 SF
UNIT C7- STAIRS	57 SF	UNIT C8- LIVING 1ST FL	344 SF
UNIT C8- LIVING 1ST FL	344 SF	UNIT C8- LIVING 2ND FL	580 SF
UNIT C8- LIVING 2ND FL	580 SF	UNIT C8- LIVING 3RD FL	634 SF
UNIT C8- LIVING 3RD FL	634 SF	UNIT C8- STAIRS	57 SF
UNIT C8- STAIRS	57 SF	UNIT C9- LIVING 1ST FL	344 SF
UNIT C9- LIVING 1ST FL	344 SF	UNIT C9- LIVING 2ND FL	580 SF
UNIT C9- LIVING 2ND FL	580 SF	UNIT C9- LIVING 3RD FL	634 SF
UNIT C9- LIVING 3RD FL	634 SF	UNIT C9- STAIRS	57 SF
UNIT C9- STAIRS	57 SF	UNIT C10- LIVING 1ST FL	344 SF
UNIT C10- LIVING 1ST FL	344 SF	UNIT C10- LIVING 2ND FL	580 SF
UNIT C10- LIVING 2ND FL	580 SF	UNIT C10- LIVING 3RD FL	634 SF
UNIT C10- LIVING 3RD FL	634 SF	UNIT C10- STAIRS	57 SF
UNIT C10- STAIRS	57 SF	UNIT C11- LIVING 1ST FL	344 SF
UNIT C11- LIVING 1ST FL	344 SF	UNIT C11- LIVING 2ND FL	580 SF
UNIT C11- LIVING 2ND FL	580 SF	UNIT C11- LIVING 3RD FL	634 SF
UNIT C11- LIVING 3RD FL	634 SF	UNIT C11- STAIRS	57 SF
UNIT C11- STAIRS	57 SF	UNIT C12- LIVING 1ST FL	344 SF
UNIT C12- LIVING 1ST FL	344 SF	UNIT C12- LIVING 2ND FL	580 SF
UNIT C12- LIVING 2ND FL	580 SF	UNIT C12- LIVING 3RD FL	634 SF
UNIT C12- LIVING 3RD FL	634 SF	UNIT C12- STAIRS	57 SF
UNIT C12- STAIRS	57 SF	TOTAL HEATED	19,447 SF
GRAND TOTAL	23,160 SF		

WINDOW SCHEDULE									
TYPE	QTY	WIDTH	HEIGHT	FRAME	U-VALUE	GLASS	GLASS	GLASS	COUNT
A	1	6'-0"	7'-0"	PVC	<0.28	No	2		
B	1	6'-0"	6'-0"	PVC	<0.28	No	2		
C	1	6'-0"	5'-0"	PVC	<0.28	Yes	7		
D	1	6'-0"	4'-0"	PVC	<0.28	Yes	9		
E	1	6'-0"	4'-0"	PVC	<0.28	Yes	10		
F	1	6'-0"	4'-0"	PVC	<0.28	No	2		
G	1	6'-0"	4'-0"	PVC	<0.28	Yes	20		
H	1	6'-0"	4'-0"	PVC	<0.28	No	6		
I	1	6'-0"	4'-0"	PVC	<0.28	No	2		
J	1	6'-0"	4'-0"	PVC	<0.28	No	12		
K	1	6'-0"	4'-0"	PVC	<0.28	No	5		
L	1	6'-0"	4'-0"	PVC	<0.28	No	5		
M	1	6'-0"	4'-0"	PVC	<0.28	No	5		
N	1	6'-0"	4'-0"	PVC	<0.28	No	5		
O	1	6'-0"	4'-0"	PVC	<0.28	No	5		
P	1	6'-0"	4'-0"	PVC	<0.28	No	5		
Q	1	6'-0"	4'-0"	PVC	<0.28	No	4		
R	1	6'-0"	4'-0"	PVC	<0.28	No	12		
S	1	6'-0"	4'-0"	PVC	<0.28	No	6		
T	1	6'-0"	4'-0"	PVC	<0.28	No	2		
U	1	6'-0"	4'-0"	PVC	<0.28	No	2		
V	1	6'-0"	4'-0"	PVC	<0.28	Yes	2		

WINDOW NOTES:
1.) Provide insect screens at all operable windows.
2.) Windows shall have an air infiltration rate of no more than 0.3 cfm/SqFt.
3.) Quantities are provided for convenience only. It shall be the sole responsibility of the contractor to verify all quantities provided.

WALL TYPE SCHEDULE
Pair double dashed lines indicate walls required to be 2-HR fire resistance rated per assembly WP-3820, see sheet A22.

- KEYNOTES:
- ELEC. HIGH EFFICIENCY WATER HEATER: PRESSURE RELIEF TO EXTERIOR, PROVIDE ADJACENT 3" MIN. STEEL BOLLARD WHEN LOCATED IN GARAGE. SEE 3/A25. PROVIDE ADJACENT FLOOR DRAIN.
 - GARAGE DOOR: SELF-CLOSING 20 MIN. SMOKE & DRAFT CONTROL DOOR W/ TYPE 'S' FIRE RATING LABEL
 - HANDRAIL AT STAIRS: FINISHED WOOD HANDRAIL, OVAL OR LOAF PROFILE, MOUNT 34" - 38" ABOVE STAIR NOSING, 1-1/2" MIN. FROM FACE OF WALL, RETURN TO WALL AT ENDS.
 - SHELVING: COAT & BEDROOM CLOSETS: CLOSET ROD W/ VINYL-COATED WIRE SHELF AT 66" AFF. LINEN CLOSETS, KITCHEN PANTRIES: (4) VINYL COATED WIRE SHELVES
 - HOSE BIB: FROST FREE HOSE BIB WITH VACUUM BREAKER
 - TUB/SHOWER: 60" x 30" SINGLE PIECE FIBERGLASS TUB/SHOWER ENCLOSURE
 - SHOWER: 36" x 36" SINGLE PIECE FIBERGLASS SHOWER ENCLOSURE
 - SHOWER: 36" x 38" SINGLE PIECE FIBERGLASS NEO CORNER SHOWER ENCLOSURE
 - SHOWER: 36" x 48" SINGLE PIECE FIBERGLASS TUB/SHOWER ENCLOSURE SLIDING GLASS SHOWER DOOR (OPTIONAL)
 - MINISPLIT INDOOR/OUTDOOR UNIT: INVERTER-DRIVEN SINGLE ZONE DUCTLESS MINI-SPLIT HEAT PUMP, 16 SEER MIN: UNIT PLAN A, B, C: 9K BTU/H MIN.
 - NOT USED.
 - STORAGE DOOR: 24" x 36" STORAGE ACCESS, SELF-CLOSING 20 MIN.
 - RAILINGS: PICKET RAILINGS

FRAMING NOTES:
1.) ALL DIMENSIONS ARE TO FACE OF FRAMING & CENTERLINE OF OPENINGS UNLESS NOTED OTHERWISE.
2.) ALL NON-ORTHOGONAL WALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.
3.) DOORS LOCATED ADJACENT TO A PERPENDICULAR PARTITION AND NOT LOCATED BY DIMENSION ON PLANS, INTERIOR ELEVATIONS, OR DETAILS SHALL BE 3" FROM FACE OF STUD TO EDGE OF DOOR ROUGH OPENING.

WATTENBARGER ARCHITECTURE
WATTENBARGER
10000 NE 33rd Pl, Ste #102
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t: 425-453-0606
www.wattenbarger.com

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KINGSTON, WA
COUNTY OF KINGSTON
STATE OF WASHINGTON
10/28/2020 2:37:30 PM
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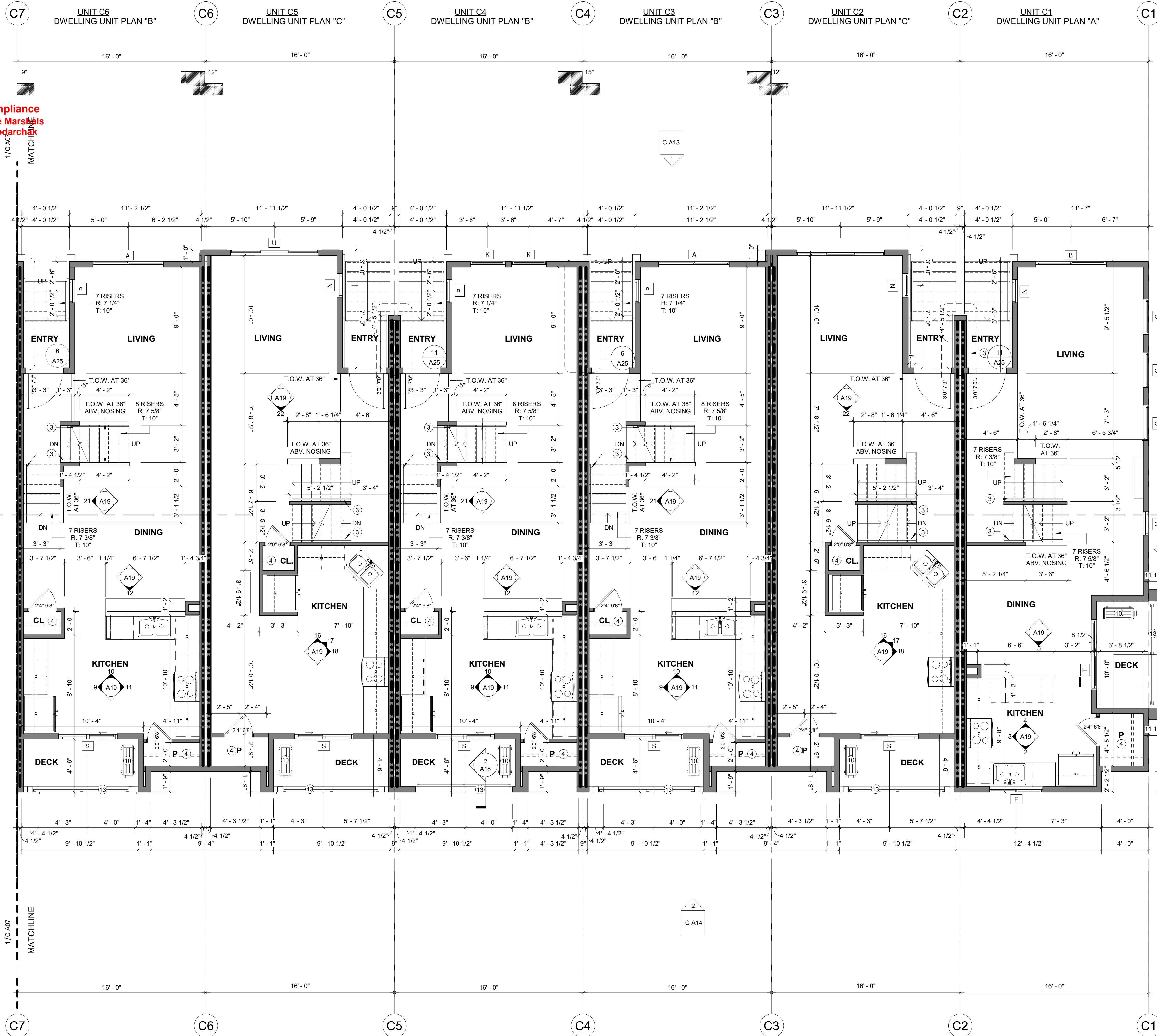
Revision Schedule
DESCRIPTION DATE

SECOND FLOOR PLAN
PLAN

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

JOE NO.: 21714.2
PLOT DATE 9/25/2020 2:37:56 PM
DATE: 07/03/18
SCALE: As indicated
DRAWN: FA
CHKD: DH
BLDG. SHEET NO.: C A07

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/2020:2:37:34 PM kwlodarchak



TOTAL AREA- BLDG C	Area	Name	Area
UNIT C1 - GARAGE	310 SF	UNIT C1 - LIVING 1ST FL	325 SF
UNIT C1 - LIVING 1ST FL	325 SF	UNIT C1 - LIVING 2ND FL	572 SF
UNIT C1 - LIVING 2ND FL	572 SF	UNIT C1 - LIVING 3RD FL	654 SF
UNIT C1 - LIVING 3RD FL	654 SF	UNIT C1 - STAIRS	77 SF
UNIT C1 - STAIRS	77 SF	UNIT C2 - LIVING 1ST FL	325 SF
UNIT C2 - LIVING 1ST FL	325 SF	UNIT C2 - LIVING 2ND FL	578 SF
UNIT C2 - LIVING 2ND FL	578 SF	UNIT C2 - LIVING 3RD FL	648 SF
UNIT C2 - LIVING 3RD FL	648 SF	UNIT C2 - STAIRS	76 SF
UNIT C2 - STAIRS	76 SF	UNIT C3 - LIVING 1ST FL	344 SF
UNIT C3 - LIVING 1ST FL	344 SF	UNIT C3 - LIVING 2ND FL	580 SF
UNIT C3 - LIVING 2ND FL	580 SF	UNIT C3 - LIVING 3RD FL	634 SF
UNIT C3 - LIVING 3RD FL	634 SF	UNIT C3 - STAIRS	57 SF
UNIT C3 - STAIRS	57 SF	UNIT C4 - LIVING 1ST FL	344 SF
UNIT C4 - LIVING 1ST FL	344 SF	UNIT C4 - LIVING 2ND FL	578 SF
UNIT C4 - LIVING 2ND FL	578 SF	UNIT C4 - LIVING 3RD FL	634 SF
UNIT C4 - LIVING 3RD FL	634 SF	UNIT C4 - STAIRS	57 SF
UNIT C4 - STAIRS	57 SF	UNIT C5 - LIVING 1ST FL	344 SF
UNIT C5 - LIVING 1ST FL	344 SF	UNIT C5 - LIVING 2ND FL	578 SF
UNIT C5 - LIVING 2ND FL	578 SF	UNIT C5 - LIVING 3RD FL	634 SF
UNIT C5 - LIVING 3RD FL	634 SF	UNIT C5 - STAIRS	57 SF
UNIT C5 - STAIRS	57 SF	UNIT C6 - LIVING 1ST FL	344 SF
UNIT C6 - LIVING 1ST FL	344 SF	UNIT C6 - LIVING 2ND FL	578 SF
UNIT C6 - LIVING 2ND FL	578 SF	UNIT C6 - LIVING 3RD FL	634 SF
UNIT C6 - LIVING 3RD FL	634 SF	UNIT C6 - STAIRS	57 SF
UNIT C6 - STAIRS	57 SF	UNIT C7 - LIVING 1ST FL	344 SF
UNIT C7 - LIVING 1ST FL	344 SF	UNIT C7 - LIVING 2ND FL	578 SF
UNIT C7 - LIVING 2ND FL	578 SF	UNIT C7 - LIVING 3RD FL	634 SF
UNIT C7 - LIVING 3RD FL	634 SF	UNIT C7 - STAIRS	57 SF
UNIT C7 - STAIRS	57 SF	UNIT C8 - LIVING 1ST FL	344 SF
UNIT C8 - LIVING 1ST FL	344 SF	UNIT C8 - LIVING 2ND FL	578 SF
UNIT C8 - LIVING 2ND FL	578 SF	UNIT C8 - LIVING 3RD FL	634 SF
UNIT C8 - LIVING 3RD FL	634 SF	UNIT C8 - STAIRS	57 SF
UNIT C8 - STAIRS	57 SF	UNIT C9 - LIVING 1ST FL	344 SF
UNIT C9 - LIVING 1ST FL	344 SF	UNIT C9 - LIVING 2ND FL	578 SF
UNIT C9 - LIVING 2ND FL	578 SF	UNIT C9 - LIVING 3RD FL	634 SF
UNIT C9 - LIVING 3RD FL	634 SF	UNIT C9 - STAIRS	57 SF
UNIT C9 - STAIRS	57 SF	UNIT C10 - LIVING 1ST FL	344 SF
UNIT C10 - LIVING 1ST FL	344 SF	UNIT C10 - LIVING 2ND FL	578 SF
UNIT C10 - LIVING 2ND FL	578 SF	UNIT C10 - LIVING 3RD FL	634 SF
UNIT C10 - LIVING 3RD FL	634 SF	UNIT C10 - STAIRS	57 SF
UNIT C10 - STAIRS	57 SF	UNIT C11 - LIVING 1ST FL	344 SF
UNIT C11 - LIVING 1ST FL	344 SF	UNIT C11 - LIVING 2ND FL	578 SF
UNIT C11 - LIVING 2ND FL	578 SF	UNIT C11 - LIVING 3RD FL	634 SF
UNIT C11 - LIVING 3RD FL	634 SF	UNIT C11 - STAIRS	57 SF
UNIT C11 - STAIRS	57 SF	UNIT C12 - LIVING 1ST FL	344 SF
UNIT C12 - LIVING 1ST FL	344 SF	UNIT C12 - LIVING 2ND FL	578 SF
UNIT C12 - LIVING 2ND FL	578 SF	UNIT C12 - LIVING 3RD FL	634 SF
UNIT C12 - LIVING 3RD FL	634 SF	UNIT C12 - STAIRS	57 SF
UNIT C12 - STAIRS	57 SF	TOTAL HEATED	19,447 SF
GRAND TOTAL	23,169 SF		

WINDOW SCHEDULE

TYPE	OPER.	NOM WIDTH	NOM HEIGHT	U-VALUE	E-VALUE	GLASS COUNT
A	SLDR	6	0	7	0	PVC < 0.28 No 6
B	SLDR	6	0	6	0	PVC < 0.28 No 6
C	SLDR	6	0	5	0	PVC < 0.28 Yes 7
D	SLDR	6	0	4	0	PVC < 0.28 Yes 9
E	SLDR	5	0	4	6	PVC < 0.28 Yes 10
F	SLDR	4	6	4	6	PVC < 0.28 No 2
G	SH	3	0	5	0	PVC < 0.28 Yes 20
H	SH	3	0	7	0	PVC < 0.28 No 6
I	PIC	2	0	4	0	PVC < 0.28 No 2
J	PIC	2	0	5	0	PVC < 0.28 No 12
K	PIC	2	0	6	0	PVC < 0.28 No 5
L	PIC	2	0	7	0	PVC < 0.28 No 7
M	PIC	2	3	4	0	PVC < 0.28 No 4
N	PIC	3	3	2	6	PVC < 0.28 No 12
O	SGD	5	0	6	8	PVC < 0.28 No 10
P	SGD	6	0	6	8	PVC < 0.28 No 2
Q	XOX SLDR	7	6	6	0	PVC < 0.28 No 2
R	XOX SLDR	7	6	5	0	PVC < 0.28 Yes 2

- WINDOW NOTES:
- 1.) Provide insect screens at all operable windows.
 - 2.) Windows shall have an air infiltration rate of no more than 0.3 cm/SqFt.
 - 3.) Quantities are provided for convenience only. It shall be the sole responsibility of the contractor to verify all quantities provided.

WALL TYPE SCHEDULE

Pair double dashed lines indicate walls required to be 2-HR fire resistance rated per assembly WP-3820, see sheet A22.

KEYNOTES:

- ELEC. HIGH EFFICIENCY WATER HEATER:
- 1) PRESSURE RELIEF TO EXTERIOR, PROVIDE ADJACENT 3" MIN. STEEL BOLLARD WHEN LOCATED AT GARAGE. SEE 3/A25. PROVIDE ADJACENT FLOOR DRAIN.
 - 2) GARAGE DOOR: SELF-CLOSING 20 MIN. SMOKE & DRAFT CONTROL DOOR W/ TYPE "S" FIRE RATING LABEL.
 - 3) HANDRAIL AT STAIRS: FINISHED WOOD HANDRAIL, OVAL OR LOAF PROFILE, MOUNT 34" - 38" ABOVE STAIR NOSING, 1-1/2" MIN. FROM FACE OF WALL, RETURN TO WALL AT ENDS.
 - 4) SHELVEING: COAT & BEDROOM CLOSETS: CLOSET ROD W/ VINYL-COATED WIRE SHELF AT 66" AFF. LINEN CLOSETS, KITCHEN PANTRIES: (4) VINYL COATED WIRE SHELVES
 - 5) HOSE BIB: FROST FREE HOSE BIB WITH VACUUM BREAKER
 - 6) TUB/SHOWER: 60" x 30" SINGLE PIECE FIBERGLASS TUB/SHOWER ENCLOSURE
 - 7) SHOWER: 36" x 36" SINGLE PIECE FIBERGLASS SHOWER ENCLOSURE
 - 8) SHOWER: 38" x 38" SINGLE PIECE FIBERGLASS NEO CORNER SHOWER ENCLOSURE
 - 9) SHOWER: 36" x 48" SINGLE PIECE FIBERGLASS TUB/SHOWER ENCLOSURE SLIDING GLASS SHOWER DOOR (OPTIONAL)
 - 10) MINISPLIT INDOOR/OUTDOOR UNIT: INVERTER-DRIVEN SINGLE ZONE DUCTLESS MINI-SPLIT HEAT PUMP, 16 SEER MIN.
 - 11) NOT USED.
 - 12) STORAGE DOOR: 24" x 36" STORAGE ACCESS, SELF-CLOSING 20 MIN.
 - 13) RAILINGS: PICKET RAILINGS

FRAMING NOTES:

- 1.) ALL DIMENSIONS ARE TO FACE OF FRAMING & CENTERLINE OF OPENINGS UNLESS NOTED OTHERWISE.
- 2.) ALL NON-ORTHOGONAL WALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.
- 3.) DOORS LOCATED ADJACENT TO A PERPENDICULAR PARTITION AND NOT LOCATED BY DIMENSION ON PLANS, INTERIOR ELEVATIONS, OR DETAILS SHALL BE 3" FROM FACE OF STUD TO EDGE OF DOOR ROUGH OPENING.

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REGISTERED ARCHITECT
STATE OF WASHINGTON
TRADE MARK

Revision Schedule
DESCRIPTION DATE

SECOND FLOOR PLAN

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

JOE NO.: 21714.2
PLOT DATE 9/25/2020 2:38:23 PM
DATE: 07/03/18
SCALE: As indicated
DRAWN: FA
CHKD: DH
BLDG. SHEET NO.: C A08

WINDOW SCHEDULE		NOM WIDTH		NOM HEIGHT		FRAME	U-VALUE	EGRESS	SQUANT
TYPE	OPER	"	"	"	"				
A	XO SLDR	6	0	7	0	PVC	<0.28	No	4
B	XO SLDR	6	0	8	0	PVC	<0.28	No	2
D	XO SLDR	6	0	8	0	PVC	<0.28	Yes	7
E	XO SLDR	6	0	4	0	PVC	<0.28	Yes	9
F	XO SLDR	5	0	4	0	PVC	<0.28	Yes	10
G	XO SLDR	6	0	8	0	PVC	<0.28	Yes	7
G	SH	3	0	5	0	PVC	<0.28	Yes	20
K	SH	3	0	7	0	PVC	<0.28	No	6
L	PIC	2	0	4	0	PVC	<0.28	No	2
M	PIC	2	0	2	0	PVC	<0.28	No	7
N	PIC	2	0	6	0	PVC	<0.28	No	5
P	PIC	2	0	7	0	PVC	<0.28	No	7
R	PIC	2	0	3	0	PVC	<0.28	No	10
R	PIC	3	0	2	0	PVC	<0.28	No	12
S	SIGD	5	0	6	8	PVC	<0.28	No	10
S	SIGD	6	0	6	8	PVC	<0.28	No	2
U	XO SLDR	7	6	5	0	PVC	<0.28	Yes	2
V	XO SLDR	7	6	5	0	PVC	<0.28	Yes	2

WINDOW NOTES:

- 1.) Provide insect screens at all operable windows.
- 2.) Windows shall have an air infiltration rate of no more than 0.3 cfm/SqFt.
- 3.) Quantities are provided for convenience only. it shall be the responsibility of the contractor to verify all quantities provided.

WALL TYPE SCHEDULE

Pair double dashed lines indicate walls required to be 2-HR fire resistance rated per assembly WP-3820 see sheet A22

KEYNOTES:

- 1** **ELEC. HIGH EFFICIENCY WATER HEATER:**
PRESSURE RELIEF TO EXTERIOR, PROVIDE ADJACENT 3" MIN. STEEL BOLLARD WHEN LOCATED AT GARAGE SEE 3/A25. PROVIDE ADJACENT FLOOR DRAIN.
- 2** **GARAGE DOOR:** SELF-CLOSING 20 MIN. SMOKE & DRAFT CONTROL DOOR W/ TYPE 'S' FIRE RATING LABEL

3 **HANDRAIL AT STAIRS:** FINISHED WOOD HANDRAIL, OVAL OR LOAF PROFILE, MOUNT 34" - 38" ABOVE STAIR NOSING, 1-1/2" MIN. FROM FACE OF WALL, RETURN TO WALL AT ENDS.

- 4** **SHELVING:**
COAT & BEDROOM CLOSETS: CLOSET ROD W/
VINYL-COATED WIRE SHELF AT 66" AFF.
LINEN CLOSETS, KITCHEN PANTRIES: (4) VINYL
COATED WIRE SHELVES
- 5** **HOSE BIB:** FROST FREE HOSE BIB WITH VACUUM
BREAKER

6 **TUB/SHOWER:** 60" x 30" SINGLE PIECE FIBERGLASS
TUB/SHOWER ENCLOSURE

7 **SHOWER:** 36" x 36" SINGLE PIECE FIBERGLASS
SHOWER ENCLOSURE

- 8 **SHOWER:** 38" x 38" SINGLE PIECE FIBERGLASS NEO CORNER SHOWER ENCLOSURE
- 9 **SHOWER:** 36" x 48" SINGLE PIECE FIBERGLASS TUB/SHOWER ENCLOSURE
SLIDING GLASS SHOWER DOOR (OPTIONAL)

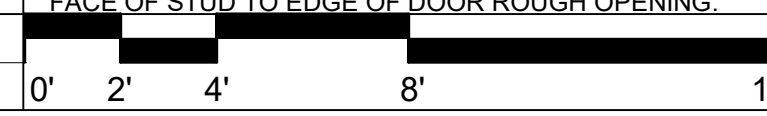
10 MINISPLIT INDOOR/OUTDOOR UNIT:
INVERTER-DRIVEN SINGLE ZONE DUCTLESS
MINI-SPLIT HEAT PUMP, 16 SEER MIN:
UNIT PLAN A, B, C: 9K BTU/H MIN.

11 NOT USED.

12 STORAGE DOOR: 24" x 36" STORAGE ACCESS, SELF-CLOSING 20 MIN.

13 **RAILINGS:** PICKET RAILINGS
FRAMING NOTES:

1.) ALL DIMENSIONS ARE TO FACE OF FRAMING & CENTERLINE OF OPENINGS UNLESS NOTED OTHERWISE.
2.) ALL NON-ORTHOGONAL WALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.
3.) DOORS LOCATED ADJACENT TO A PERPENDICULAR PARTITION AND NOT LOCATED BY DIMENSION ON PLANS, INTERIOR ELEVATIONS, OR DETAILS SHALL BE 3" FROM FACE OF STUD TO FACE OF DOOR BENCH OPENING.



TOTAL AREA - BLDG C	Area	Name	Area
UNIT C1 - GARAGE	310.50	UNIT C1 - LIVING 1ST FL	320
UNIT C1 - LIVING 1ST FL	572.00	UNIT C1 - LIVING 2ND FL	572
UNIT C1 - LIVING 2ND FL	572.00	UNIT C1 - LIVING 3RD FL	572
UNIT C1 - LIVING 3RD FL	654.50	UNIT C1 - STAIRS	77
UNIT C1 - STAIRS	77.00	UNIT C2 - LIVING 1ST FL	325
UNIT C2 - LIVING 1ST FL	325.00	UNIT C2 - LIVING 2ND FL	325
UNIT C2 - LIVING 2ND FL	646.50	UNIT C2 - STAIRS	76
UNIT C2 - LIVING 3RD FL	646.50	UNIT C2 - LIVING 4TH FL	578
UNIT C2 - STAIRS	76.00	UNIT C3 - LIVING 2ND FL	580
UNIT C3 - GARAGE	309.50	UNIT C3 - LIVING 3RD FL	634
UNIT C3 - LIVING 1ST FL	344.50	UNIT C3 - STAIRS	577
UNIT C3 - LIVING 2ND FL	634.50	UNIT C4 - LIVING 1ST FL	325
UNIT C3 - LIVING 3RD FL	634.50	UNIT C4 - LIVING 2ND FL	580
UNIT C3 - STAIRS	57.00	UNIT C4 - LIVING 3RD FL	634
UNIT C4 - GARAGE	344.50	UNIT C4 - LIVING 4TH FL	578
UNIT C4 - LIVING 1ST FL	325.00	UNIT C5 - LIVING 1ST FL	325
UNIT C4 - LIVING 2ND FL	580.50	UNIT C5 - LIVING 2ND FL	578
UNIT C4 - LIVING 3RD FL	634.50	UNIT C5 - LIVING 3RD FL	648
UNIT C5 - STAIRS	76.00	UNIT C5 - STAIRS	76
UNIT C5 - GARAGE	309.50	UNIT C5 - LIVING 1ST FL	325
UNIT C5 - LIVING 1ST FL	325.00	UNIT C6 - LIVING 2ND FL	580
UNIT C5 - LIVING 2ND FL	578.00	UNIT C6 - LIVING 3RD FL	634
UNIT C5 - LIVING 3RD FL	634.50	UNIT C7 - STAIRS	577
UNIT C5 - STAIRS	76.00	UNIT C7 - LIVING 1ST FL	344
UNIT C6 - GARAGE	309.50	UNIT C7 - LIVING 2ND FL	580
UNIT C6 - LIVING 1ST FL	344.50	UNIT C7 - LIVING 3RD FL	648
UNIT C6 - LIVING 2ND FL	580.50	UNIT C7 - STAIRS	577
UNIT C6 - LIVING 3RD FL	634.50	UNIT C8 - LIVING 1ST FL	344
UNIT C6 - STAIRS	57.00	UNIT C8 - LIVING 2ND FL	580
UNIT C6 - GARAGE	309.50	UNIT C8 - LIVING 3RD FL	634
UNIT C7 - LIVING 1ST FL	344.50	UNIT C8 - STAIRS	577
UNIT C7 - LIVING 2ND FL	580.50	UNIT C9 - LIVING 1ST FL	325
UNIT C7 - LIVING 3RD FL	634.50	UNIT C9 - LIVING 2ND FL	578
UNIT C7 - STAIRS	76.00	UNIT C9 - LIVING 3RD FL	648
UNIT C8 - GARAGE	309.50	UNIT C9 - STAIRS	76
UNIT C8 - LIVING 1ST FL	344.50	UNIT C10 - LIVING 1ST FL	344
UNIT C8 - LIVING 2ND FL	580.50	UNIT C10 - LIVING 2ND FL	578
UNIT C8 - LIVING 3RD FL	634.50	UNIT C10 - LIVING 3RD FL	634
UNIT C8 - STAIRS	57.00	UNIT C10 - STAIRS	577
UNIT C9 - GARAGE	309.50	UNIT C11 - LIVING 1ST FL	344
UNIT C9 - LIVING 1ST FL	344.50	UNIT C11 - LIVING 2ND FL	580
UNIT C9 - LIVING 2ND FL	578.00	UNIT C11 - LIVING 3RD FL	648
UNIT C9 - LIVING 3RD FL	648.50	UNIT C11 - STAIRS	577
UNIT C9 - STAIRS	76.00	UNIT C12 - LIVING 1ST FL	325
UNIT C10 - GARAGE	309.50	UNIT C12 - LIVING 2ND FL	572
UNIT C10 - LIVING 1ST FL	344.50	UNIT C12 - LIVING 3RD FL	634
UNIT C10 - LIVING 2ND FL	580.50	UNIT C12 - STAIRS	76
UNIT C10 - LIVING 3RD FL	634.50		154

UNIT C10 - STAIRS	57 SF	TOTAL HEATED
UNIT C11 - GARAGE	309 SF	
UNIT C11 - LIVING 1ST FL	344 SF	
UNIT C11 - LIVING 2ND FL	580 SF	
UNIT C11 - LIVING 3RD FL	634 SF	
UNIT C11 - STAIRS	57 SF	
UNIT C12 - GARAGE	310 SF	
UNIT C12 - LIVING 1ST FL	325 SF	
UNIT C12 - LIVING 2ND FL	622 SF	

UNIT C12 - LIVING 3RD FL654 SF

UNIT C12 - STAIRS77 SF

GRAND TOTAL21,158 SF

WINDOW SCHEDULE

TYPE	OPER.	NOM WIDTH			NOM HEIGHT	FRAME	U-VALUE	E-EGRESS	COUNT
		"	"	"			"		
A	XO SLDR	6	0	7	0	PVC	<0.28	No	4
B	XO SLDR	6	0	6	0	PVC	<0.28	No	2
C	XO SLDR	6	0	4	0	PVC	<0.28	Yes	7
D	XO SLDR	6	0	4	0	PVC	<0.28	Yes	9
E	XO SLDR	5	0	4	6	PVC	<0.28	Yes	10
F	XO SLDR	4	6	4	6	PVC	<0.28	No	2
G	SH	3	0	0	0	PVC	<0.28	Yes	20
K	SH	3	0	7	0	PVC	<0.28	No	6
L	PC	2	0	4	0	PVC	<0.28	No	2
M	PC	2	0	5	0	PVC	<0.28	No	12
N	PC	2	0	7	0	PVC	<0.28	No	5
P	PC	2	0	7	0	PVC	<0.28	No	7
Q	PC	2	3	4	0	PVC	<0.28	No	4
R	PC	2	3	2	6	PVC	<0.28	No	12
S	SGD	5	0	8	6	PVC	<0.28	No	10
T	SGD	6	0	6	8	PVC	<0.28	No	2
U	XOX SLDR	7	6	6	0	PVC	<0.28	No	12

V	XOX SLDR	7	6	5	0	PVC	< 0.28	Yes	2
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WINDOW NOTES:

- 1.) Provide insect screens at all operable windows.
- 2.) Windows shall have an air infiltration rate of no more than 0.3 cfm/SqFt.
- 3.) Quantities are provided for convenience only. it shall be the sole responsibility of the contractor to verify all quantities provided.

WALL TYPE SCHEDULE

== :: == Pair double dashed lines indicate walls required to be 2-HR fire resistance rated per assembly

WP-3820, see sheet A22.

KEYNOTES:

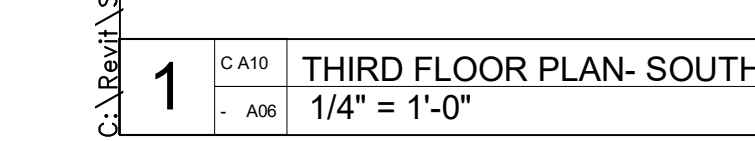
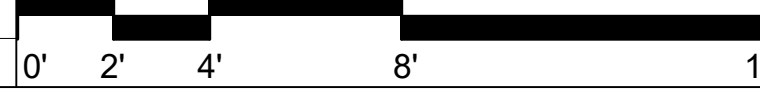
1 **ELEC. HIGH EFFICIENCY WATER HEATER:**
PRESSURE RELIEF TO EXTERIOR, PROVIDE ADJACENT
3" MIN. STEEL BOLLARD WHEN LOCATED AT GARAGE.
SEE 3/A25. PROVIDE ADJACENT FLOOR DRAIN.

- 2 **GARAGE DOOR:** SELF-CLOSING 20 MIN. SMOKE & DRAFT CONTROL DOOR W/ TYPE "S" FIRE RATING LABEL
- 3 **HANDRAIL AT STAIRS:** FINISHED WOOD HANDRAIL, OVAL OR LOAF PROFILE, MOUNT 34" - 38" ABOVE STAIR NOSING, ± 1/2" MIN. FROM FACE OF WALL, RETURN TO WALL AT ENDS.
- 4 **SHELVING:**
CLOSET & BEDROOM CLOSETS, CLOSET ROD W/ VINYL-COATED WIRE SHELF AT 8" AFF.
LINEN CLOSETS, KITCHEN PANTRIES: (4) VINYL COATED WIRE SHELVES
- 5 **HOSE BIB:** FROST FREE HOSE BIB WITH VACUUM BREAKER
- 6 **TUB/SHOWER:** 60" x 30" SINGLE PIECE FIBERGLASS TUB/SHOWER ENCLOSURE
- 7 **SHOWER:** 36" x 36" SINGLE PIECE FIBERGLASS SHOWER ENCLOSURE
- 8 **SHOWER:** 36" x 36" SINGLE PIECE FIBERGLASS NEO CORNER SHOWER ENCLOSURE
- 9 **SHOWER:** 36" x 48" SINGLE PIECE FIBERGLASS TUB/SHOWER ENCLOSURE
SLIDING GLASS SHOWER DOOR (OPTIONAL)
- 10 **MINISPLIT INDOOR/OUTDOOR UNIT:**
INVERTER-DRIVEN SINGLE ZONE DUCTLESS
MINI-SPLIT HEAT PUMP, 16 SEER MIN.
UNIT PLAN A, B, C: 9K BTU/H MIN.
- 11 **NOT USED.**
- 12 **STORAGE DOOR:** 24" x 36" STORAGE ACCESS, SELF-CLOSING 20 MIN.

13 RAILINGS: PICKET RAILINGS

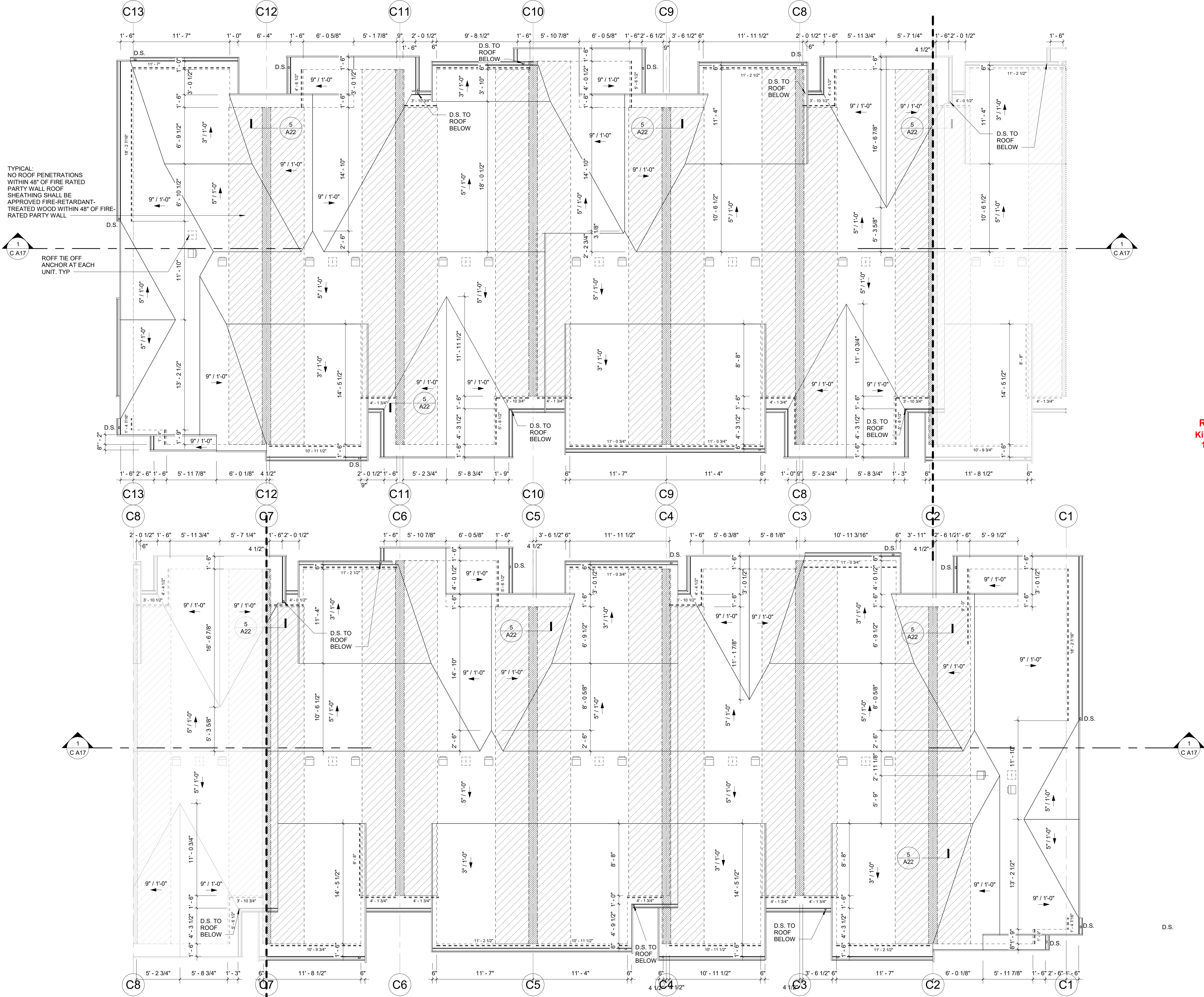
FRAMING NOTES:

- 1.) ALL DIMENSIONS ARE TO FACE OF FRAMING & CENTERLINE OF OPENINGS UNLESS NOTED OTHERWISE.
- 2.) ALL NON-ORTHOGONAL WALL ANGLES ARE 45° UNLESS NOTED OTHERWISE.
- 3.) DOORS LOCATED ADJACENT TO A PERPENDICULAR PARTITION AND NOT LOCATED BY DIMENSION ON PLANS, INTERIOR ELEVATIONS, OR DETAILS SHALL BE 3" FROM FACE OF STUD TO EDGE OF DOOR ROUGH OPENING.



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1 C A11 BLDG C - TOP
3/16" = 1'-0"



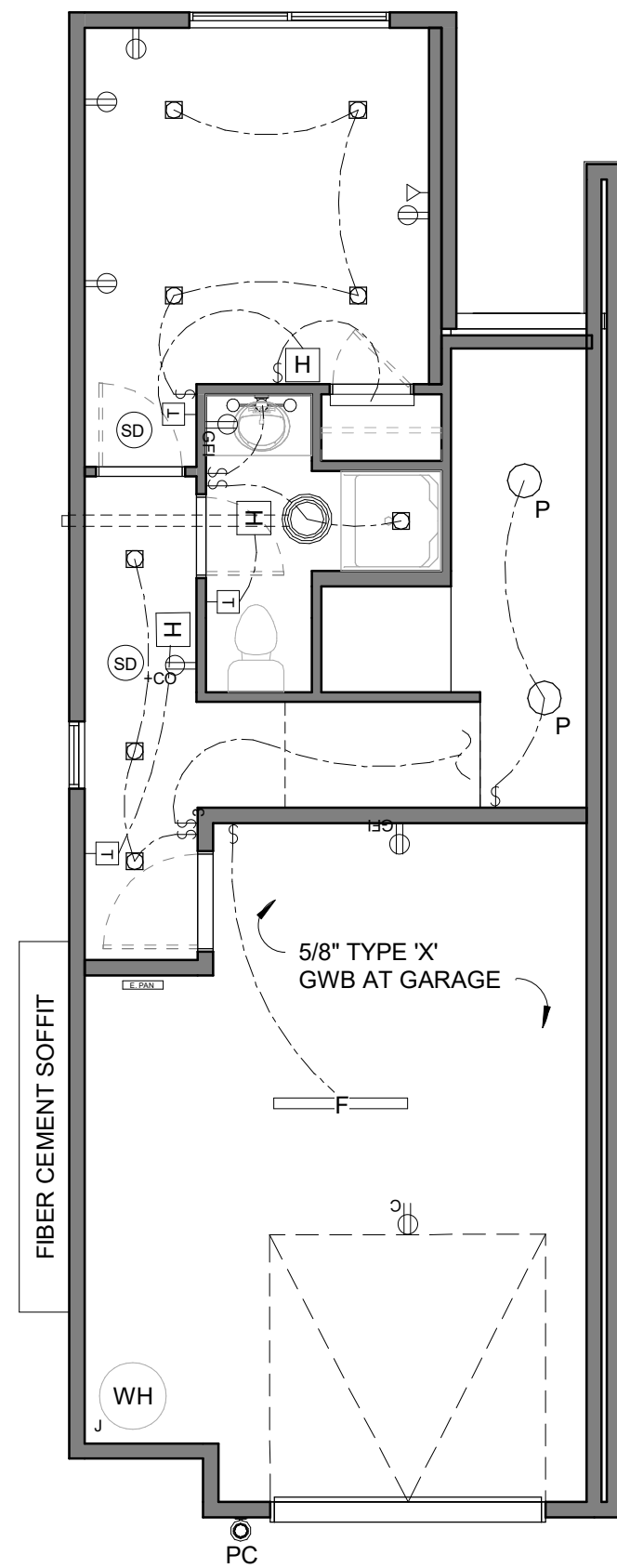
ATTIC VENTING

UNIT	GROSS ATTIC AREA	REQUIRED VENT AREA	TOTAL L.F.	EAVE VENT	NFA Multiplier	JACK VENT	Jack Vent Area	NET FREE VENT AREA PROVIDED
UNIT C1	693 SF	333 in ²	30' - 3 29/32"	227 in ²	7.5 in ²	2	184 in ²	411.8 in ²
UNIT C2	686 SF	329 in ²	26' - 5"	198 in ²	7.5 in ²	2	164 in ²	382.4 in ²
UNIT C3	673 SF	323 in ²	23' - 4 1/4"	175 in ²	7.5 in ²	2	184 in ²	359.5 in ²
UNIT C4	673 SF	323 in ²	26' - 2"	196 in ²	7.5 in ²	2	184 in ²	380.6 in ²
UNIT C5	686 SF	329 in ²	20' - 10 3/4"	157 in ²	7.5 in ²	2	184 in ²	341.6 in ²
UNIT C6	673 SF	323 in ²	38' - 10 1/2"	292 in ²	7.5 in ²	2	184 in ²	475.9 in ²
UNIT C7	673 SF	323 in ²	23' - 2 3/4"	174 in ²	7.5 in ²	2	184 in ²	358.5 in ²
UNIT C8	673 SF	323 in ²	26' - 5"	198 in ²	7.5 in ²	2	184 in ²	382.4 in ²
UNIT C9	686 SF	329 in ²	20' - 9"	156 in ²	7.5 in ²	2	184 in ²	338.9 in ²
UNIT C10	673 SF	323 in ²	24' - 6 1/2"	184 in ²	7.5 in ²	2	184 in ²	368.4 in ²
UNIT C11	673 SF	323 in ²	19' - 7 3/4"	147 in ²	7.5 in ²	2	184 in ²	331.7 in ²
UNIT C12	693 SF	333 in ²	32' - 10 29/32"	247 in ²	7.5 in ²	2	184 in ²	431.1 in ²

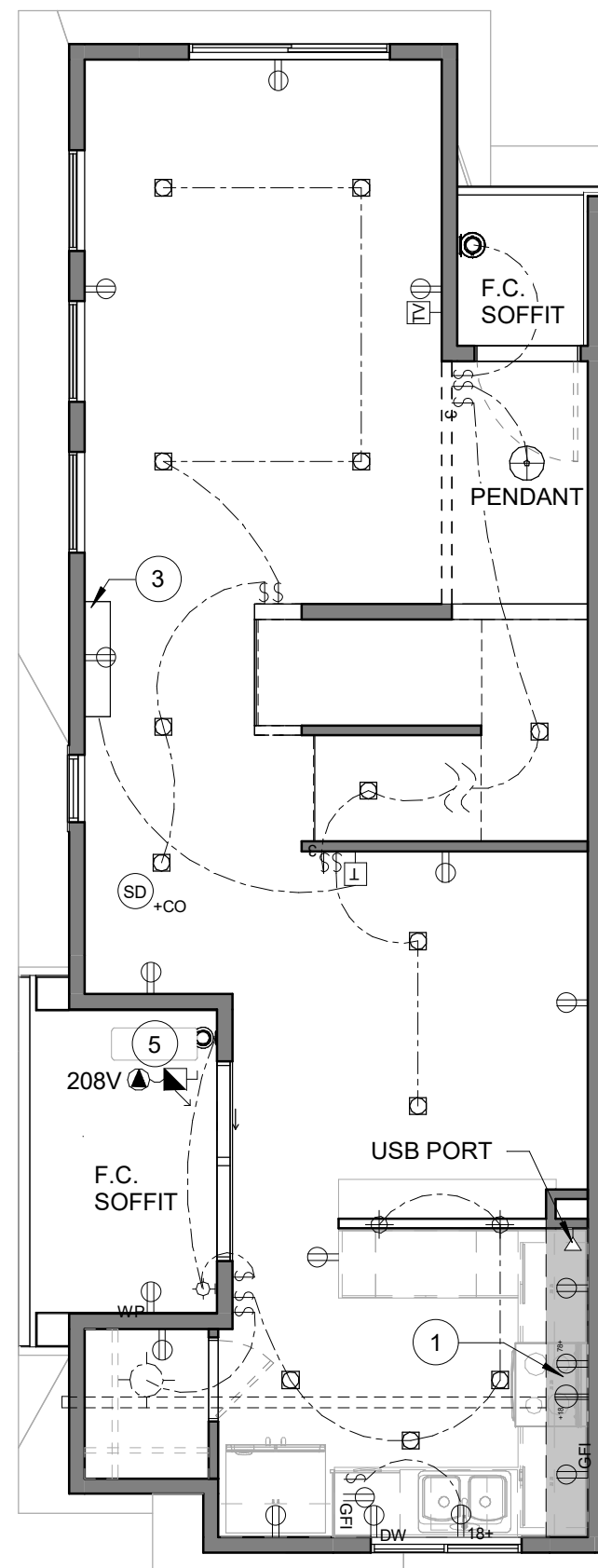
VENTING CALCULATION NOTES:

- Calculations based on the requirements of the 2015 I.R.C. section R806.2.
- Jack vents shall provide minimum 92 sq. in. net free area (based on norwesco AF-92), or number of jack vents shall be increased to achieve equal net free area.
- Eave vents shall provide minimum 7.5 sq. in. net free area per lineal foot (based on (3) 2" dia. vent holes with 1/8 mesh screen per 24" truss bay).

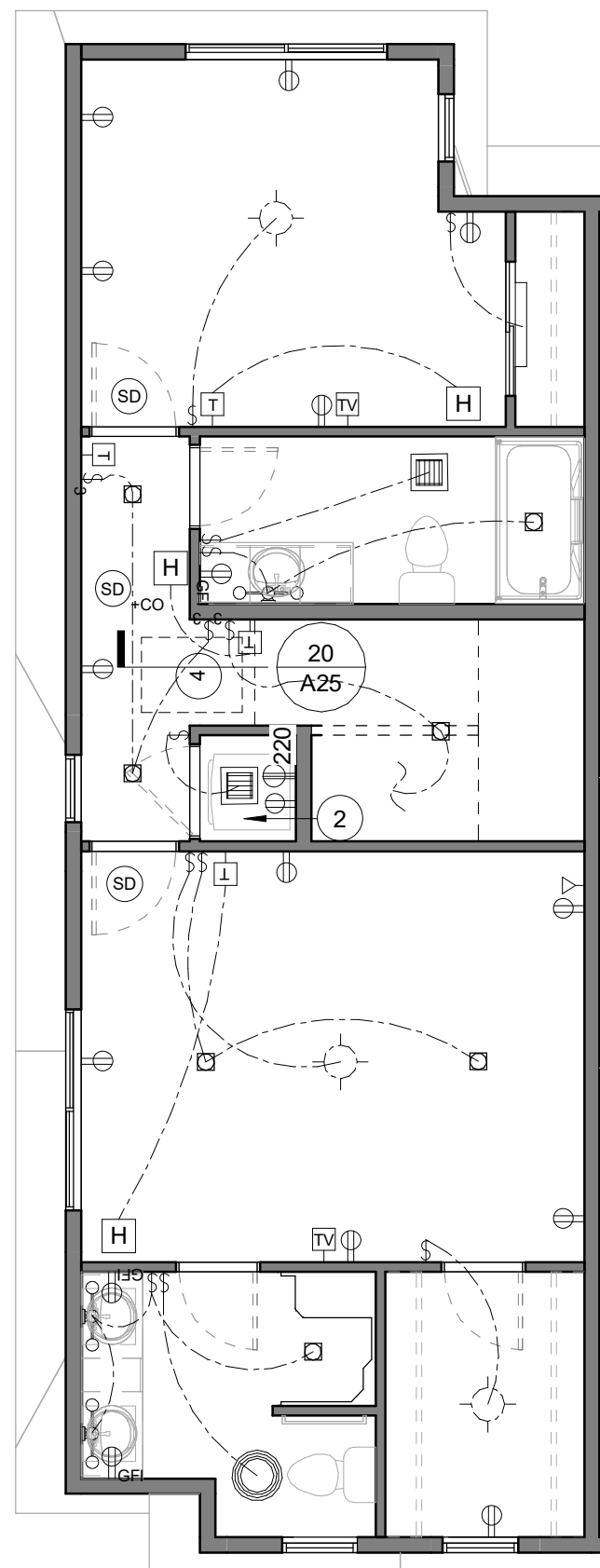
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Kitsap County Building/ Fire Marshals
10/28/20202:37:45 PM kwiodarchak



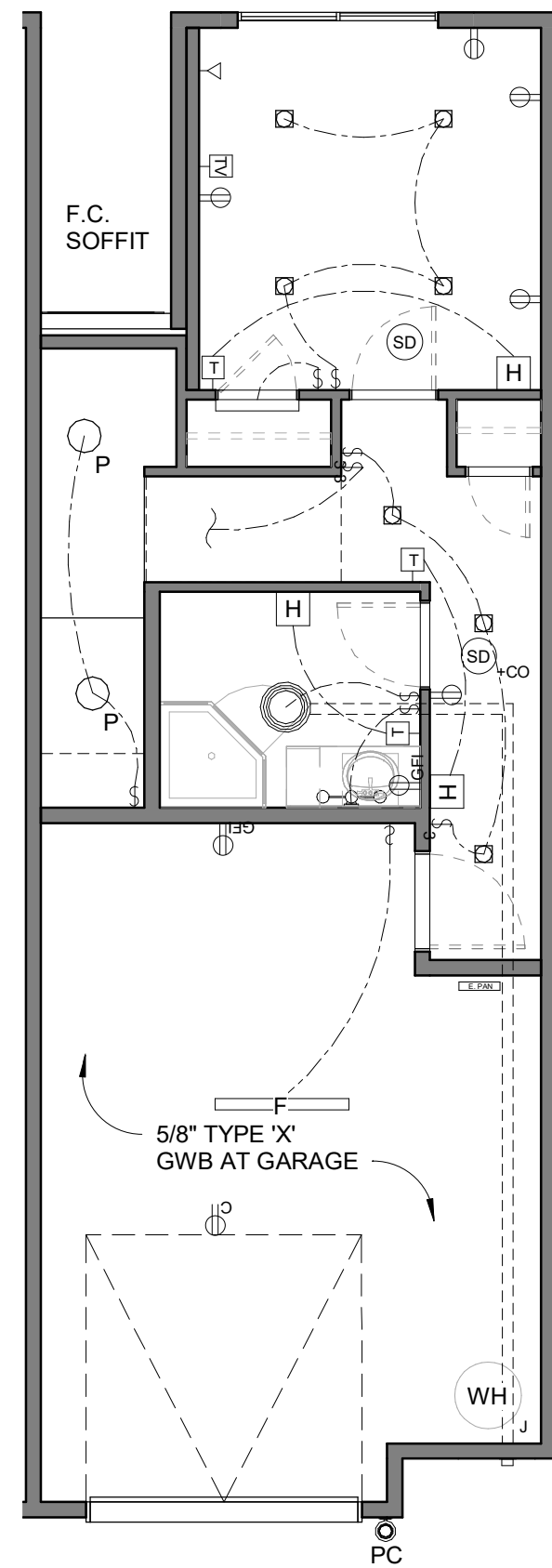
1	A12	1ST FL - UNIT A
	A08	3/16" = 1'-0"



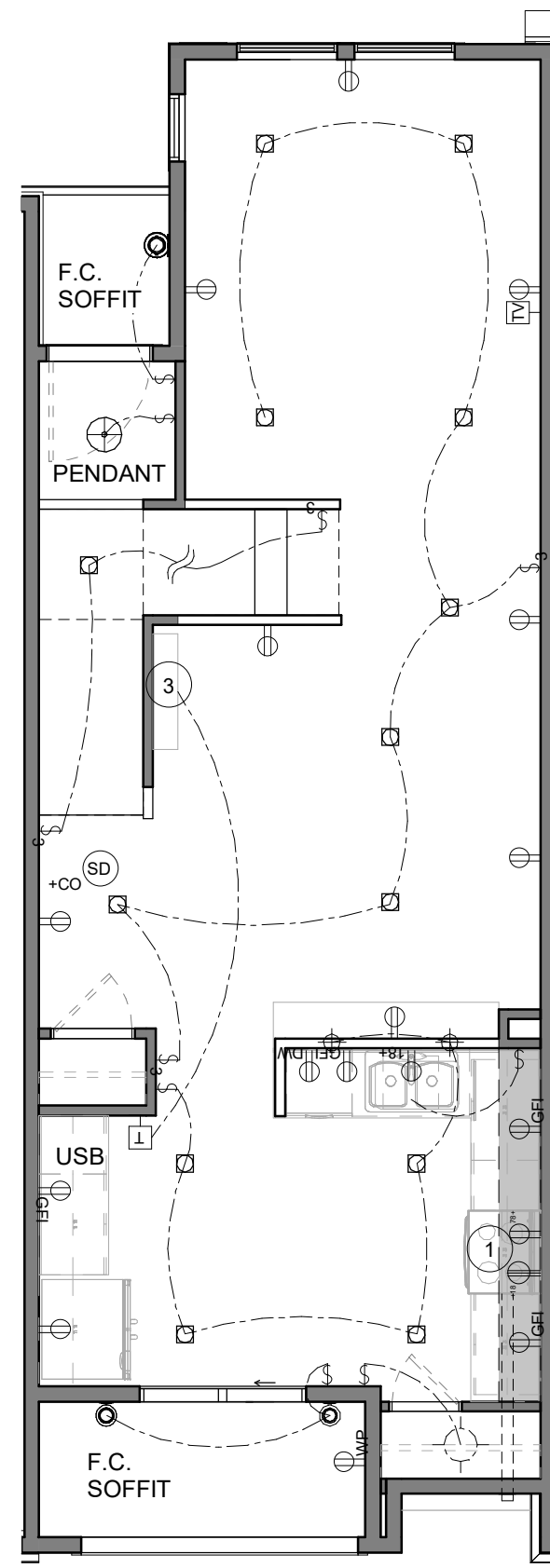
2	A12	2ND FL - UNIT A
	A06	3/16" = 1'-0"



3	A12	3RD FL - UNIT A
	A06	3/16" = 1'-0"

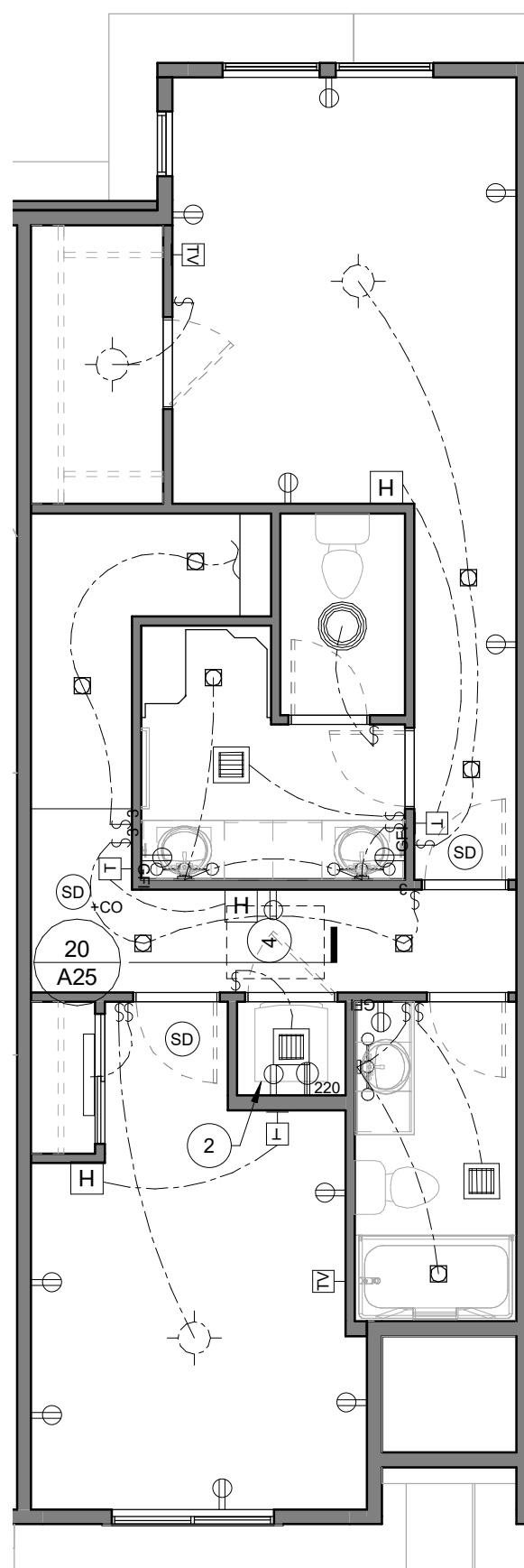


4	A12	1ST FL UNIT B
	A06	3/16" = 1'-0"

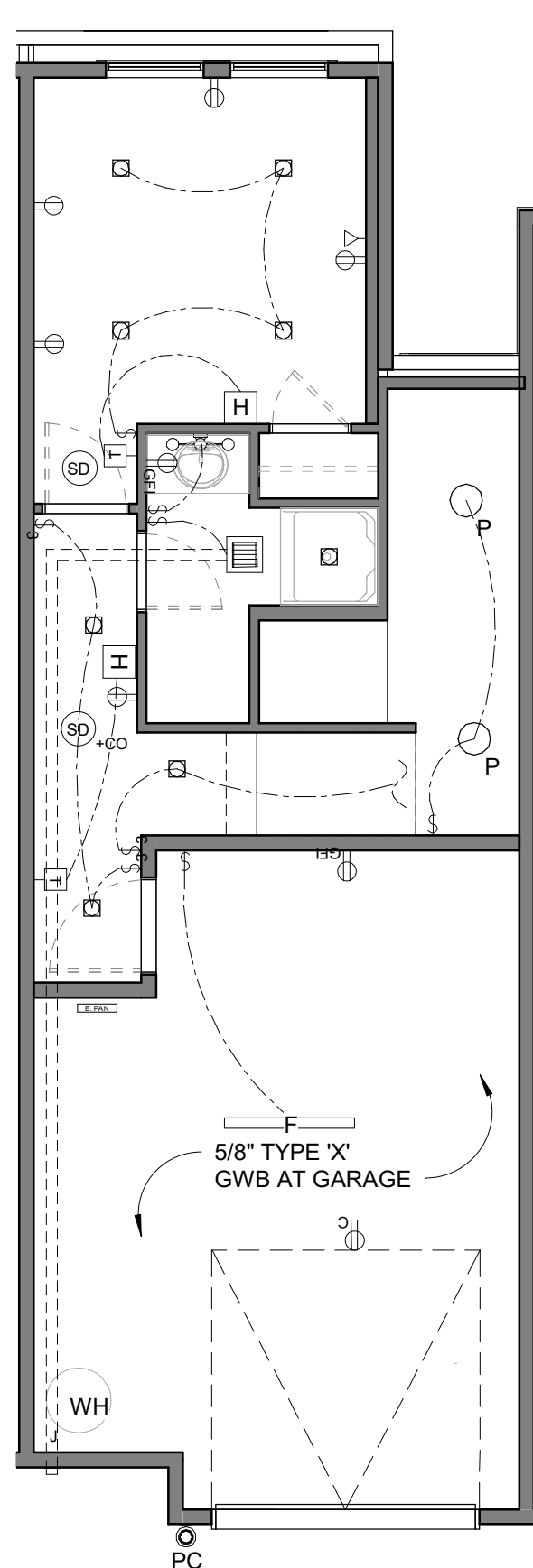


5	A12	2ND FL UNIT B
	A06	3/16" = 1'-0"

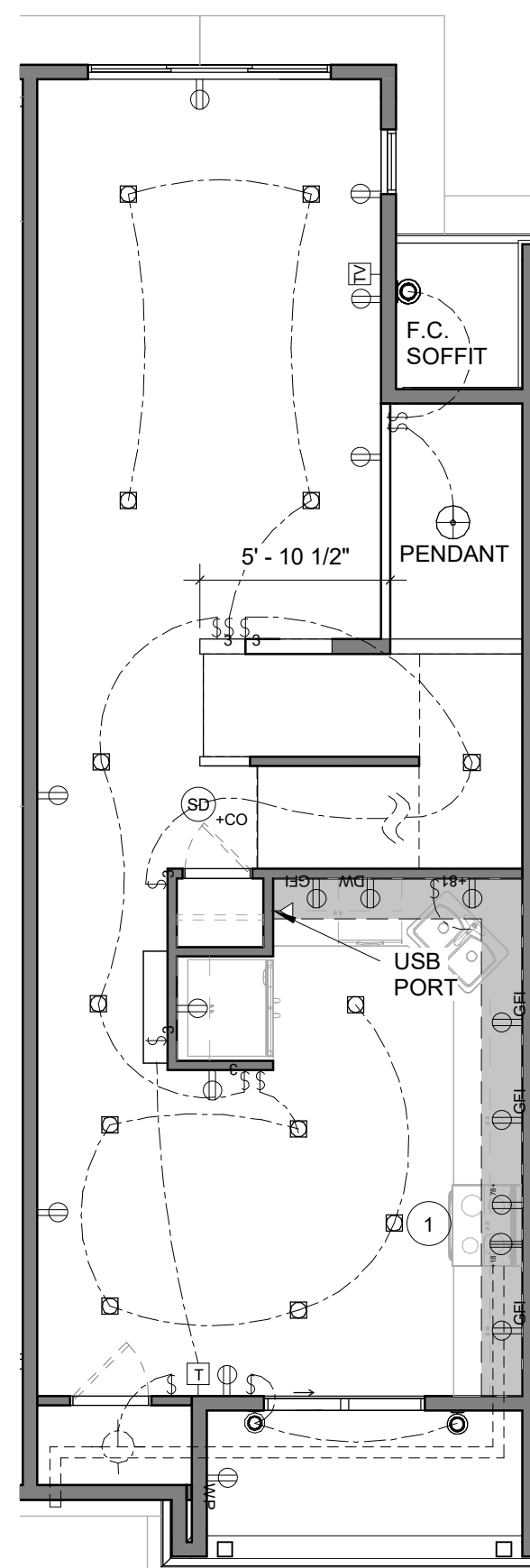
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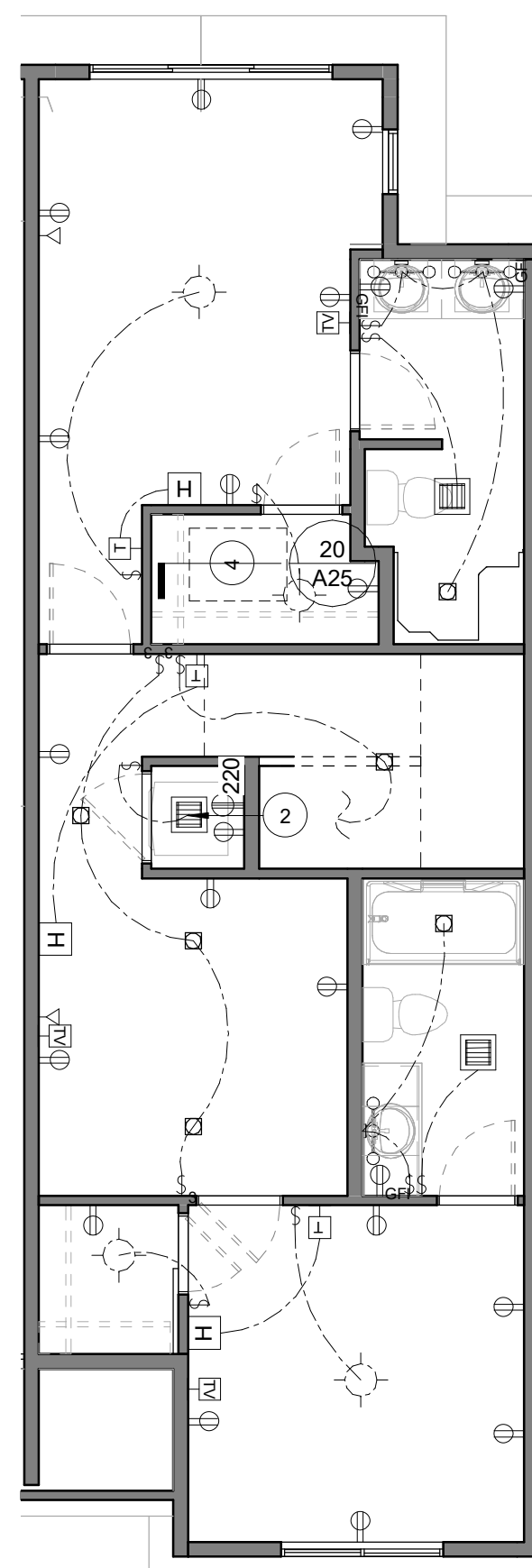
6	A12	3RD FL UNIT B
	A06	3/16" = 1'-0"



7	A12	1ST FL UNIT C
	A06	3/16" = 1'-0"



8	A12	2ND FL UNIT C
	A06	3/16" = 1'-0"










9	A12	3RD FL UNIT C
	A06	3/16" = 1'-0"

REFLECTED CEILING LEGEND

SYMBOL	DESCRIPTION
LIGHTING	
	WALL MOUNTED EXTERIOR LIGHT 4" max. projection when bottom less than 80" high from walking surface, Photocell
	6" RECESSED CAN LIGHT
	FLUSHMOUNT CEILING LIGHT
	PORCELAIN FLUSHMOUNT CEILING LIGHT
	WALLMOUNT VANITY LIGHT
	PENDANT OR SEMIFLUSH CEILING LIGHT
	FLUORESCENT STRIP
ELECTRICAL	
	SINGLE POLE SWITCH
	MULTI WAY SWITCH
	SINGLE POLE SWITCH WITH DIMMER
	SINGLE POLE SWITCH WITH TIMER
	110v OUTLET
	110v MULTIPLE OUTLET
	110v OUTLET, HALF-HOT/SWITCHED
	220v OUTLET
	110v OUTLET W/ GROUND FAULT CIRCUIT INTERRUPT
	110v OUTLET W/ WEATHER PROTECTION
	110v OUTLET, FLOOR MOUNTED
	110v OUTLET, CEILING MOUNTED
	CIRCUIT BREAKER PANEL
	EQUIPMENT CONNECTION
	DISCONNECT SWITCH

MISC.

	PROGRAMMABLE THERMOSTAT
	ELECTRIC RESISTANCE WALL HEATER (CADET-TYPE OR SIM.)
	110V INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACKUP Locate at each sleeping room
	110V INTERCONNECTED COMBINATION SMOKE + CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP Locate outside each sleeping area and at each floor level
	HIGH EFFICIENCY EXHAUST FAN 50 CFM MIN.
	COMBINATION EXHAUST FAN/BATH LIGHT 50 CFM MIN.
	TV AND DATA JACK

G.W.B. SOFFIT AS NECESSARY TO
ACCOMMODATE VENTING/DUCTWORK

KEYNOTES

- 1 RANGE HOOD, 100 CFM MIN., ROUTE TO EXTR.
- 2 DRYER EXHAUST, ROUTE TO ROOF
-WHOLE HOUSE FAN, SEE SHEET A03 FOR
ADDITIONAL NOTING & COMMENTS
-PROVIDE THROUGH WALL VENT FOR MAKE-UP AIR
& WHOLE HOUSE VENTILATION
- 3 INDOOR MINI SPIT UNIT
- 4 ATTIC ACCESS PANEL, SEE DETAIL 20A/25
- 5 OUTDOOR MINI SPLIT UNIT

NOTES

- 1 ELECTRICAL & LIGHTING DESIGN PROVIDED IN THESE PLANS ARE CONCEPTUAL ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO SELECT FIXTURES AND DOCUMENT COMPLIANCE WITH ENERGY CODE REQUIREMENTS.
- 2 ALL 3RD FLOOR EXHAUST FANS, ROUTE TO ROOF



1 C A13 BLDG C - FRONT A
B A05 3/16" = 1'-0"



2 C A13 BLDG C - FRONT B
C A05 3/16" = 1'-0"

KEYNOTES

- A ASPHALT SHINGLE ROOFING
25 YEAR ARCHITECTURAL COMPOSITION ROOFING
- B ALUMINUM GUTTER/DOWNSPOUT
- C FIBER CEMENT SHINGLE SIDING
5" EXPOSURE, STRAIGHT EDGE PATTERN, CEDAR
TEXTURE, PAINTED FINISH
- D FIBER CEMENT LAP SIDING
6" EXPOSURE, CEDAR TEXTURE, PAINTED FINISH
- E FIBER CEMENT PANEL & BATTEN TRIM
7/16" SMOOTH TEXTURE FIBER CEMENT PANELS,
PAINTED FINISH, 3/4" x 2-1/2" FIBER CEMENT SMOOTH
BATTENS PER ELEVATIONS
- F SIDING CORNER / CORNERBOARD
PREFERRED DETAIL:
4" NOMINAL WIDTH WOOD, PAINTED FINISH, COLOR
TO MATCH ADJACENT SIDING
- G WOOD OR FIBER CEMENT
WINDOW/DOOR TRIM, 3"
5/4" x 4" NOMINAL (8" NOM. WIDTH AT SILLS), PAINTED
FINISH
- H PREFINISHED METAL RAILINGS
- J STEEL GARAGE DOOR
8'-0" W x 7'-0" T, NORTHWEST DOORS #502 RANCH
PANEL PLAIN LITE
- K FIBERGLASS ENTRY DOOR
4 LITE 4 PANEL, THERMATRU TS236-FXG OR AS
SELECTED BY OWNER
- L WOOD FASCIA
5/4 x 8 NOMINAL, WITH 1 x 3 x 3 NOMINAL WOOD TRIM AT
RAKE CONDITIONS & 5/4 x 8 NOMINAL AT GUTTERS
- M OUTDOOR MINISPLIT UNIT
- N EXHAUST TERMINATION
SHT. METAL HOOD 3' MIN FROM WINDOW, TYP.
- P DECORATIVE LIGHT FIXTURE
- Q PLASTER TRIM
5/4"x12" NOM TRIM

WINDOWS

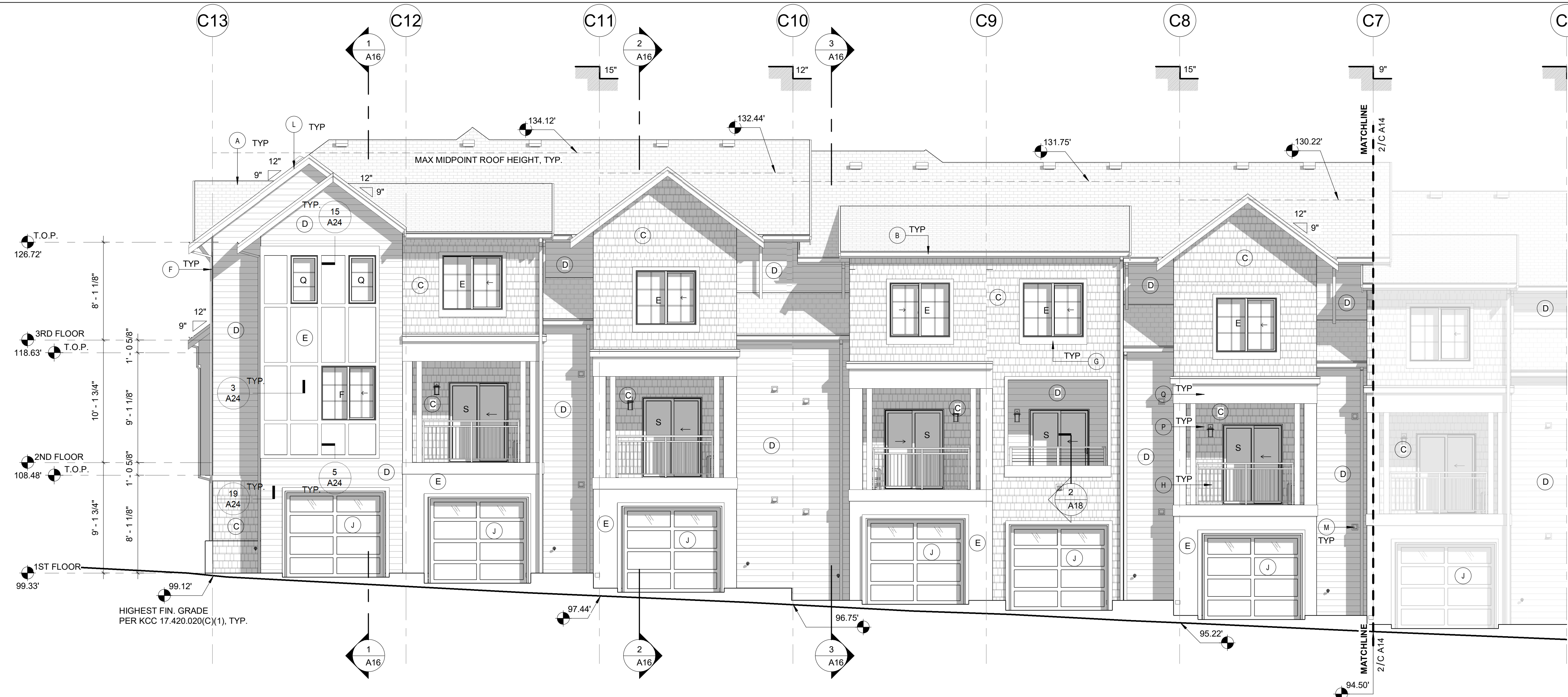
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2 C A14 WEST ELEVATION- SOUTH
3/16" = 1'-0"



1 C A14 WEST ELEVATION- NORTH
3/16" = 1'-0"



KEYNOTES

- A ASPHALT SHINGLE ROOFING
25 YEAR ARCHITECTURAL COMPOSITION ROOFING
- B ALUMINUM GUTTER/DOWNSPOUT
- C FIBER CEMENT SHINGLE SIDING
5" EXPOSURE, STRAIGHT EDGE PATTERN, CEDAR
TEXTURE, PAINTED FINISH
- D FIBER CEMENT LAP SIDING
6" EXPOSURE, CEDAR TEXTURE, PAINTED FINISH
- E FIBER CEMENT PANEL & BATTEN TRIM
7/16" SMOOTH TEXTURE FIBER CEMENT PANELS,
PAINTED FINISH, 3/4" x 2-1/2" FIBER CEMENT SMOOTH
BATTENS PER ELEVATIONS
- F SIDING CORNER / CORNERBOARD
PREFERRED DETAIL:
ALUM. SIDING CORNERS, SIMPLICITY TOOL SERIES
199 OR SIM., PAINTED FINISH

ALTERNATE DETAIL:
4" NOMINAL WIDTH WOOD, PAINTED FINISH, COLOR
TO MATCH ADJACENT SIDING
- G WOOD OR FIBER CEMENT
WINDOW/DOOR TRIM, 3"
5/4" x 4" NOMINAL (8" NOM. WIDTH AT SILLS), PAINTED
FINISH
- H PREFINISHED METAL RAILINGS
- J STEEL GARAGE DOOR
8'-0" W x 7'-0" T; NORTHWEST DOORS #502 RANCH
PANEL PLAIN LITE
- K FIBERGLASS ENTRY DOOR
4 LITE 4 PANEL, THERMATRU TS236-FXG OR AS
SELECTED BY OWNER
- L WOOD FASCIA
5/4 x 8 NOMINAL, WITH 1 x 3 NOMINAL WOOD TRIM AT
RAKE CONDITIONS & 5/4 x 8 NOMINAL AT GUTTERS
- M OUTDOOR MINISPLIT UNIT
- N EXHAUST TERMINATION
SHT. METAL HOOD 3' MIN FROM WINDOW, TYP.
- P DECORATIVE LIGHT FIXTURE
- Q PILASTER TRIM
5/4"x12" NOM TRIM

WINDOWS

TYPE	TYPE	OPER	FRAME	U-VALUE	NOTES	COUNT
A	XO	SLDR	6 0 7 0	PVC	< 0.28 DBL PIC BELOW	12
B	XO	SLDR	6 0 6 0	PVC	< 0.28 PIC ABV	6
C	XO	SLDR	6 0 5 0	PVC	< 0.28	21
D	XO	SLDR	6 0 4 0	PVC	< 0.28	27
E	XO	SLDR	5 0 4 6	PVC	< 0.28	30
F	XO	SLDR	4 6 4 6	PVC	< 0.28	6
G	SH	3 0 5 0	PVC	< 0.28		60
H	SH	3 0 7 0	PVC	< 0.28	PIC BELOW	18
I	PIC	2 0 4 0	PVC	< 0.28		0
J	PIC	2 0 5 0	PVC	< 0.28		36
K	PIC	2 0 6 0	PVC	< 0.28		15
L	PIC	2 0 7 0	PVC	< 0.28		21
M	PIC	2 3 4 0	PVC	< 0.28		12
N	PIC	3 3 2 6	PVC	< 0.28		36
O	SGD	5 0 6 8	PVC	< 0.28		30
P	SGD	6 0 6 8	PVC	< 0.28		6
Q	XOX	SLDR	7 6 6 0	PVC	< 0.28 DBL XO W PIC	6
R	XOX	SLDR	7 6 5 0	PVC	< 0.28 DBL XO W PIC	6

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/2020:37:59 PM kwlodarchak

SEASIDE at KINGSTON

LINDVOG ROAD, KINGSTON

Seaside Kingston, LLC

Element
RESIDENTIAL INC.

JOB NO.: 21714.2

PLOT DATE
9/25/2020 2:41:38 PM

DATE: 07/03/18
SCALE: As indicated

DRAWN: FA
CHKCD: DH

BLDG. SHEET NO.:

C A14

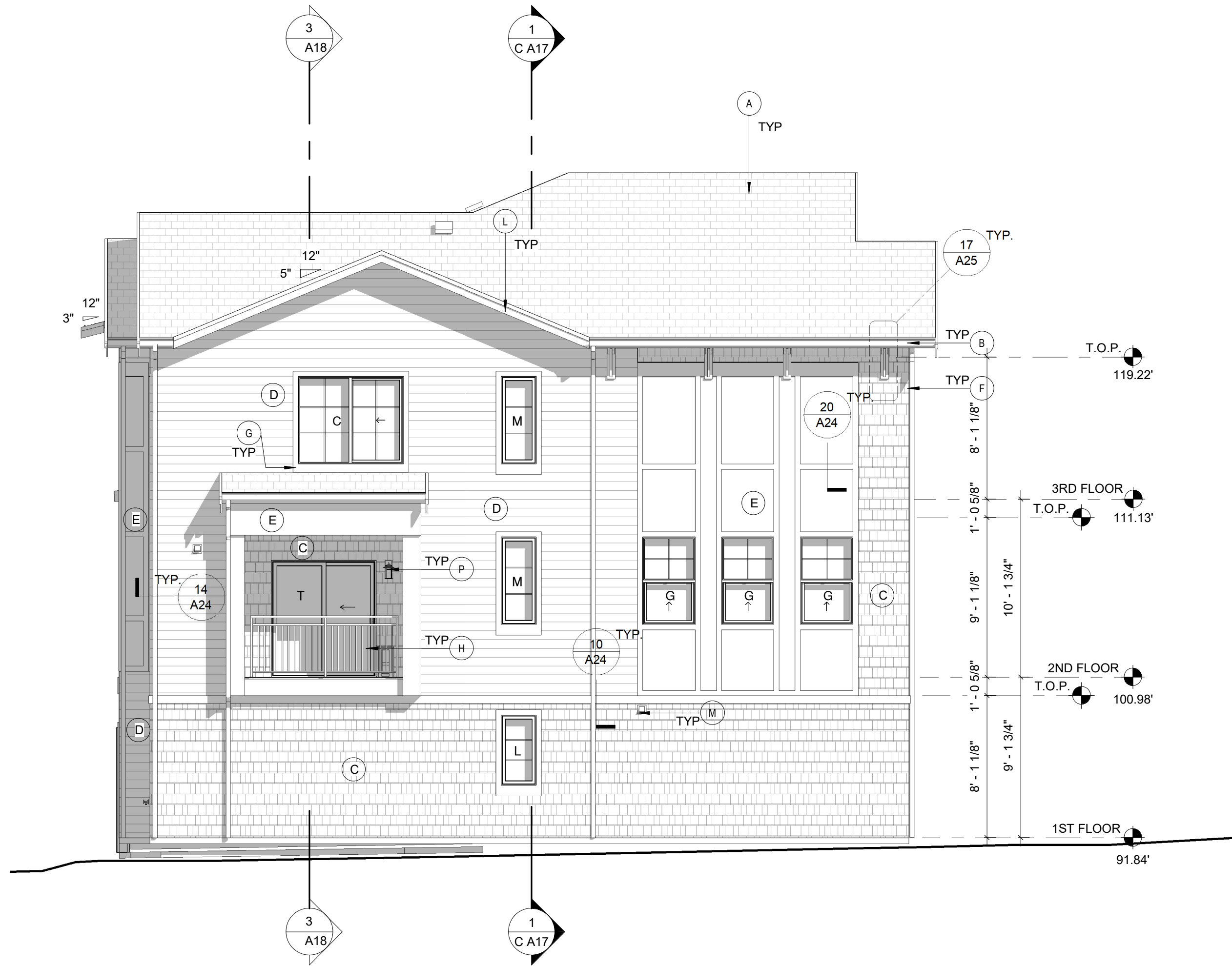
REVISIONS: 2018-07-03: WOODWORK, SCAFFOLDING, AND FLOOR COVERING

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t: 425-453-0606
www.wattenbarger.com

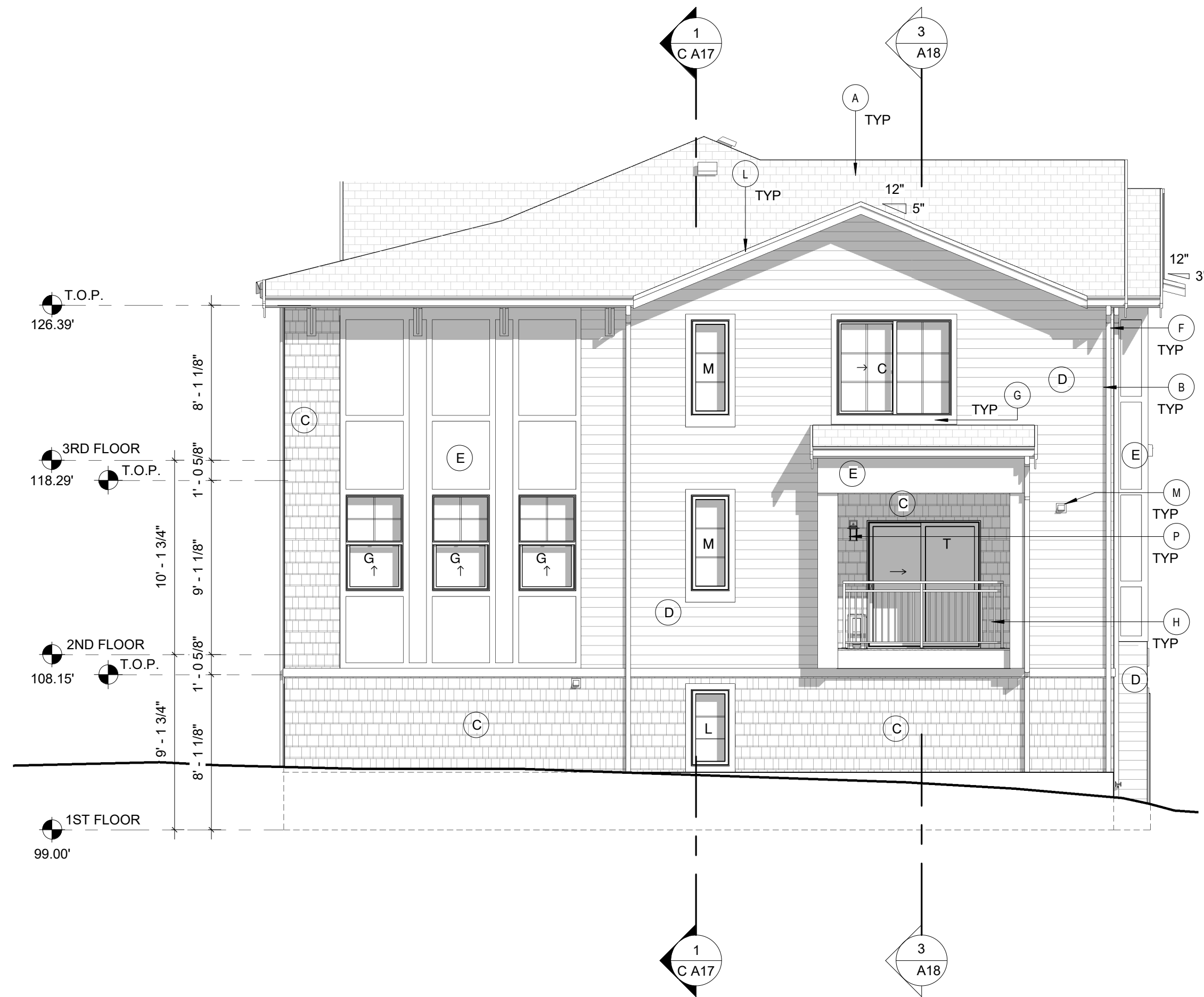
REGISTERED
ARCHITECT
STATE OF WASHINGTON
TRAFFIC
Revision Schedule
DESCRIPTION DATE

EXTERIOR
ELEVATIONS -
BACK

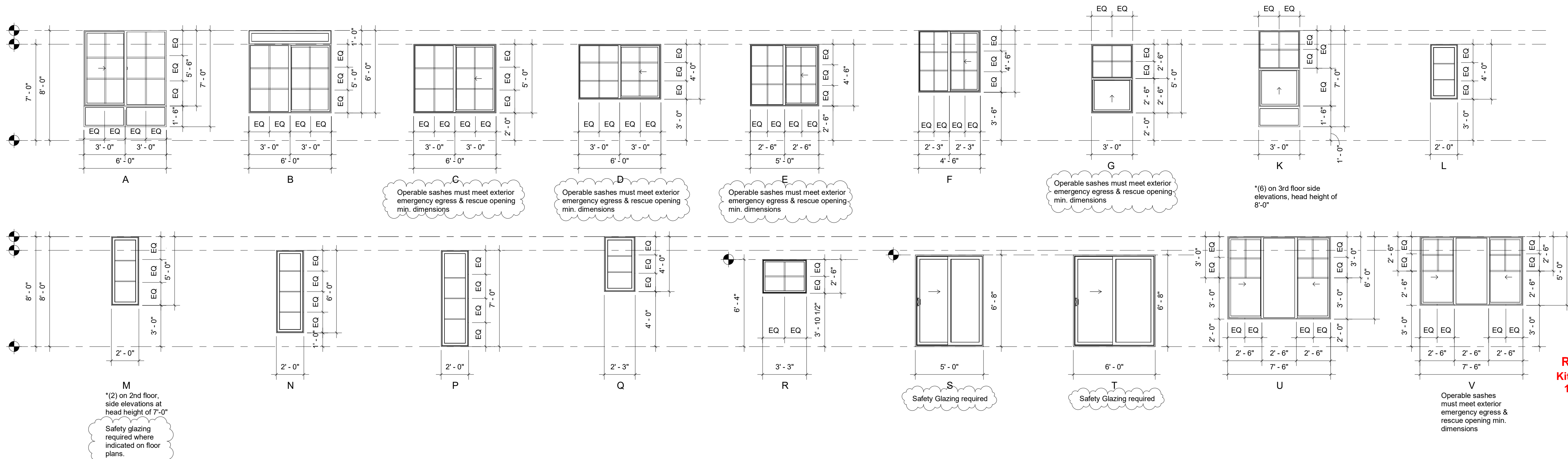
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1 SOUTH ELEVATION
3/16" = 1'-0"



2 NORTH ELEVATION
3/16" = 1'-0"



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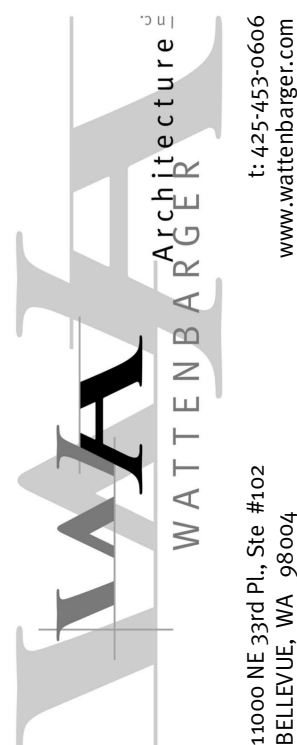
KEYNOTES

- (A) ASPHALT SHINGLE ROOFING
25 YEAR ARCHITECTURAL COMPOSITION ROOFING
- (B) ALUMINUM GUTTER/DOWNSPOUT
- (C) FIBER CEMENT SHINGLE SIDING
5" EXPOSURE, STRAIGHT EDGE PATTERN, CEDAR
TEXTURE, PAINTED FINISH
- (D) FIBER CEMENT LAP SIDING
6" EXPOSURE, CEDAR TEXTURE, PAINTED FINISH
- (E) FIBER CEMENT PANEL & BATTEN TRIM
7/16" SMOOTH TEXTURE FIBER CEMENT PANELS,
PAINTED FINISH, 3/4" x 2-1/2" FIBER CEMENT SMOOTH
BATTENS PER ELEVATIONS
- (F) SIDING CORNER / CORNERBOARD
PREFERRED DETAIL:
ALUM. SIDING CORNERS, SIMPLICITY TOOL SERIES
199 OR SIM., PAINTED FINISH

ALTERNATE DETAIL:
4" NOMINAL WIDTH WOOD, PAINTED FINISH, COLOR
TO MATCH ADJACENT SIDING
- (G) WOOD OR FIBER CEMENT
WINDOW/DOOR TRIM, 3"
5/4" x 4" NOMINAL (8" NOM. WIDTH AT SILLS), PAINTED
FINISH
- (H) PREFINISHED METAL RAILINGS
- (J) STEEL GARAGE DOOR
8'-0" W x 7'-0" T; NORTHWEST DOORS #502 RANCH
PANEL PLAIN LITE
- (K) FIBERGLASS ENTRY DOOR
4 LITE 4 PANEL, THERMATRU TS236-FXG OR AS
SELECTED BY OWNER
- (L) WOOD FASCIA
5/4 x 8 NOMINAL, WITH 1 x 3 NOMINAL WOOD TRIM AT
RAKE CONDITIONS & 5/4 x 8 NOMINAL AT GUTTERS
- (M) OUTDOOR MINISPLIT UNIT
- (N) EXHAUST TERMINATION
SHT. METAL HOOD 3' MIN FROM WINDOW, TYP.
- (P) DECORATIVE LIGHT FIXTURE
- (Q) PILASTER TRIM
5/4"x12" NOM TRIM

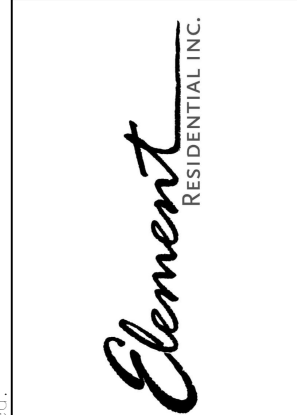
WINDOWS

TYPE	OPER.	+	+	+	+	FRAME	U-VALUE	NOTES	COUNT
A	XO SLDR	6	0	7	0	PVC	< 0.28	DBL PIC BELOW	12
B	XO SLDR	6	0	6	0	PVC	< 0.28	PIC ABV	6
C	XO SLDR	6	0	5	0	PVC	< 0.28	PIC	21
D	XO SLDR	6	0	4	0	PVC	< 0.28	PIC	27
E	XO SLDR	5	0	4	6	PVC	< 0.28	PIC	30
F	XO SLDR	4	6	4	6	PVC	< 0.28	PIC	6
G	SH	3	0	5	0	PVC	< 0.28	PIC	60
K	SH	3	0	7	0	PVC	< 0.28	PIC BELOW	18
L	PIC	2	0	4	0	PVC	< 0.28	PIC	6
M	PIC	2	0	5	0	PVC	< 0.28	PIC	36
N	PIC	2	0	6	0	PVC	< 0.28	PIC	15
P	PIC	2	0	7	0	PVC	< 0.28	PIC	21
Q	PIC	2	3	4	0	PVC	< 0.28	PIC	12
R	PIC	3	3	2	6	PVC	< 0.28	PIC	36
S	SGD	5	0	6	8	PVC	< 0.28	PIC	30
T	SGD	6	0	6	8	PVC	< 0.28	PIC	6
U	XOX SLDR	7	6	6	0	PVC	< 0.28	DBL XO W PIC	6
V	XOX SLDR	7	6	5	0	PVC	< 0.28	DBL XO W PIC	6



EXTERIOR ELEVATIONS - SIDES & WINDOW LEGEND

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

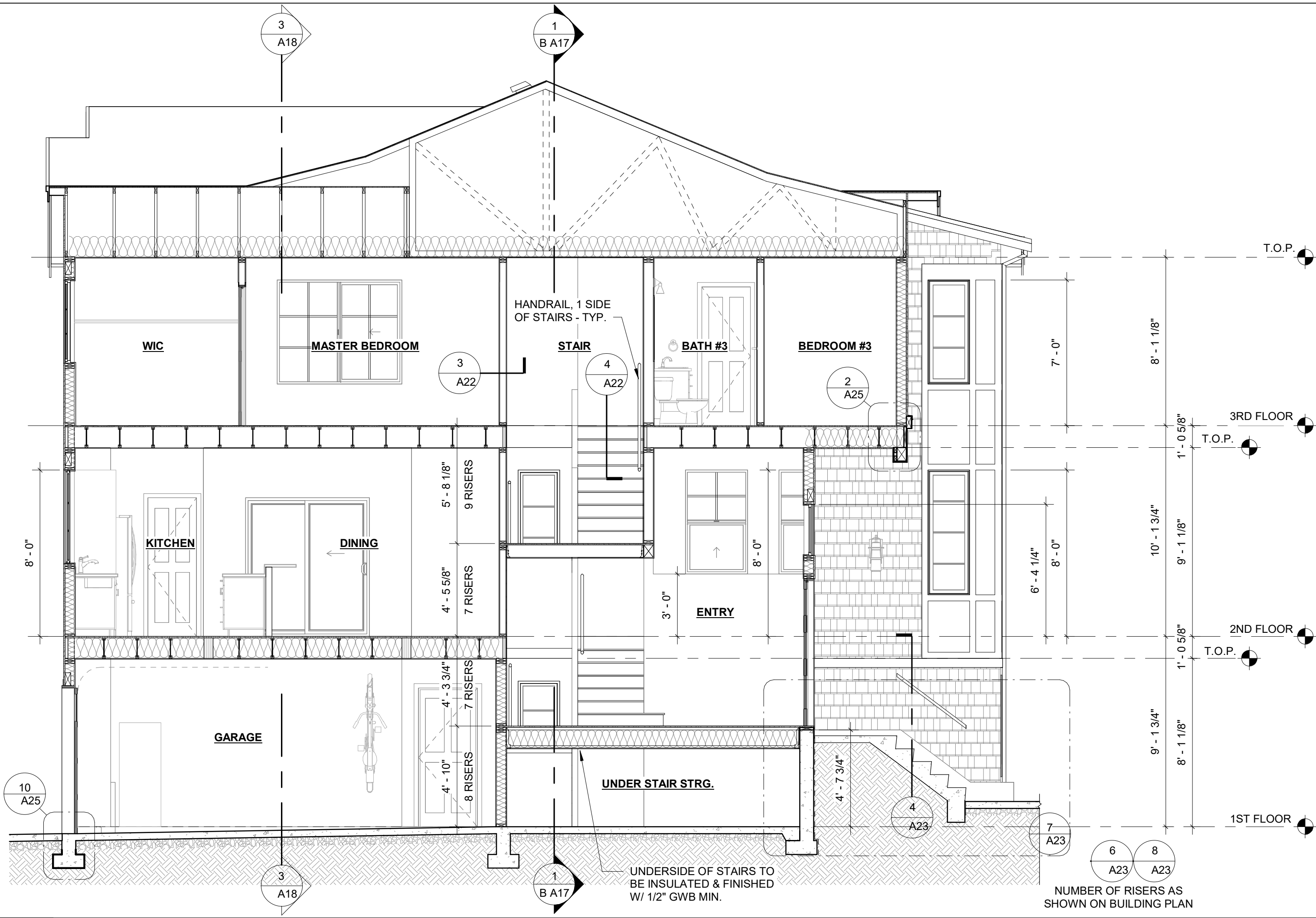


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DATE: 07/03/18
SCALE: As indicated
DRAWN: FA
CHKD: DH

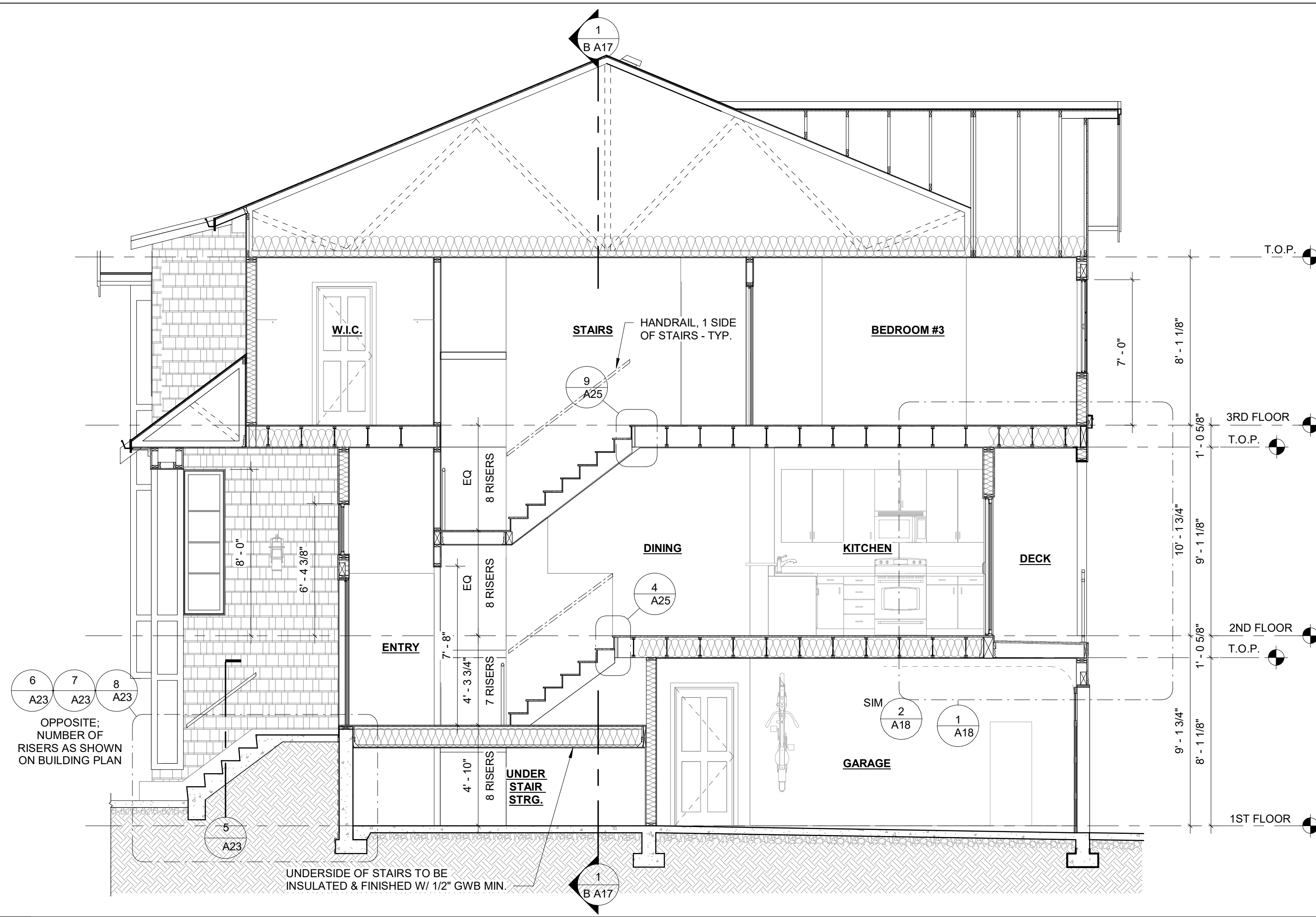
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CA15

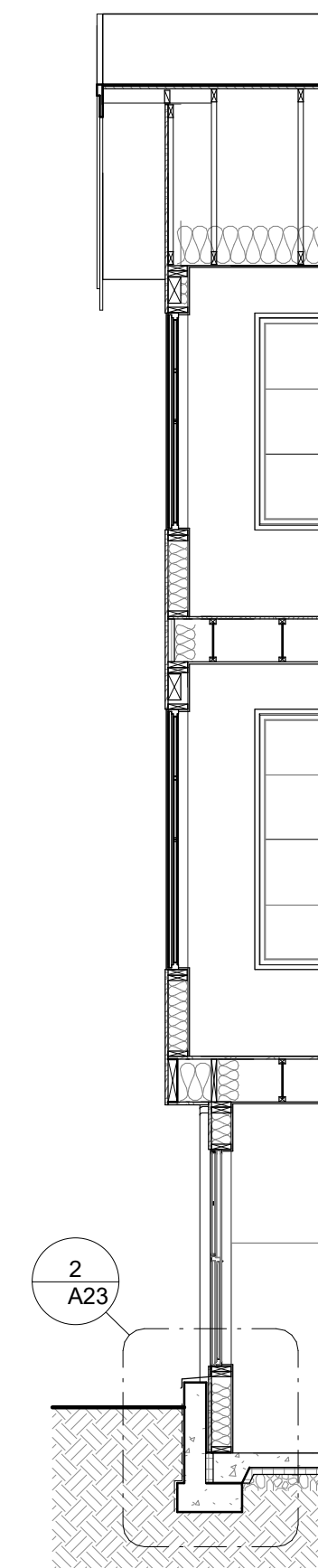
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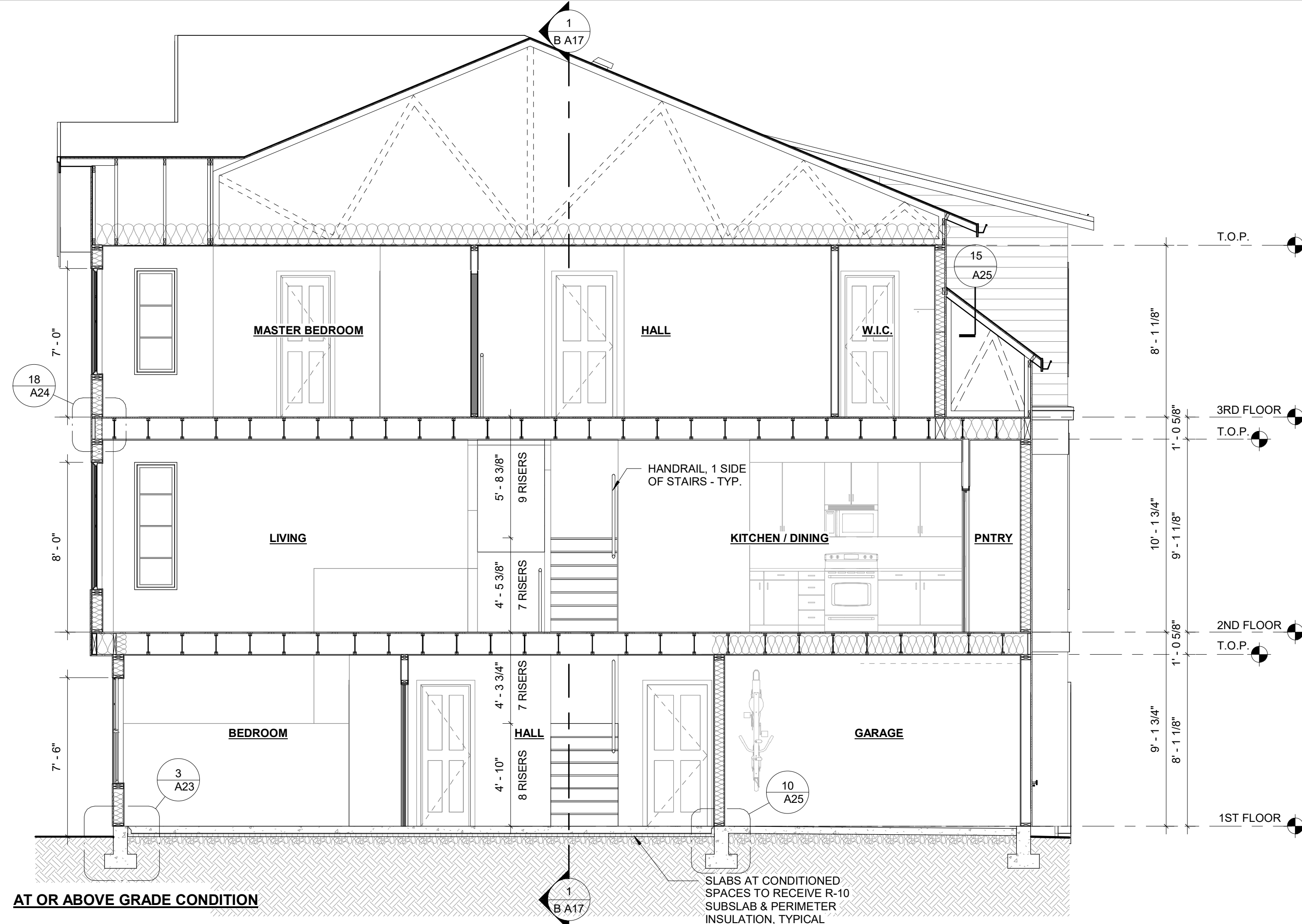
1 SECTION - UNIT A
1/4" = 1'-0"



2 SECTION - UNIT B
1/4" = 1'-0"



BELOW GRADE CONDITION



3 SECTION - UNIT C
1/4" = 1'-0"

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WATTENBARGER Architecture

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REGISTERED ARCHITECT
STATE OF WASHINGTON

Revision Schedule

#	DESCRIPTION	DATE
1	SECTION - UNIT A	10/28/2020
2	SECTION - UNIT B	10/28/2020
3	SECTION - UNIT C	10/28/2020

BUILDING SECTION

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

Element

RESIDENTIAL INC.

JOB NO.: 21714.2

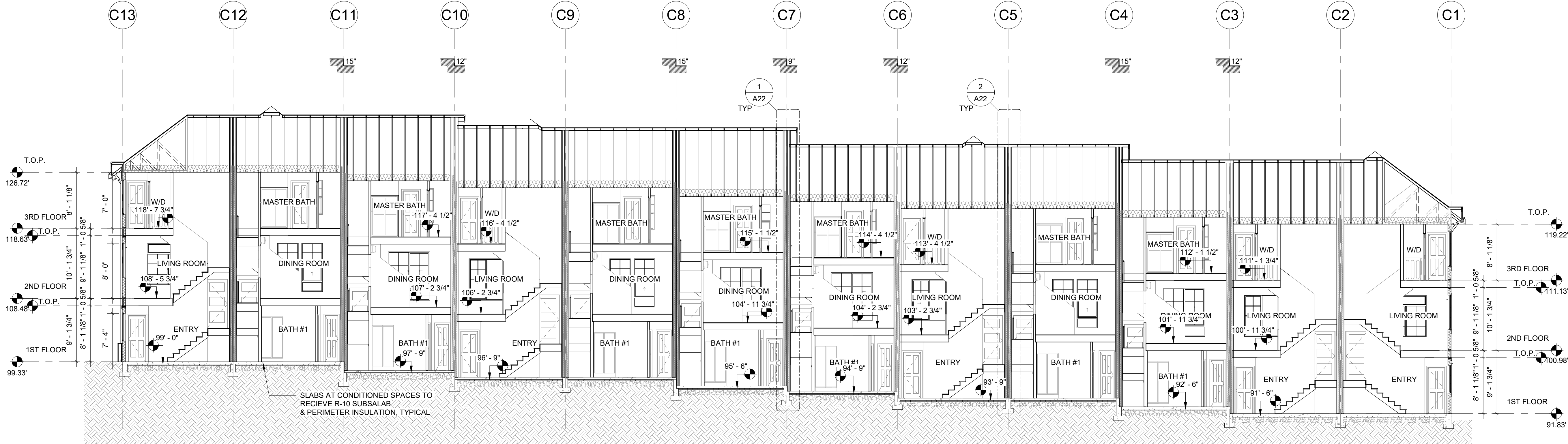
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DATE: 07/01/18
SCALE: 1/4" = 1'-0"

DRAWN: FA
CHKD: DH

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1

CA17
CA05 BLDG C
1/8" = 1'-0"

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10/28/2020 2:38:10 PM kwlodarchak

WATTENBARGER ARCHITECTURE
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REGISTERED ARCHITECT
TRAVISISM WATTENBARGER
STATE OF WASHINGTON

Revision Schedule	
#	DESCRIPTION

BUILDING SECTION

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

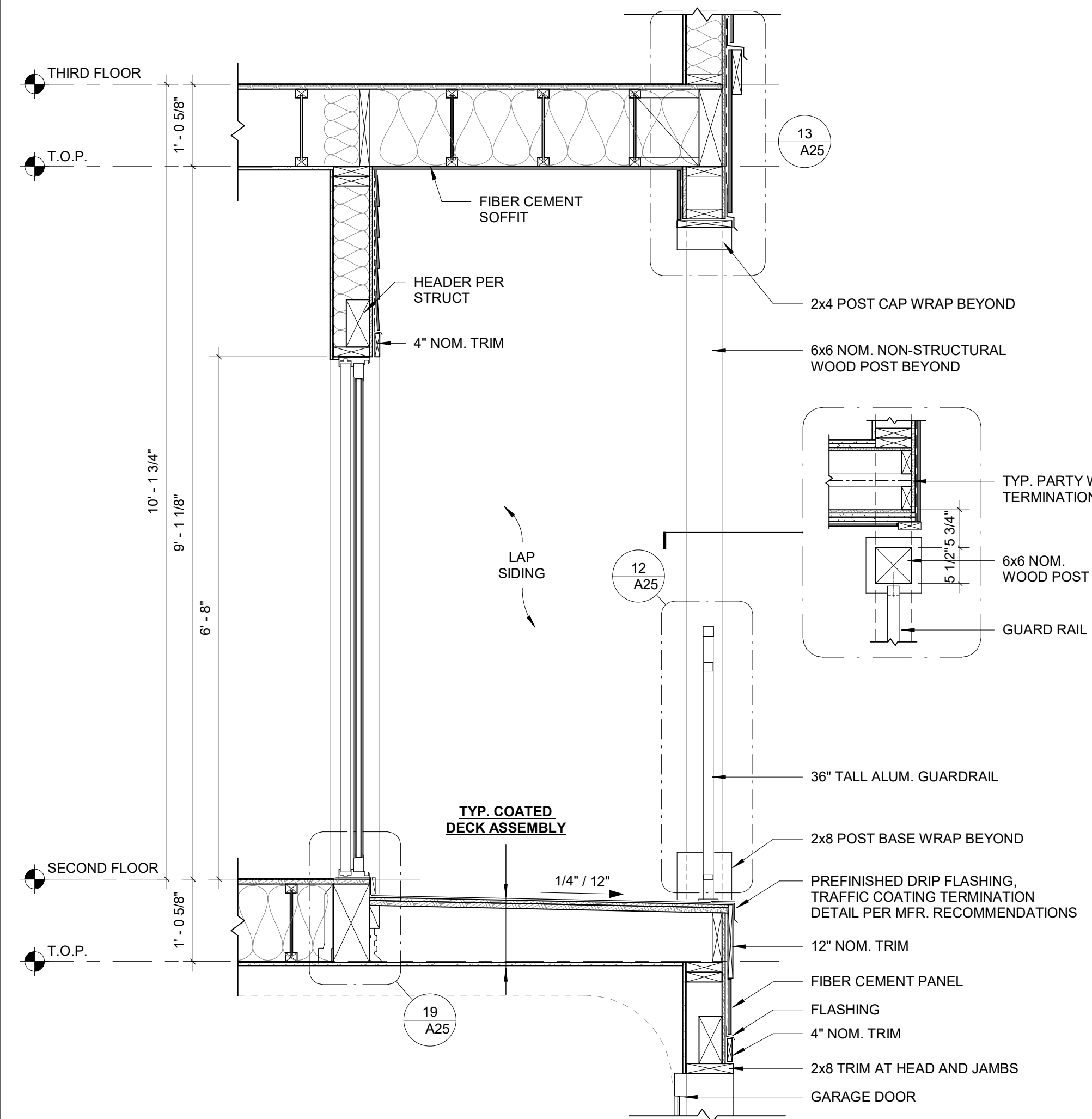
Element
RESIDENTIAL INC.

JOB NO.:	21714.2
PLOT DATE	9/25/2020 2:42:23 PM
DATE:	07/03/18
SCALE:	1/8" = 1'-0"
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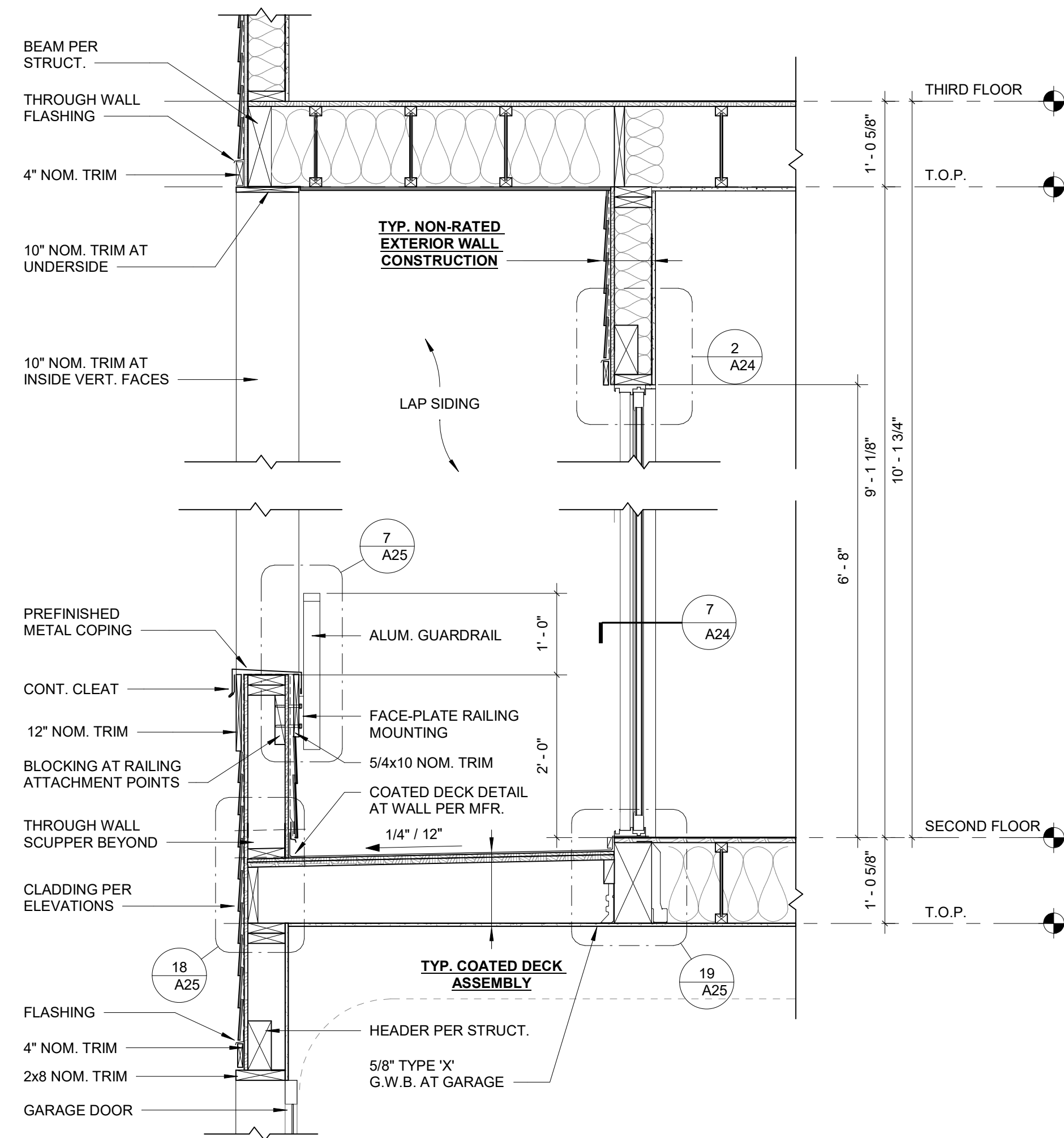
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Permit Number: 20-03269

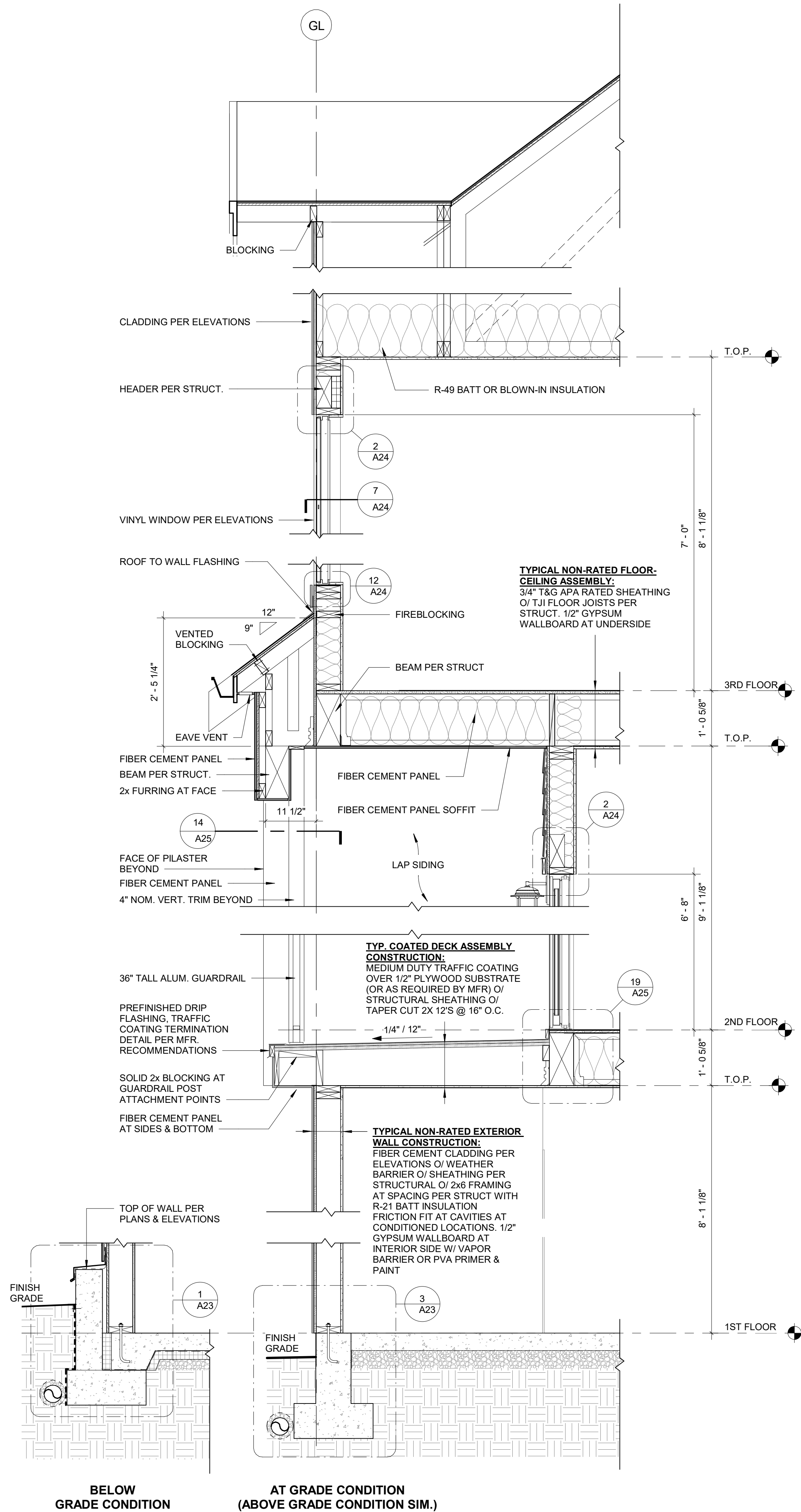
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Kitsap County Building/ Fire Marshals
10/28/20202:38:14 PM kwiodarchak



1 WALL SECTION - TYPICAL BACK DECK
3/4" = 1'-0"



2 WALL SECTION - BACK DECK WITH PONY WALL
3/4" = 1'-0"



BELOW GRADE CONDITION
AT GRADE CONDITION (ABOVE GRADE CONDITION SIM.)

3 WALL SECTION - UNIT A DECK
3/4" = 1'-0"

	<div><div>1</div><div><div>A19</div><div>UNIT A - BATH 1 (SINK)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>2</div><div><div>A19</div><div>UNIT A - KITCHEN (SINK)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>3</div><div><div>A19</div><div>UNIT A - KITCHEN (RANGE)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>4</div><div><div>A19</div><div>UNIT A - KITCHEN ISLAND</div><div>3/8" = 1'-0"</div></div></div>		<div><div>5</div><div><div>A19</div><div>UNIT A - KITCHEN (BAR)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>6</div><div><div>A19</div><div>UNIT A - BATH 3 (SINK, TOILET)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>7</div><div><div>A19</div><div>UNIT A - MASTER BATH (SINK)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>8</div><div><div>A19</div><div>UNIT B - BATH 1 (SHOWER)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>9</div><div><div>A19</div><div>UNIT B - KITCHEN REF</div><div>3/8" = 1'-0"</div></div></div>		<div><div>10</div><div><div>A19</div><div>UNIT B - KITCHEN (SINK)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>11</div><div><div>A19</div><div>UNIT B - KITCHEN (RANGE)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>12</div><div><div>A19</div><div>UNIT B - KITCHEN (BAR)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>13</div><div><div>A19</div><div>UNIT B - BATH 3 (SINK)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>14</div><div><div>A19</div><div>UNIT B - MASTER BATH (SINKS)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>15</div><div><div>A19</div><div>UNIT C - BATH 1 (SINK)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>16</div><div><div>A19</div><div>UNIT C - KITCHEN</div><div>3/8" = 1'-0"</div></div></div>		<div><div>17</div><div><div>A19</div><div>UNIT C - KITCHEN SINK</div><div>3/8" = 1'-0"</div></div></div>		<div><div>18</div><div><div>A19</div><div>UNIT C - KITCHEN (RANGE)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>19</div><div><div>A19</div><div>UNIT C MSTR BATH</div><div>3/8" = 1'-0"</div></div></div>		<div><div>20</div><div><div>A19</div><div>UNIT C - BATH 3 (SINK, TOILET)</div><div>3/8" = 1'-0"</div></div></div>		<div><div>21</div><div><div>A19</div><div>UNIT B - STAIR</div><div>3/8" = 1'-0"</div></div></div>		<div><div>22</div><div><div>A19</div><div>UNIT C - STAIR</div><div>3/8" = 1'-0"</div></div></div>
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ARCHITECT

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ARCHITECTURE

REVISIONS

REVISION SCHEDULE

#	DESCRIPTION	DATE

INTERIOR

ELEVATIONS

SEASIDE at KINGSTON

LINDVOG ROAD, KINGSTON

Seaside Kingston, LLC

Element

RESIDENTIAL INC.

JOB NO.:

21714.2

PLOT DATE

9/25/2020 2:46:51 PM

DATE:

01/09/18

SCALE:

3/8" = 1'-0"

DRAWN:

GD

CHCKD:

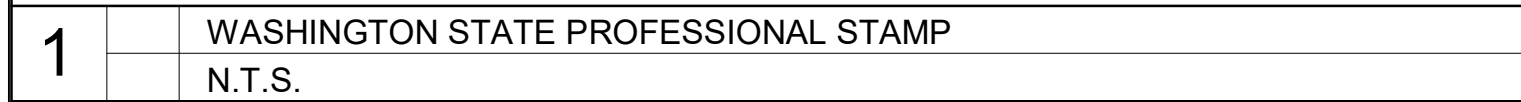
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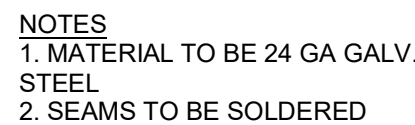
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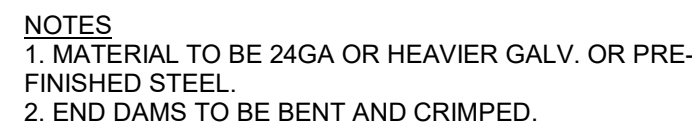
Permit Number: 20-03269



2	PENETRATION FLASHING
	N.T.S.

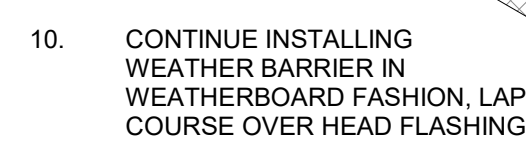
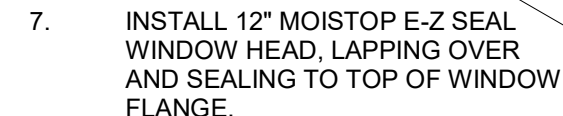
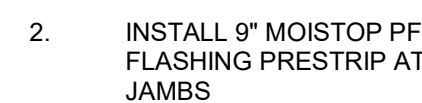


3		METAL SILL PAN, TYP. AT EXTR. DOORS
		N.T.S.



4	HEAD FLASHING, TYP. @ DOOR & WINDOW
	N.T.S.

5



WRB CONT. BEHIND THRU-WALL FLASHINGS

WRB LAPS THRU-WALL FLASHINGS

12" LAP

MIN. 2" ABOVE TOP EDGE OF METAL

3" MIN. LAP EACH COURSE

6" MIN. VERTICAL OVERLAP

2" ABOVE TOP EDGE OF METAL

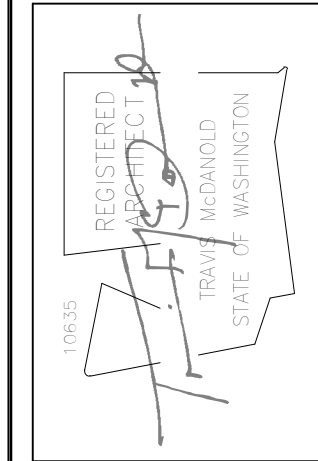
12" WEAVE AT OUTSIDE CORNERS PER MFR.

THRU-WALL FLASHINGS AT FLOORLINES AND WHERE INDICATED

CONT. THRU-WALL FLASHING AT BASE

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[illegible]

WEATHER BARRIER

SEASIDE at KINGSTON

LINDVOG ROAD, KINGSTON

Seaside Kingston, LLC



JOB NO.: 21714.2

PLOT DATE
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DATE: 01/09/18
SCALE: As indicated

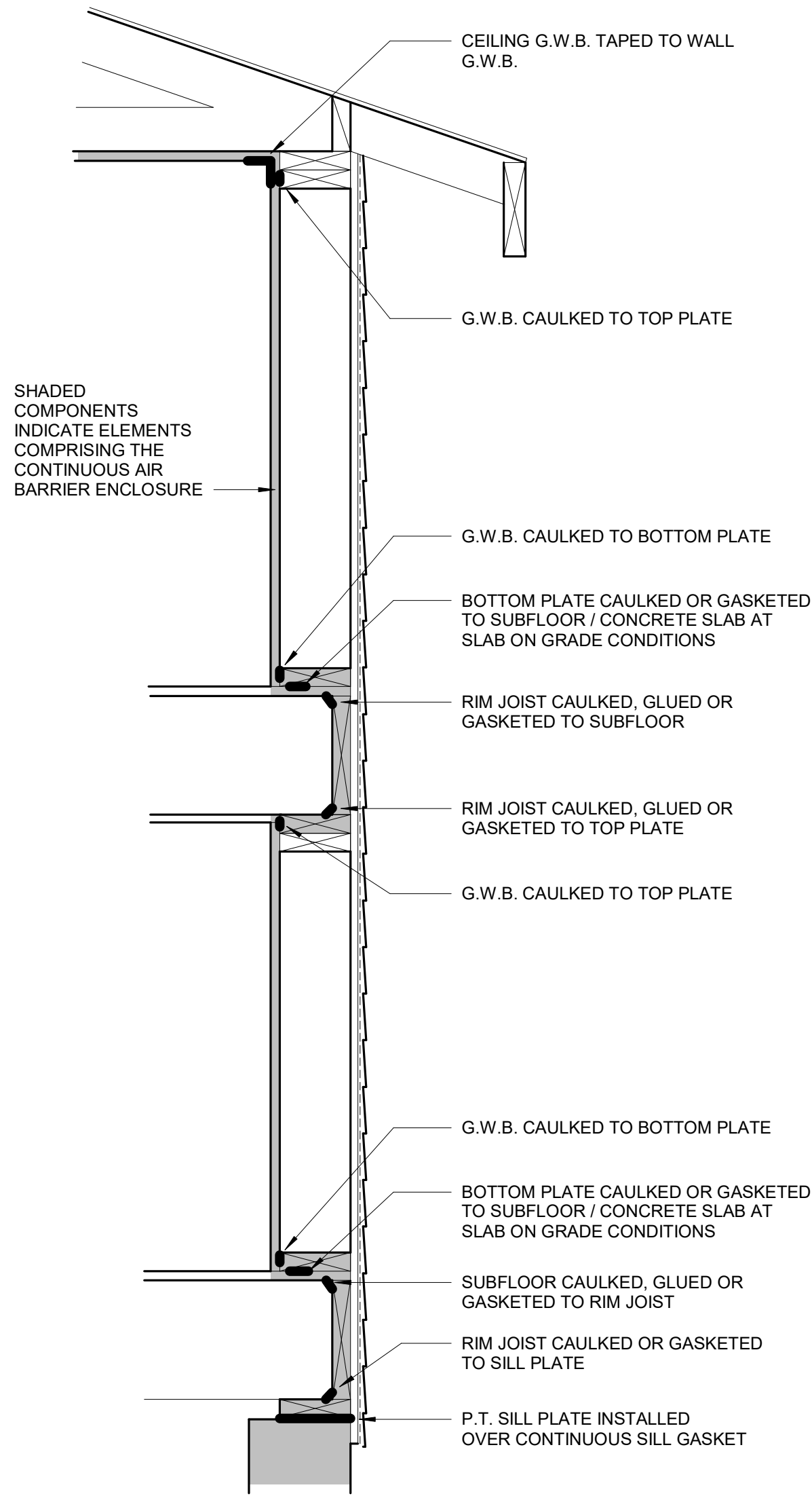
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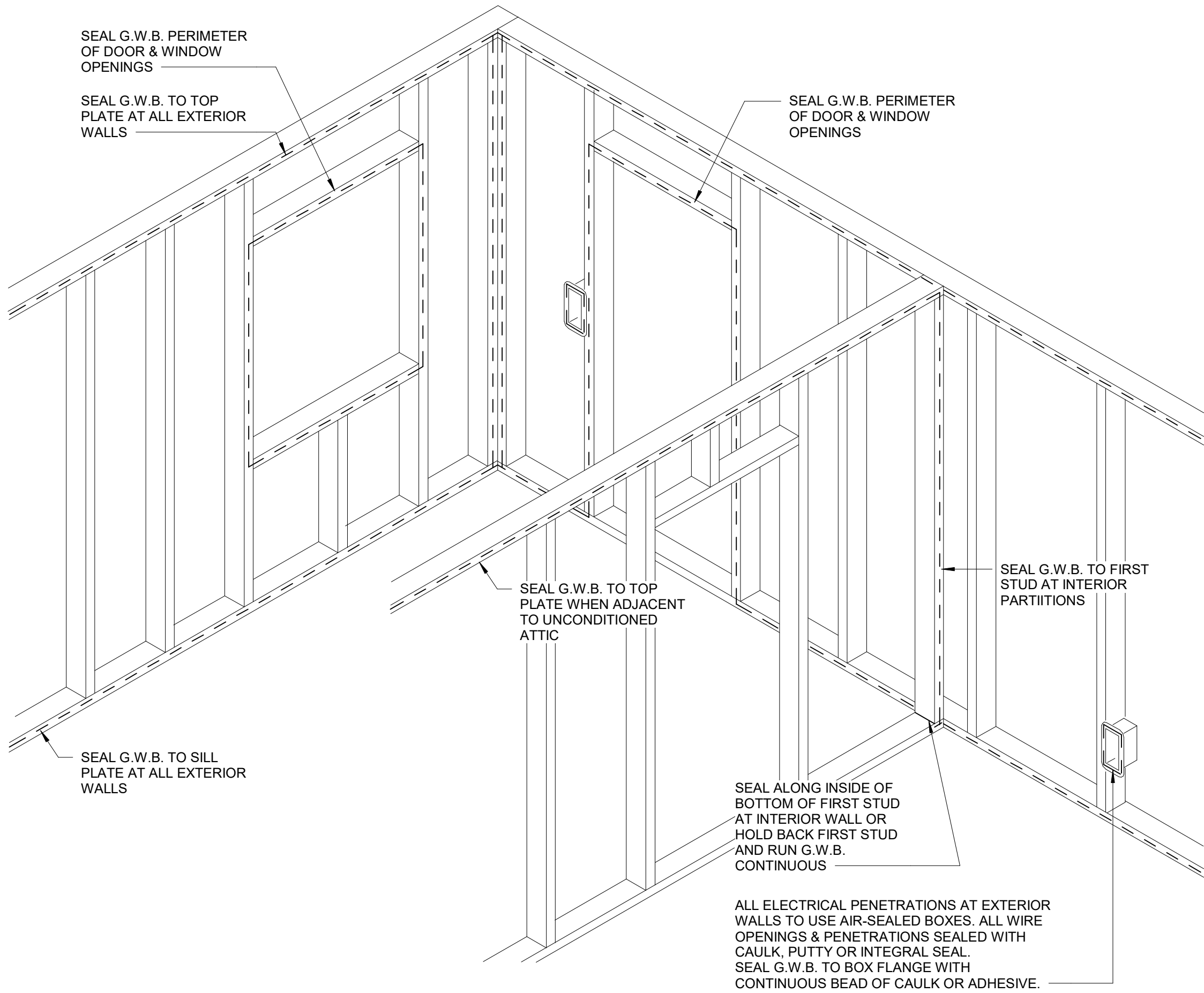
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G.W.B AIR BARRIER - CONCEPTUAL EXTERIOR WALL SECTION



G.W.B AIR BARRIER - CONCEPTUAL ISOMETRIC



AIR BARRIER REQUIREMENT

PER 2015 WASHINGTON STATE ENERGY CODE R402.4 A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.

PROVIDE BUILDING AIR LEAKAGE TESTING WITH APPROVED BLOWER DOOR PER INFORMATION BELOW. SUBMIT TESTING RESULTS TO JURISDICTION FOR APPROVAL.

BLOWER DOOR TEST

2015 Washington State Energy Code (WSEC) section R402.4.1.2 requires air leakage testing for all new houses and additions. The requirement is met if the structure has a leakage rate of 5 air changes per hour when depressurized with a blower door to 50 Pascals or less (5ACH50). A Pascal is a measurement of pressure. 249 Pascals are equal to 1" of water column. The test must be performed using a Blower Door device which consists of a large fan, a frame and panel. A manometer (pressure gauge) is used to read house and fan pressures.

WSEC states that the test may be performed at any time after rough in. All penetrations in the building envelope must be sealed including those for utilities, plumbing, electrical, ventilation and combustion appliances. The code also states that when required by the building official, the test shall be conducted by an approved third party.

To conduct the test:

1. Close all windows, doors and fireplace and stove doors.
2. Close all dampers including exhaust, intake, make-up air, backdraft and flue dampers. Since you will be depressurizing the house, dampers in bath fans, etc. will be sucked closed during the test and will therefore not negatively affect the results.
3. Make sure plumbing traps are filled with water.
4. Leave doors between heated areas open.
5. Open access hatches to conditioned attics and/or conditioned crawl spaces. Leave hatches closed if these are unconditioned areas.
6. Seal exterior openings for continuously operating ventilation systems and heat recovery ventilators.
7. Turn off heating and cooling systems but do not seal supply or return registers.
8. Adjust all combustion appliances so that they do not turn on during the test.
9. Install the blower door in an exterior door opening and connect hoses from the manometer to the blower door fan and the exterior pressure tap. See manufacturer's instructions for correct set-up.
10. Depressurize the house to -50 Pascals.
11. Record the flow rate (with simple manometers, the fan pressure (Pa) is converted to CFM₅₀ using a flow table. Many digital manometers sold with blower doors can automatically perform this conversion, and display CFM₅₀ directly.) Consult your blower door and manometer manuals.

You now must convert the flow rate (CFM₅₀) to ACH₅₀.

Use the following formula:

$$ACH_{50} = (CFM_{50} \times 60) / \text{Volume}$$

Where -

ACH₅₀ = Air Changes per Hour at -50 Pascals

CFM₅₀ X 60 = Converts Cubic Feet per Minute to Cubic Feet per Hour

Volume = Conditioned floor area of the housing unit multiplied by the ceiling height

Example: A blower door test has been done on a 2,000 square foot house and the fan flow (CFM₅₀) rate is 1100 CFM.

$$ACH_{50} = (CFM_{50} \times 60) / \text{Volume}$$

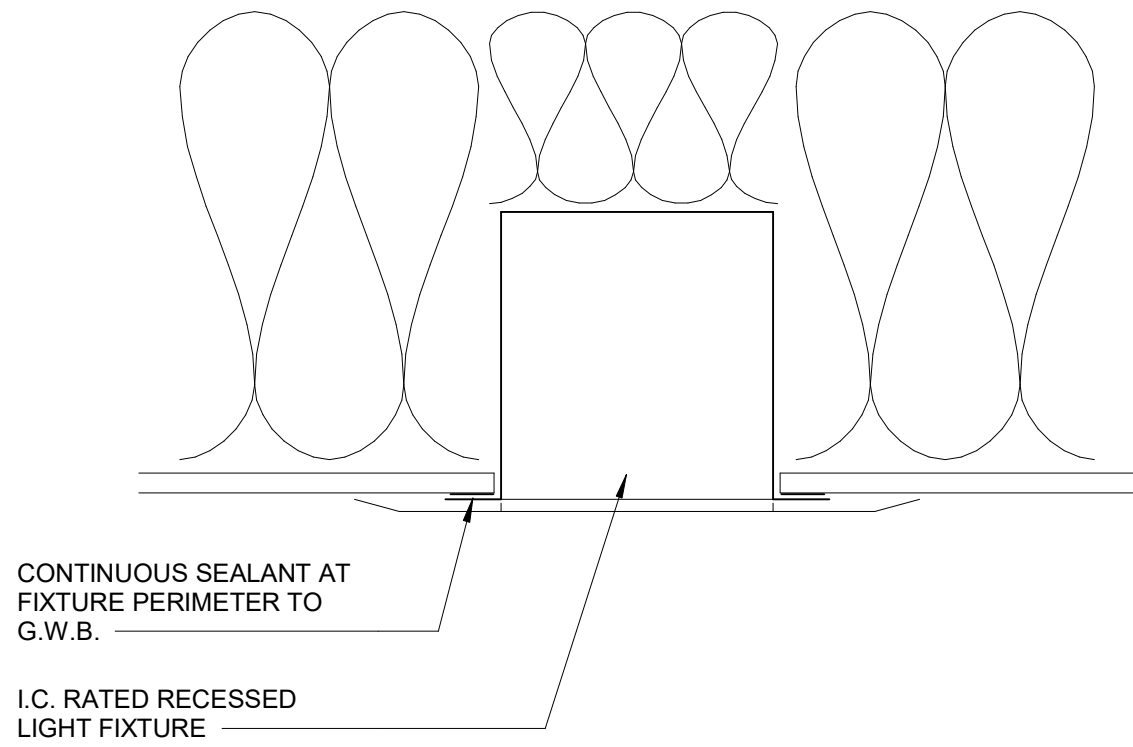
$$ACH_{50} = (1100 \times 60) / (2000 \times 8)$$

$$ACH_{50} = 86,000 / 16,000$$

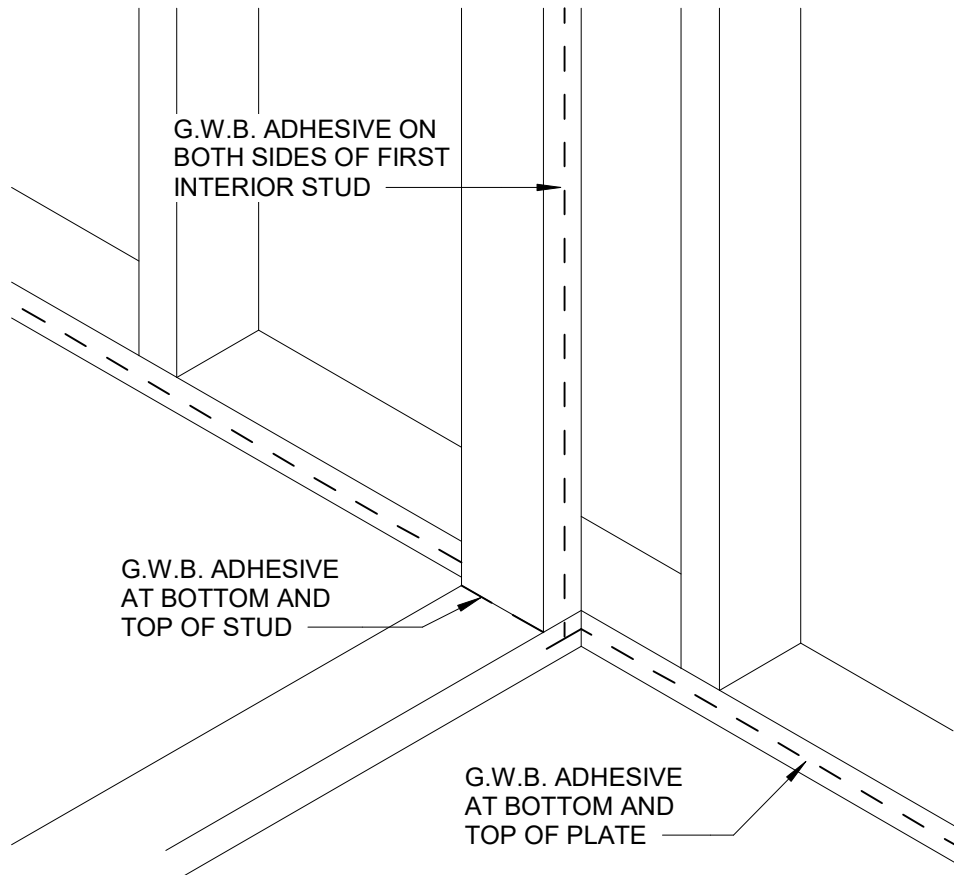
$$ACH_{50} = 4.1$$

Since the code requires the ACH₅₀ to be less than 5, this house complies with an ACH₅₀ of 4.1. Record the ACH₅₀ on the energy certificate on or near the electrical panel.

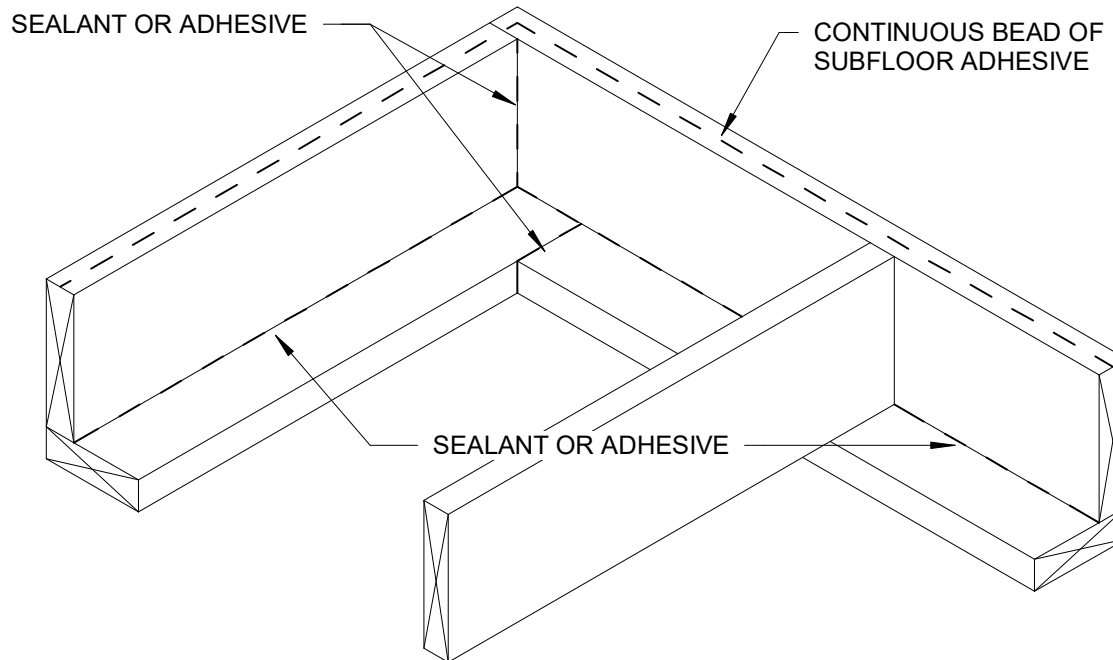
1 CONCEPTUAL INTERIOR AIR BARRIER SYSTEM - GYPSUM WALL BOARD (G.W.B.) METHOD N.T.S.



3 SEALING AT RECESSED FIXTURES N.T.S.

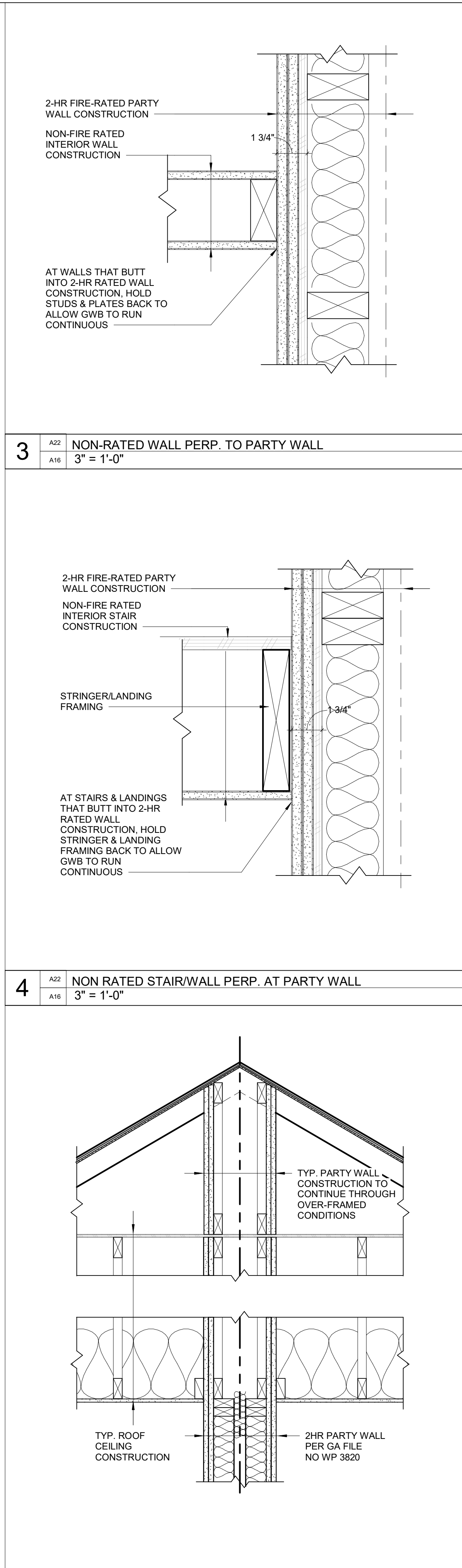
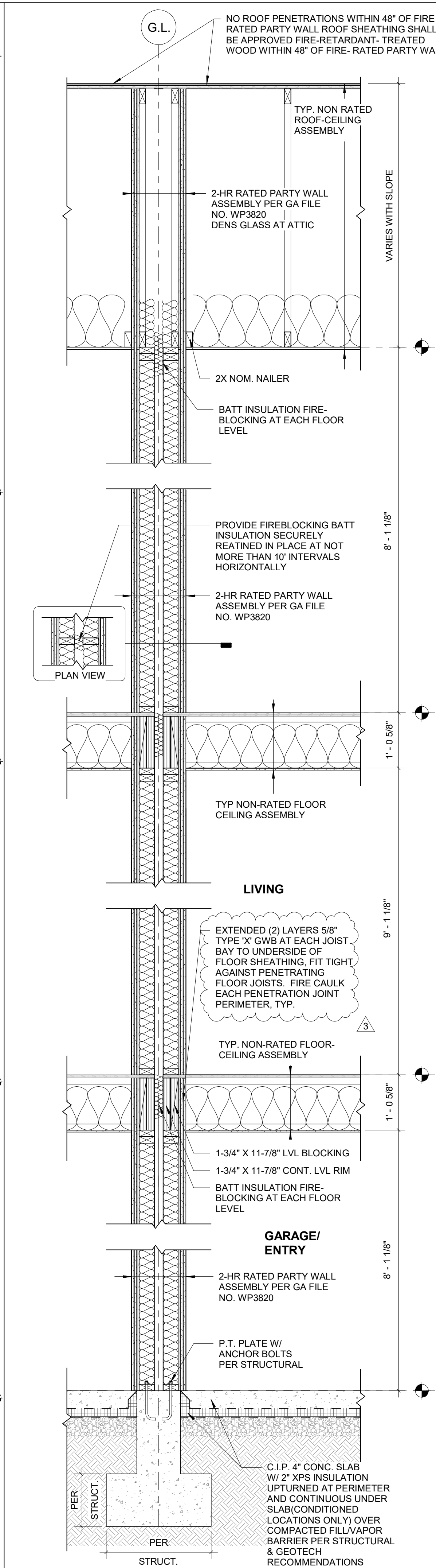
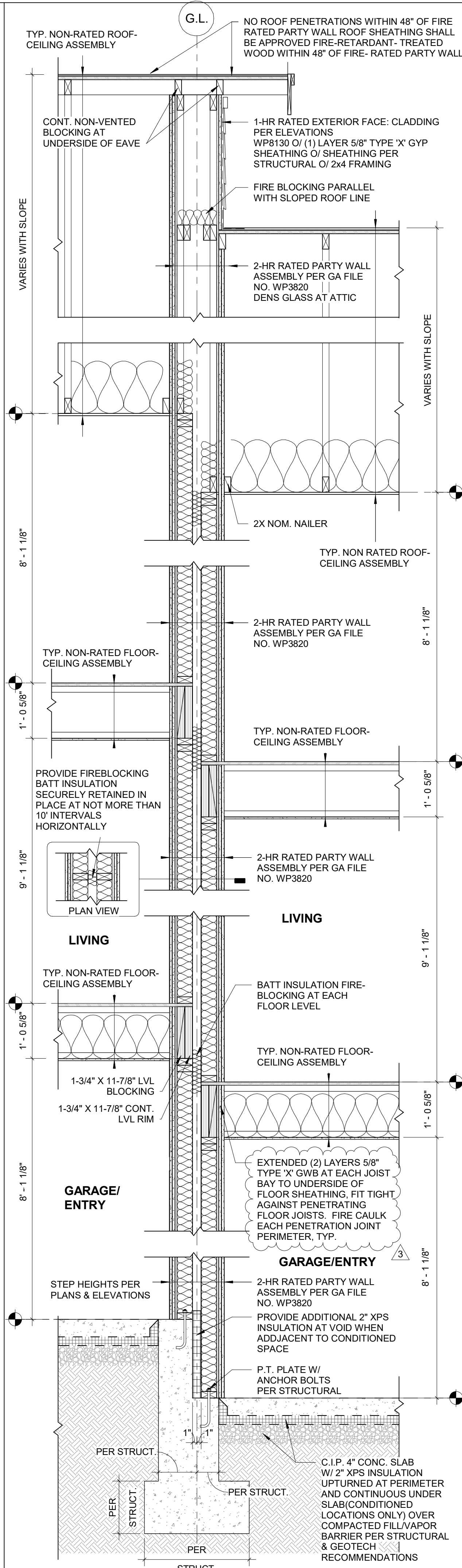


4 SEALING AT INTERSECTING WALLS N.T.S.



5 SEALING AT RIM JOIST N.T.S.

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/2020 2:38:25 PM kwiodarchak



GA FILE NO. WP3820
Reference 20th edition Gypsum Association Fire Resistance Design Manual
FIRE RESISTANCE RATING: 2 HR LOAD-BEARING
SOUND TRANSMISSION RATING (STC) : 57; test: Riverbank Acoustical Labs TL75-83

ASSEMBLY DESCRIPTION:
GYPSUM WALLBOARD, WOOD STUDS
Base layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side of double row of 2 x 4 wood studs 16" o.c. on separate plates 1" apart with 6d coated nails, 1-7/8" long, 0.085" shank, 1/4" heads, 24" o.c. Face layer 5/8" type X gypsum wallboard or gypsum veneer base applied at right angles to each side with 8d coated nails, 2-3/8" long, 0.100" shank, 1/4" heads, 8" o.c. Joints staggered 16" each layer and side. Horizontal bracing required at mid-height. (LOAD-BEARING)

(2) LAYERS 5/8" TYPE 'X' GWB EACH SIDE
2x4 FRAMING ON SEPARATE PLATES, SPACING PER STRUCTURAL, NOT TO EXCEED 16" O.C. 1" MIN. SEPARATION.
STRUCTURAL SHEATHING (PERMITTED TO BE ADDED TO THE ASSEMBLY PER G.A. FIRE RESISTANCE DESIGN MANUAL GENERAL EXPLANATORY NOTES #22)
3 1/2" FIBERGLASS BATT INSULATION (PERMITTED TO BE ADDED TO THE ASSEMBLY PER G.A. FIRE RESISTANCE DESIGN MANUAL GENERAL EXPLANATORY NOTES #10)

NOTES:
PLUMBING, MECH. EQUIP., DUCTS & VENTS ARE NOT PERMITTED WITHIN THIS WALL ASSEMBLY.
ELEC. OUTLET BOXES SHALL BE PROTECTED WITH PUTTY PADS

GA FILE NO. WP8130
Reference 20th edition Gypsum Association Fire Resistance Design Manual
FIRE RESISTANCE RATING: 1HR LOAD-BEARING

ASSEMBLY DESCRIPTION:
GYPSUM WALLBOARD, GLASS MAT GYPSUM SUBSTRATE, WOOD STUDS
EXTERIOR SIDE: One layer 5/8" proprietary type X glass mat gypsum substrate (sheathing) applied parallel or at right angles to 2 x 4 wood studs 16" o.c. with galvanized roofing nails, 1 3/4" long, 0.126" shank, 7/16" head, 7" o.c. Exterior surface covered with weather exposed cladding or finish system.
INTERIOR SIDE: One layer 5/8" proprietary type X glass mat gypsum substrate, glass mat water-resistant gypsum backing board, gypsum wallboard, water-resistant gypsum backing board, or gypsum veneer base applied parallel or at right angles to studs with 6d coated nails, 1 7/8" long, 0.0915" shank, 1/4" heads, 7" o.c. Joints staggered on opposite sides. (LOAD-BEARING)

PROPRIETARY GYPSUM PANEL PRODUCTS
American Gypsum Company LLC - 5/8" FireBloc® Type X
CertainTeed Gypsum Inc. - 5/8" ProRoc® Type X Gypsum Panels, 5/8" GlasRoc® Sheathing Type X
Georgia-Pacific Gypsum LLC - 5/8" DensGlass Gold® Fireguard®, 5/8" DensArmor Plus® Fireguard®
Lafarge North America Inc. - 5/8" Firecheck® Type X
Temple-Inland - 5/8" Type X
National Gypsum Company - 5/8" FIRE-SHIELD® Gypsum Sheathing, 5/8" FIRE-SHIELD® Gypsum Board
Temple-Inland - 5/8" GreenGlass Type X, 5/8" Type X

5/8" TYPE 'X' GYPSUM SHEATHING
2x6 FRAMING SPACING PER STRUCTURAL, NOT TO EXCEED 16" O.C.
STRUCTURAL SHEATHING
5 1/2" FIBERGLASS BATT INSULATION (PERMITTED TO BE ADDED TO THE ASSEMBLY PER G.A. FIRE RESISTANCE DESIGN MANUAL GENERAL EXPLANATORY NOTES #10)
5/8" TYPE 'X' GWB

NOTES:
1. Metallic outlet boxes shall be permitted to be installed in wood and steel stud walls or partitions having gypsum board facings and classified as two hours or less. The surface area of individual boxes shall not exceed 16 square inches. The aggregate surface area of the boxes shall not exceed 100 square inches in any 100 square feet. Boxes located on opposite sides of walls or partitions shall be in separate stud cavities and shall be separated by a minimum horizontal distance of 24 inches. Approved nonmetallic outlet boxes shall be permitted as allowed by local code.
2. All penetrations in a fire rated system shall be filled with firestopping material as required by the local code.

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Kitsap County Building/ Fire Marshals
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1 A25 G A05 RETAINING STEMWALL RETURN 1 1/2" = 1'-0"	2 A25 A16 BUILT UP ENTRY TRIM 1 1/2" = 1'-0"	3 A25 A16 WATER HEATER REQUIREMENTS 1" = 1'-0"	4 A25 A16 TYPICAL INTERIOR STAIR, BOTTOM 1" = 1'-0"	5 A25 A16 TUB / SHOWER AT RATED PARTY WALL 3" = 1'-0"
6 A25 A16 FIRE WALL ASSEMBLY AT CORNER 1 1/2" = 1'-0"	7 A25 A16 27" FACE MOUNT RAILING 1 1/2" = 1'-0"	8 A25 A16 2ND FL ROOF DETAIL 1 1/2" = 1'-0"	9 A25 A16 TYPICAL INTERIOR STAIR, TOP 1" = 1'-0"	10 A25 A16 INSULATED SLAB AT GARAGE WALL 1" = 1'-0"
11 A25 A16 FIRE WALL ASSEMBLY AT STOOP 1 1/2" = 1'-0"	12 A25 A16 36" DECK MOUNT RAILING 1 1/2" = 1'-0"	13 A25 A16 DECK WALL SWEEP DETAIL 1 1/2" = 1'-0"	14 A25 A16 UNIT A DECK POSTS DETAIL 1 1/2" = 1'-0"	15 A25 A16 ROOF TO WALL FLASHING, NTS 1" = 1'-0"
<p>Reviewed for Code Compliance Kitsap County Building/ Fire Marshals 10/28/20202:38:48 PM kwiodarchak</p>				
11 A25 A16 FIRE WALL ASSEMBLY AT STOOP 1 1/2" = 1'-0"	17 A25 A16 DECORATIVE BRACKET, TYP 1" = 1'-0"	18 A25 A16 DECK SCUPPER DETAIL 3" = 1'-0"	19 A25 A16 SGD SILL AT COATED DECK 3" = 1'-0"	20 A25 A16 ATTIC ACCESS PANEL 1" = 1'-0"

C:\Revit\KINGSTON-21714-central_V19 - Irvism@wattenbarger.com.rvt

WATTENBARGER ARCHITECTURE
10000 NE 33rd Pl., Ste. #102
BELLEVUE, WA 98004
t: 425-453-0606
www.wattenbarger.com

REGISTERED ARCHITECT
STATE OF WASHINGTON
TRAFFIC #102

Revision Schedule	
#	DESCRIPTION

CONSTRUCTION DETAILS

SEASIDE at KINGSTON
LINDVOG ROAD, KINGSTON
Seaside Kingston, LLC

ELEMENTAL RESIDENTIAL INC.
 10000 NE 33rd Pl., Ste. #102
 BELLEVUE, WA 98004
 t: 425-453-0606
 www.wattenbarger.com

JOB NO.:	21714.2
PLOT DATE	9/25/2020 2:49:06 PM
DATE:	01/09/18
SCALE:	As indicated
DRAWN:	DH
CHKD:	TM
BLDG.	SHEET NO.:
A25	

GENERAL STRUCTURAL NOTES:

CRITERIA:

- 1.1 All Materials, workmanship, design, and construction shall conform to the drawings, specifications, and the International Building Code (IBC), 2015 Edition.

- 1.2 Design Loading Criteria
The Design Loading of the Structure is as follows:

Live Loads (in accordance with IBC Table 1607.1)			
Occupancy or Use	Uniform Live Load	Concentrated Live Load	Notes
Floor, Residential	40-psf	-	60 PSF at decks
Uninhabitable attic, with storage	20-psf	-	Concurrent with Snow Loads
Uninhabitable attic, without storage	10-psf	-	Non-concurrent with Snow Loads
Handrails and Guards	-	200-lbs	Any point, any direction (ASCE 7-10, Section 4.5.1)

Wind Design Data (ASCE 7-10 Ch. 28 envelope method)		Seismic Design Data (ASCE 7-10, Section 12.8; Equivalent Lateral Force Procedure)	
Ultimate Design Wind Speed (3-sec gust), Vult	110-mph	Risk Catagory	II
Nominal Wind Speed, Vasd	85-mph	Seismic Importance Factor, Ie	1.0
Risk Catagory	II	Mapped Spect. Accel., Short Period, Ss	1.266
Wind Exposure	C	Mapped Spect. Accel., 1-Sec, S1	0.503
Internal Pressure Coefficient	N/A	Site Class	C
Exterior Components and Cladding	25-psf	Spectral Response Coeff., Short Period, Sds	0.844
Topographical Factor, Kzt	1.00	Spectral Response Coeff., 1-Sec, SD1	0.436
		Seismic Design Catagory	D

Snow Loads (ASCE 7-10, Chapter 7)		Basic Seismic-Force-Resistance System	
Ground Snow Load, Pg	25-psf	Ply. Shear Walls	0.13 x Weight
Flat Roof Snow Load, Pf = 0.7CeCtIsPg	25-psf	Seismic Response Coefficient, Cs	0.13
* Snow Exposure Factor, Ce	1.0	Response Modification Factor, R	6.5
* Snow Load Importance Factor, Is	1.0		
* Thermal Factor, Ct	1.2		

See Drawings for Additional Loading Criteria

- 1.3 Structural Drawings shall be used in conjunction with all other project documents for bidding and construction. Contractor shall verify dimensions and conditions for compatibility and shall notify architect of all discrepancies prior to construction.
- 1.4 Contractor shall provide Temporary Bracing for the structure and structural components until all final connections have been completed in accordance with the drawings.
- 1.5 Contractor shall be responsible for all safety precautions and the methods, techniques, sequences or procedures required to perform the work.
- 1.6 Contractor-initiated changes shall be submitted in writing to the architect and structural engineer for approval prior to fabrication or construction. Changes shown on shop drawings only will not satisfy this requirement.
- 1.7 Drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the architect and the structural engineer.
- 1.8 All structural systems composed of components to be field erected shall be supervised by the supplier during manufacturing, delivery, handling, storage and erection in accordance with instructions prepared by the supplier.
- 1.9 Special Inspection is not required. (Refer to 1704.2, Exception 1.) Standard framing inspections apply.

Structural Observation is not required.

GEOTECHNICAL:

- 2.1 Foundation Notes: Subgrade preparation including drainage, excavation, compaction, and filling requirements, shall conform strictly with recommendations given in the Soils Report or as directed by the Geotechnical Engineer. Footings shall bear on firm, undisturbed earth or controlled, compacted structural fill at least 18" below lowest adjacent finished grade. Footing depths/ elevations shown on the drawings are minimum and for guidance only; the actual elevations shall be established by the contractor in the field working with the testing lab and Geotechnical Engineer. Backfill behind all retaining walls with free draining, granular fill and provide for subsurface drainage as noted in the Geotechnical Report.

Geotechnical Properties	
Allowable Soil Bearing Pressure	2,000-psf
Soil Site Class	C

Geotechnical Report Reference: Seaside Kingston by N.L. Olson and Associates, Inc., Project No. 9946, dated May 22, 2018.

CONCRETE:

- 3.1 Concrete shall be mixed, proportioned, conveyed and placed in accordance with IBC Chapter 19 and ACI 318-14. Mix shall be proportioned to produce a slump of 5" or less. Based on IBC Section 1904.1, concrete strength shall be as follows:

Type or Location of Concrete Construction (Moderate Exposure)	Min. 28-Day Compressive Strength, f'c
Interior Slabs-on-Grade	2500-psi
Footings, Basement Walls, Foundation/Stem Walls	3000-psi

Strength tests are not required provided specified concrete strength requirements are verified with concrete mix tickets. All concrete with surfaces exposed to standing water shall be air-entrained with an air-content conforming to ACI 318-14 Table 4.2.1.

- 3.2 Reinforcing Steel shall conform to ASTM A615-12 and the following:

Bar Size	Steel Grade
#5 bar and larger	Grade 60, fy = 60,000-psi
#4 bar and smaller	Grade 40, fy = 40,000-psi

Welded Wire Fabric shall conform to ASTM A1064-15.

- 3.3 Reinforcing Steel shall be detailed (including hooks and bends) in accordance with ACI 318-14. Lap all continuous reinforcement (#5 and smaller) 40 bar diameters or 2'-0" minimum. Provide corner bars at all wall and footing intersections. Lap corner bars (#5 and smaller) 40 bar diameters or 2'-0" minimum. Laps of larger bars shall be made in accordance with ACI 318-14, Class B. Lap adjacent mats of welded wire fabric a minimum of 8" at sides and ends.

No bars partially embedded in hardened concrete shall be field bent unless otherwise noted on the drawings or approved by the structural engineer.

- 3.4 Concrete Protection (cover) for Reinforcing Steel shall be as follows:

Condition	Clear Cover
Footings and Unformed Surfaces cast against and permanently exposed to Earth	3"
Formed Surfaces exposed to Earth or Weather (#6 bars or larger)	2"
Formed Surfaces exposed to Earth or Weather (#5 bars or smaller)	1½"
Slabs and Walls, interior face (#11 bars and smaller)	¾"
Column Ties or Spirals and Beam Stirrups	1½"

WOOD:

- 6.1 Framing Lumber shall be kiln dried or MC-19, and graded and marked in conformance with WCLB Standard Grading Rules for West Coast Lumber No. 17. Unless otherwise noted, furnish to the following minimum standards:

Member Use	Size	Species	Grade
Studs	2x, 3x	Hem-Fir or SPF	STUD
Joists/Rafters	2x, 3x	Hem-Fir	No. 2
Plates/Misc.	2x, 3x	Hem-Fir	No. 2
Beams	4x	Douglas Fir-Larch	No. 2
Posts	4x	Douglas Fir-Larch	No. 2
Timber, Beams	6x & Larger	Douglas Fir-Larch	No. 2
Timber, Posts	6x & Larger	Douglas Fir-Larch	No. 2

- 6.2 Glued Laminated Members shall be fabricated in conformance with ASTM and AITC Standards. Each member shall bear an AITC Identification Mark and shall be accompanied by an AITC certificate of conformance. Furnish to the following minimum standards:

Member Use	Combination	Species	Fbx+	Fbx-	Fc-x	Fvx	Ex
Beams	24F-V4	DF/DF	2400-psi	1850-psi	650-psi	265-psi	1800-ksi

Camber all glulam beams to 3,500' radius, unless otherwise noted. Glued laminated members exposed to weather or moisture shall be treated with an approved preservative.

- 6.3 Engineered Wood shown on the drawings are based on product manufactured by Weyerhaeuser in accordance with ICC Report No. ES ESR-1387. Each piece shall bear a stamp or stamps noting the name and plant number of the manufacturer, the grade, the ICC report number, and the quality control agency. Furnish to the following minimum standards:

Member Use	Product	Fb	Fc-	Fv	E
Beams	1.55E Laminated Strand Lumber (LSL)	2325-psi	800-psi	310-psi	1550-ksi
Beams	2.0E Laminated Veneer Lumber (LVL)	2600-psi	750-psi	285-psi	2000-ksi
Beams	2.0E Parallel Strand Lumber (PSL)	2900-psi	750-psi	290-psi	2000-ksi
Rim Boards	Laminated Strand Lumber (LSL)	1700-psi	680-psi	400-psi	1300-ksi

Alternate manufacturers may be used subject to review and approval by the Architect and Structural Engineer. All hangers and other hardware not shown shall be designed and supplied by the Joist Manufacturer.

- 6.4 Engineered Wood I-Joists shown on the drawings are based on joists manufactured by Weyerhaeuser in accordance with ICC Report No. ES ESR-1153. Alternate Engineered Wood I-Joists manufacturers may be used subject to review and approval by the Architect and Structural Engineer.

- 6.5 Prefabricated Connector Plate Wood Trusses shall be designed by the manufacturer in accordance with TPI 1-2007 for the spans and conditions shown on the drawings. Wood trusses shall utilize approved connector plates (MITEK, ITW or other approved Truss Plate Manufacturer). Unless otherwise noted, loading shall be as follows:

Roof Truss Design Loading		Floor Truss Design Loading	
Member	Uniform Load	Member	Uniform Load
Top Chord Snow Load	25-psf	Top Chord Live Load	40-psf
Top Chord Wind Load (Uplift)	15-psf	Top Chord Dead Load	10-psf
Top Chord Dead Load	7-psf	Bottom Chord Dead Load	5-psf
Bottom Chord Live Load	10-psf		
Bottom Chord Dead Load	5-psf		

Submit shop drawings and design calculations prior to fabrication. Submitted documents shall bear the stamp and signature of a registered Professional Engineer, State of Washington. Truss design drawings shall include, at a minimum, the following:

- A. Slope or Depth, Span and Spacing
B. Location of all Joints and Support Locations
C. Number of Piles if greater than one
D. Required Bearing Widths
E. Design Loads and Locations: Include Top and Bottom Chord Live and Dead Loads, Girder Loads, and Environmental Loads (Seismic, Wind, Snow, etc.)
F. Other Lateral Loads, including Drag Strut Loads
G. Adjustments to Wood and Metal Connector Plate Design Value for Conditions of Use
H. Maximum Reaction Force and Direction (including Maximum Uplift)
I. Metal-Connector-Plate Type, Size, Thickness, and Location
J. Size Species and Grade for each Member
K. Truss-to-Truss Connections and Truss Field Assembly Requirements
L. Calculated Span-to-Deflection Ratio and maximum Vertical and Horizontal Deflection for Live and Total Loads
M. Maximum Axial Tension and Compression Forces in each Truss Member
N. Required Permanent Individual Truss Member Restraint Location and the Method and Details of Restraint Bracing to be used
O. Placement Layout including Bearing Points, Intersections, Hips, Valleys, etc.
P. Truss-to-Truss and Truss-to-Beam Connection Details and Hardware

- 6.6 Roof, Floor & Wall Sheathing shall be APA Rated, Exterior or Exposure 1 Plywood or OSB. sheathing shall be manufactured under the provisions of Voluntary Product Standards DOC PS-1 or DOC PS-2, or APA PRP-108 Performance Standards and Policies for Structural Use Panels. See Drawings for thickness, span rating, and nailing requirements. Unless otherwise noted, wall sheathing shall be ½" (nominal) with Span Rating of 24/0. Glue floor sheathing to all supporting members with adhesive conforming to APA Specification AFG-01.

- 6.7 Wood members shall be protected against decay and termites in accordance with IBC Section 2304.12. Where required, members shall be naturally durable species or shall be treated with waterborne preservatives wood in accordance with American Wood Protection Association specification AWPA U1. Members shall be clearly labeled.

- 6.8 Timber Connectors shall be "Strong-Tie" by Simpson Company, as specified in their current catalog. Provide number and size of fasteners as specified by manufacturer. Connectors shall be installed in accordance with the manufacturer's instructions. Where connector straps connect two members, center strap on joint and provide number and size of fasteners as specified by manufacturer, with equal number and size of fasteners in each member.

Alternate hardware manufacturers, such as USP Connectors, may be substituted for items shown provided they have ICC approval for equal or greater load capacities. All joist hangers and other hardware shall be compatible in size with specified framing members. See the USP conversion chart on S01 for more information.

Timber Connectors and their fasteners shall be protected from corrosion in accordance with manufacturer's recommendation and AWPA U1.

- 6.9 Bolts and Lag Screws in wood members shall conform to ASTM A307. Threaded Rods Shall Conform to ASTM A36. Provide washers under the Heads and Nuts of all Bolts, Rods and Lag Screws bearing on wood. Bolt Installation shall conform to ANSI/AWC NDS-2015 Section 11.1.3, and Lag Screw Installation shall conform to ANSI/AWC NDS-2015 Section 11.1.4.

Nails specified on the drawings shall be as follows:

Nail Use	Penny Weight	Grade
Framing Nails	12d Box	0.131"Ø x 3¼"
Sheathing Nails	8d Common	0.131"Ø x 2½"

All Metal Fasteners shall be protected from corrosion in accordance with AWPA U1.

WOOD (Continued):

- 6.1 Wood Framing Notes: The following apply unless otherwise noted on the drawings:
- A. All wood framing details shall be constructed to the minimum standards of the IBC. Nailing not specified on the drawings shall conform to IBC Table 2304.10.1 or ICC ES ESR-1539. Coordinate the size and location of all openings with Mechanical and Architectural Drawings.
- B. Wall Framing: Stud wall size and spacing shall be in accordance with the plan notes. Two studs minimum shall be provided at the ends of all walls, at each side of all openings, and at the ends of all beams and headers. All stud bearing walls on wood framing shall have their lower wood plates attached to framing or concrete below per P1-6 of the shear wall schedule.
- C. Individual members of Built-Up stud posts shall be nailed to each other with framing nails @ 12"oc, staggered. Individual members of Built-Up joist beams shall be nailed to each other with framing nails @ 12"oc, staggered.
- D. Solid blocking for wood columns shall be provided through floors to supports below.
- E. Floor and Roof Framing: Provide solid blocking at all bearing points. Toenail joists to supports with two framing nails. Attach timber joists to flush headers or beams with metal joist hangers in accordance with notes above.

Roof and floor sheathing shall be laid up with grain perpendicular to supports and nailed per plan notes. Allow 1/8" spacing at all panel edges and ends of floor and roof sheathing. Provide approved panel edge clips centered between joists/trusses at unblocked roof sheathing edges. All floor sheathing edges shall have approved tongue-and-groove joints. Toenail blocking to supports with framing nails @ 12"oc. At blocked floor and roof diaphragms, provide flat 2x blocking at all unframed panel edges and nail with edge nailing specified.

SIMPSON / USP COMMONLY USED CONNECTIONS: CROSS REFERENCE TABLE		
TYPE	SIMPSON STRONG-TIE	USP STRUCTURAL CONNECTORS
--	PRODUCT #	PRODUCT #
HOLDOWN	HDU2-SDS2.5	PHD2A
HOLDOWN	HDU4-SDS2.5	PHD4A
HOLDOWN	HDU5-SDS2.5	PHD5A
HOLDOWN	HDU8-SDS2.5	PHD8
HOLDOWN	STHD14	STAD14
HOLDOWN	STHD14RJ	STAD14RJ
HOLDOWN	DTT11Z	LTS19-TZ w/ 1"x1"x¼" PLATE WASHER (TO ACCOMMODATE X LAG SCREW)
STRAP	MST48	KST248
STRAP	ST2215	KST216
STRAP	ST6224	KST224
STRAP	CS16	RS150
STRAP	MASA / MASAP	FA4
STRAP	CMSTC16	CMSTC16
TIES	LGT2	LUGT2
TIES	LTP4	MP4F
TIES	LTP5	MP6F
TIES	A34	MP34
TIES	A35	MPA1
TIES	H1	RT15
TIES	H2.5	RT7
TIES	H2.5A	RT7A
POST CAP	LCE4	PBES44
POST CAP	EPC44	EPCM44
POST CAP	EPC66	EPCM66
POST CAP	CCQ-SDS2.5	KCCQ
POST CAP	ECCQ-SDS2.5	KECCQ
POST CAP	AC4	PBS44
POST CAP	AC6	PBS66
POST BASE	PB44 / 66	WE44 / 66
POST BASE	ABU44	PAU44
POST BASE	ABU66	PAU66
POST BASE	ABA66	PA66E
DRAG STRUT	HTS30C	HTW30C
DRAG STRUT	HTS30	HTW30
DRAG STRUT	DSC5	DSC4
HANGER	LUS	JUS
HANGER	IUS	THF
HANGER	ITT	THO
HANGER	HU / HUC	HD / HDIF
HANGER	MIU	THF
HANGER	HUS	HUS

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LEGEND



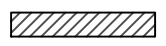
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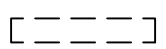
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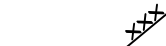
BEARING OR SHEAR WALL BELOW



SILL PLATE BELOW



BEARING OR SHEAR WALL ABOVE



POST BELOW



HEADER PER PLAN NOTE 4



SOLID BLOCKING THRU FLOOR FOR LOAD ABOVE

FIRST WALL/SECOND FLOOR FRAMING PLAN NOTES:

- FLOOR SHEATHING SHALL BE 3/4" THICK T&G (PANEL SPAN RATINGS 48/24). FASTEN SHEATHING TO FRAMING WITH 0.131"X2 1/2" NAILS @ 6" OC, EDGES, AND @ 10" OC, FIELD. DIAPHRAGM NAILING AS INDICATED ON THE DRAWINGS SHALL BE 0.131"X2 1/2" NAILS @ 6" OC. SEE DRAWINGS FOR OTHER SHEATHING NAILING REQUIREMENTS. GLUE SHEATHING TO ALL FRAMING MEMBERS AND BLOCKING BELOW WITH ADHESIVE CONFORMING TO A.P.A. SPECIFICATION AFG-01.
- FLOOR JOISTS SHALL BE SIZE AND SPACING SHOWN ON PLAN. JOIST LAYOUT SHOWN IS VISUAL REPRESENTATION AND SHALL BE ADJUSTED FOR PENETRATIONS AS REQUIRED.
- EXTERIOR WALLS SHALL BE SHEAR WALL TYPE PI-6 WITH 2x6 STUDS @ 16" OC, U.O.N. INTERIOR WALLS SHALL BE 2x4 STUDS @ 16" OC, U.O.N.

DEMISING WALLS SHALL BE (2) WALLS WITH AIR SPACE PER ARCH'L. EACH WALL SHALL BE 2x4 STUDS @ 16" OC, U.O.N. EACH WALL SHALL BE SHEATHED WITH 2 LAYERS OF 5/8" X 1/8" COOLER NAILS WITH 1/4" HEAD (6d) SPACED AT 9" OC EACH FRAMING MEMBER. FACE PLY SHALL BE FASTENED WITH 0.113" X 2 3/8" COOLER NAILS WITH 0.201" HEAD (6d) SPACED AT 1" OC EACH FRAMING MEMBER. ALL PANEL EDGES NOT SUPPORTED BY FRAMING MEMBERS TO BE BLOCKED.

WHERE ADJACENT SHEAR WALLS ARE IN CONTACT, NAIL STUDS TOGETHER PER 3/506. SEE 1/506 FOR SPECIAL STUD REQUIREMENTS AT SHEAR WALL TYPES PI-3, PI-2, P2-4, P2-3, AND P2-2.

- HEADERS SHALL BE 4x10, U.O.N. SEE DETAIL 18/506.
- BUILT-UP STUD GROUPS IN WALLS SUPPORTING BEAMS, POSTS OR GIRDER TRUSSES ABOVE SHALL BE (2) STUDS, U.O.N. SEE GENERAL STRUCTURAL NOTES FOR FASTENING REQUIREMENTS.



SECOND FLOOR
FRAMING PLAN

Seaside at Kingston
Kingston, Washington
Seaside Kingston, LLC

Element
RESIDENTIAL, INC.

JOB NO.: 17-359-01

PLOT DATE 07/13/2018

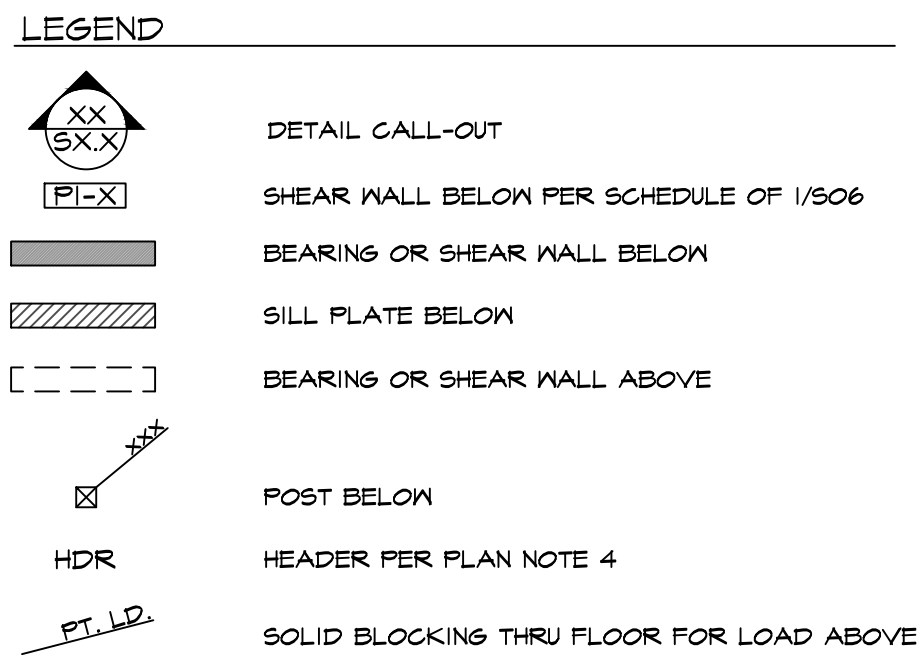
DATE: 07/13/2018

SCALE: BDS

DRAWN: BTL

CHKD: BTL

BLDG: SHEET NO.: C S03a




1. FLOOR SHEATHING SHALL BE ¾" THICK T&G (FAN PANEL RATING 40/24). FASTEN SHEATHING TO FRAMING WITH 0.191"x2x25" NAILS @ 6" OCS, EDGES, AND @ 10" O.C. FIELD. DIAPHRAGM NAILING AS INDICATED ON THE DRAWINGS SHALL BE 0.191"x2x25" NAILS @ 6" O.C. SEE DRAWINGS FOR OTHER SHEATHING NAILING REQUIREMENTS. GLUE SHEATHING TO ALL TRAVELING MEMBERS AND BLOCKING BELOW WITH ADHESIVE CONFORMING TO A.P.A. SPECIFICATION AP6-01.
2. FLOOR JOISTS SHALL BE SIZE AND SPACING SHOWN ON PLAN. JOIST LAYOUT SHOWN IS VISUAL REPRESENTATION AND SHALL BE ADJUSTED FOR PENETRATIONS AS REQUIRED.
3. EXTERIOR WALLS SHALL BE SHEAR WALL TYPE PI-6 WITH 2x6 STUDS @ 16" O.C., U.O.N. INTERIOR WALLS SHALL BE 2x4 STUDS @ 16" O.C., U.O.N.

DEMISING WALLS SHALL BE (2) WALLS WITH AIR SPACE PER ARCH'L. EACH WALL SHALL BE 2x4 STUDS @ 16" O.C., U.O.N. EACH WALL SHALL BE SHEATHED WITH 2 LAYERS OF 5/8 IN. ACCORDANCE WITH ARCHITECTURAL DRAWINGS. BASE PLY SHALL BE FASTENED WITH 0.092" x 1 7/8" COOLER NAILS WITH 4" HEAD (6) SPACED @ 19" O.C. EACH FRAMING MEMBER. FACE PLY SHALL BE FASTENED WITH 0.118" x 2 7/8" COOLER NAILS WITH 0.251" HEAD (8) SPACED @ 17" O.C. EACH FRAMING MEMBER. ALL PANEL EDGES NOT SUPPORTED BY FRAMING MEMBERS SHALL BE BLOCKED.
- WHERE ADJACENT SHEAR WALLS ARE IN CONTACT, NAIL STUDS TOGETHER PER 3/506. SEE 1/506 FOR SPECIAL STUD REQUIREMENTS AT SHEAR WALL TYPES PI-3, PI-2, P2-4, P2-5, AND P2-2.

4. HEADERS SHALL BE 4x10, U.O.N. SEE DETAIL 18/506.
5. BUILT-UP STUD GROUPS IN WALLS SUPPORTING BEAMS, POSTS OR GIRDER TRUSSES ABOVE SHALL BE (2) STUDS, U.O.N. SEE GENERAL STRUCTURAL NOTES FOR FASTENING REQUIREMENTS.


Figure 1 shows a step function graph. The horizontal axis is labeled with values 0, 1, 2, 4, 8, and 16. The vertical axis is labeled with $|1/4^n| = |1 - 0^n|$. The function is defined as follows: it is 1 for $x \in [0, 1)$, 0 for $x \in [1, 2)$, 1 for $x \in [2, 4)$, 0 for $x \in [4, 8)$, and 1 for $x \in [8, 16]$.



TWA Architecture
WATTENBARGER

11000 NE 35th PLACE
SUITE #102
BELLEVUE, WA 98004

t: 425-453-0606




BTL
ENGINEERING P.S.

1401 Westpark Corporate Center, Suite 100
West Kentwood, WA 98148
PHONE: 425-454-8880 FAX: 425-451-2229

11000 NE 35th PLACE
SUITE #102
BELLEVUE, WA 98004

t: 425-453-0606



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DESCRIPTION DATE

PERMIT 07/13/2018

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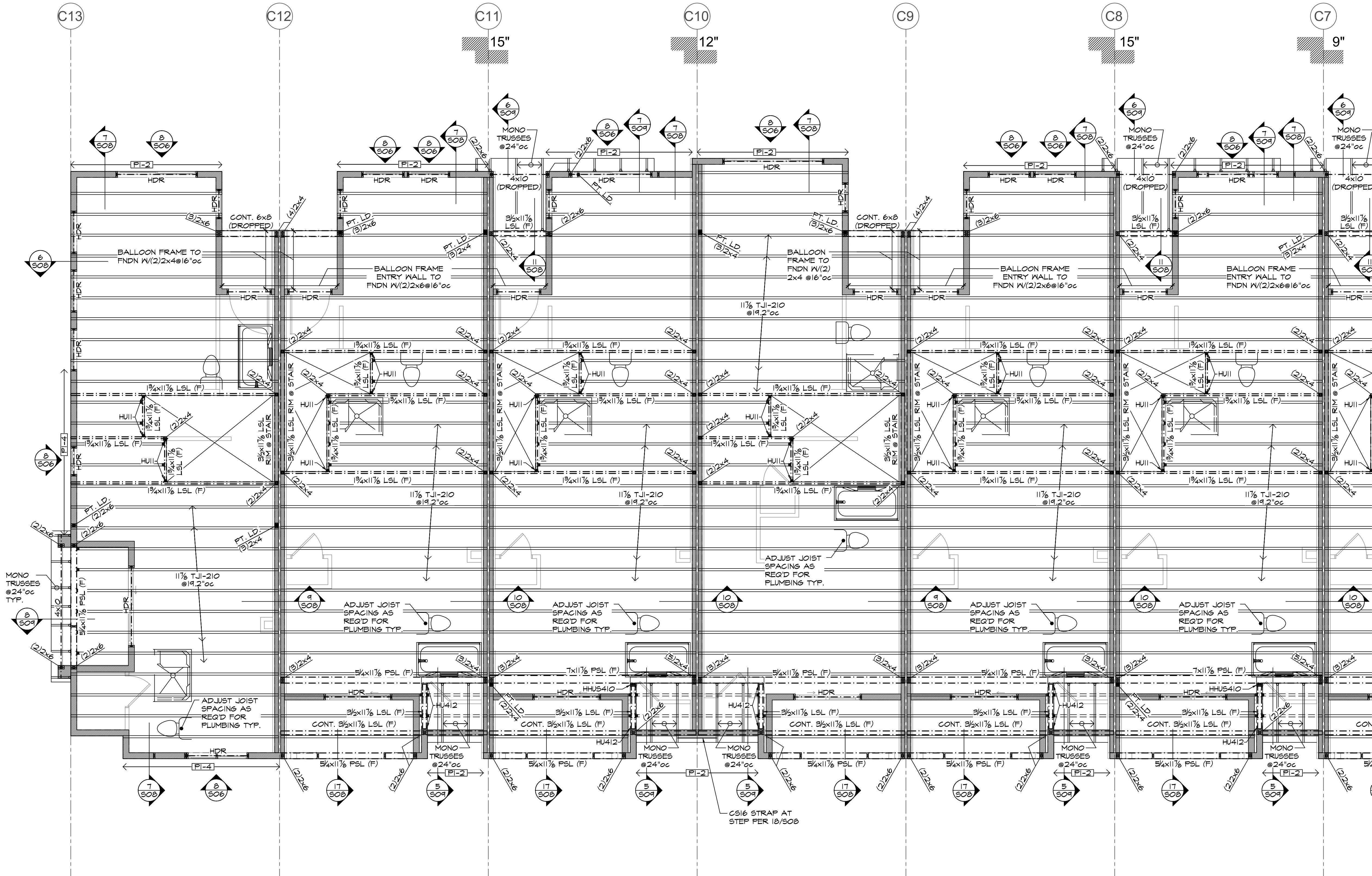
PERMIT 07/13/2018

11000 NE 35th PLACE
SUITE #102
BELLEVUE, WA 98004

t: 425-453-0606

DESCRIPTION DATE

PERMIT 07/13/2018



Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/20202:40:00 PM kwiodarchak

LEGEND

- DETAIL CALL-OUT
- SHEAR WALL BELOW PER SCHEDULE OF 1/506
- BEARING OR SHEAR WALL BELOW
- BEARING OR SHEAR WALL ABOVE
- POST BELOW
- HEADER PER PLAN NOTE 4
- SOLID BLOCKING THRU FLOOR FOR LOAD ABOVE

SECOND WALL/THIRD FLOOR FRAMING PLAN NOTES:

- FLOOR SHEATHING SHALL BE 3/4" THICK T&G (PANEL SPAN RATINGS 48/24). FASTEN SHEATHING TO FRAMING WITH 0.131"x0.22" NAILS @ 6"oc, EDGES, AND @ 10"oc FIELD. DIAPHRAGM NAILING AS INDICATED ON THE DRAWINGS SHALL BE 0.131"x0.22" NAILS @ 6"oc. SEE DRAWINGS FOR OTHER SHEATHING NAILING REQUIREMENTS. GLUE SHEATHING TO ALL FRAMING MEMBERS AND BLOCKING BELOW WITH ADHESIVE CONFORMING TO A.P.A. SPECIFICATION AF6-01.
- FLOOR JOISTS SHALL BE SIZE AND SPACING SHOWN ON PLAN. JOIST LAYOUT SHOWN IS VISUAL REPRESENTATION AND SHALL BE ADJUSTED FOR PENETRATIONS AS REQUIRED.
- EXTERIOR WALLS SHALL BE SHEAR WALL TYPE PI-6 WITH 2x6 STUDS @ 16"oc, U.O.N. INTERIOR WALLS SHALL BE 2x4 STUDS @ 16"oc, U.O.N.

DEISING WALLS SHALL BE (2) WALLS WITH AIR SPACE PER ARCH'L. EACH WALL SHALL BE 2x4 STUDS @ 16"oc, U.O.N. EACH WALL SHALL BE SHEATHED WITH 2 LAYERS OF 5/8" IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS. BASE FLY SHALL BE FASTENED WITH 0.042" x 17/8" COOLER NAILS WITH 1/4" HEAD (6d) SPACED AT 4"oc EACH FRAMING MEMBER. FACE FLY SHALL BE FASTENED WITH 0.113" x 23/8" COOLER NAILS WITH 0.281" HEAD (6d) SPACED AT 7"oc EACH FRAMING MEMBER. ALL PANEL EDGES NOT SUPPORTED BY FRAMING MEMBERS TO BE BLOCKED.

WHERE ADJACENT SHEAR WALLS ARE IN CONTACT, NAIL STUDS TOGETHER PER 3/506. SEE 1/506 FOR SPECIAL STUD REQUIREMENTS AT SHEAR WALL TYPES PI-3, PI-2, P2-4, P2-3, AND P2-2.
- HEADERS SHALL BE 4x10, U.O.N. SEE DETAIL 18/506.
- BUILT-UP STUD GROUPS IN WALLS SUPPORTING BEAMS, POSTS OR GIRDER TRUSSES ABOVE SHALL BE (2) STUDS, U.O.N. SEE GENERAL STRUCTURAL NOTES FOR FASTENING REQUIREMENTS.

WFA Architecture
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Kevin Schaefer
Professional Engineer
No. 10000
State of Washington
Exp. 12/31/2024

Revision Schedule

#	DESCRIPTION	DATE
1	PERMIT	07/13/2018

THIRD FLOOR
FRAMING PLAN

Seaside at Kingston
Kingston, Washington
Seaside Kingston, LLC

Element
RESIDENTIAL INC.

JOB NO.: 17-359-01

PLOT DATE: 07/13/2018

DATE: 07/13/2018

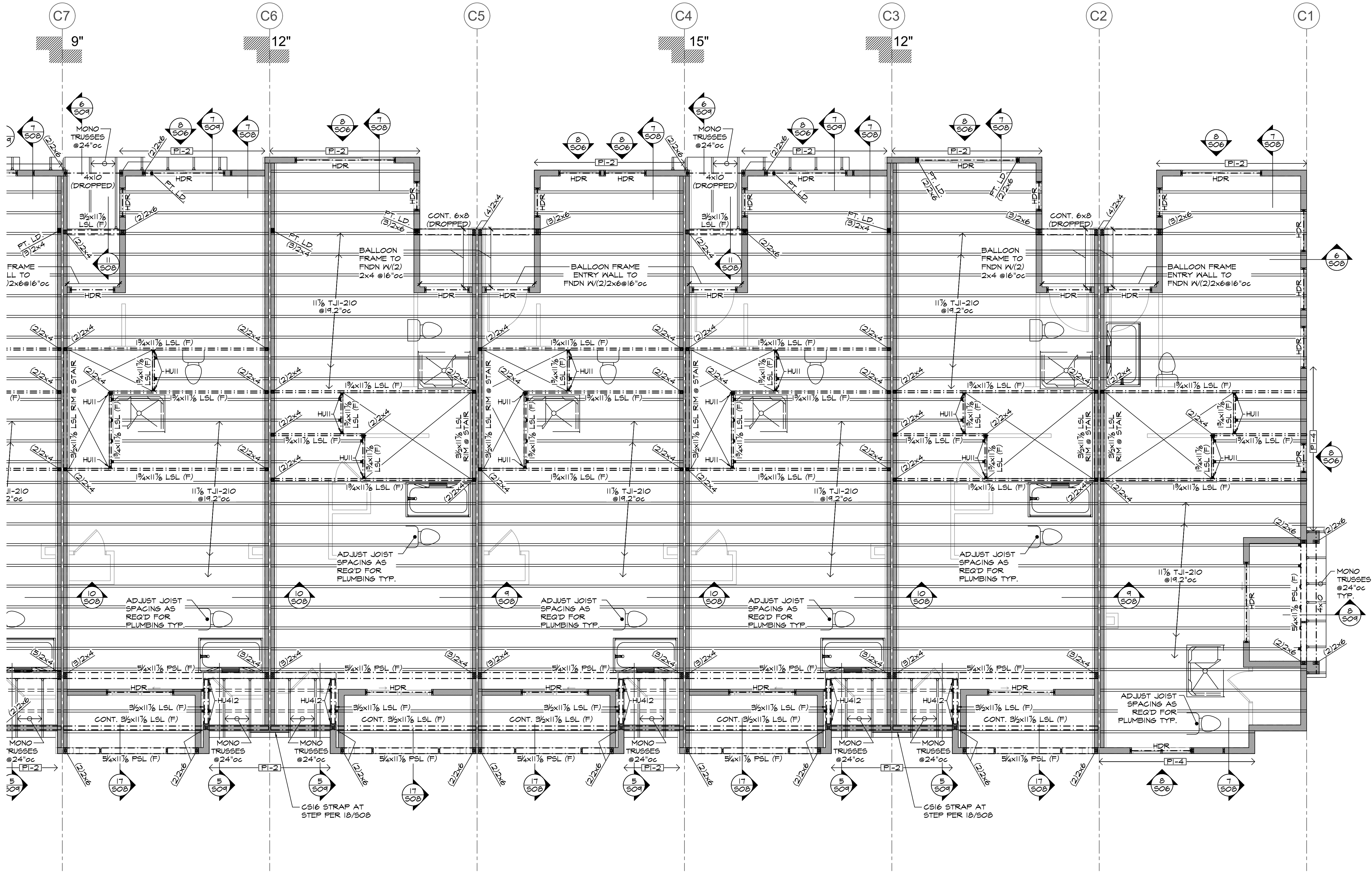
SCALE:

DRAWN: BDS

CHKD: BTL

BLDG: SHEET NO.: C S04a

Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/2020 2:40:03 PM kwiodarchak



LEGEND

- XX
6X X
DETAIL CALL-OUT
- PI-X
SHEAR WALL BELOW PER SCHEDULE OF 1/506
- BEARING OR SHEAR WALL BELOW
- BEARING OR SHEAR WALL ABOVE
- POST BELOW
- HDR
HEADER PER PLAN NOTE 4
- PT. LD.
SOLID BLOCKING THRU FLOOR FOR LOAD ABOVE

SECOND WALL/THIRD FLOOR FRAMING PLAN NOTES:

- FLOOR SHEATHING SHALL BE 3/4" THICK T&G (PANEL SPAN RATINGS 48/24). FASTEN SHEATHING TO FRAMING WITH 0.131" x 2 1/2" NAILS @ 6" oc, EDGES AND @ 10" oc FIELD. DIAPHRAGM NAILING AS INDICATED ON THE DRAWINGS SHALL BE 0.131" x 3 1/2" NAILS @ 6" oc. SEE DRAWINGS FOR OTHER SHEATHING NAILING REQUIREMENTS. GLUE SHEATHING TO ALL FRAMING MEMBERS AND BLOCKING BELOW WITH ADHESIVE CONFORMING TO A.P.A. SPECIFICATION AF6-01.
 - FLOOR JOISTS SHALL BE SIZE AND SPACING SHOWN ON PLAN. JOIST LAYOUT SHOWN IS VISUAL REPRESENTATION AND SHALL BE ADJUSTED FOR PENETRATIONS AS REQUIRED.
 - EXTERIOR WALLS SHALL BE SHEAR WALL TYPE PI-6 WITH 2x6 STUDS @ 16" oc, U.O.N. INTERIOR WALLS SHALL BE 2x4 STUDS @ 16" oc, U.O.N.
- DEWISING WALLS SHALL BE (2) WALLS WITH AIR SPACE PER ARCH'L. EACH WALL SHALL BE 2x4 STUDS @ 16" oc, U.O.N. EACH WALL SHALL BE SHEATHED WITH 2 LAYERS OF 5/8" IN. ACCORDANCE WITH ARCHITECTURAL DRAWINGS. BASE FLY SHALL BE FASTENED WITH 0.042" x 17/8" COOLER NAILS WITH 1/4" HEAD (6d) SPACED AT 9" oc EACH FRAMING MEMBER. FACE FLY SHALL BE FASTENED WITH 0.113" x 23/8" COOLER NAILS WITH 0.281" HEAD (6d) SPACED AT 7" oc EACH FRAMING MEMBER. ALL PANEL EDGES NOT SUPPORTED BY FRAMING MEMBERS TO BE BLOCKED.
- WHERE ADJACENT SHEAR WALLS ARE IN CONTACT, NAIL STUDS TOGETHER PER 3/506. SEE 1/506 FOR SPECIAL STUD REQUIREMENTS AT SHEAR WALL TYPES PI-3, PI-2, P2-4, P2-5, AND P2-2.
- HEADERS SHALL BE 4X10, U.O.N. SEE DETAIL 18/506.
 - BUILT-UP STUD GROUPS IN WALLS SUPPORTING BEAMS, POSTS OR GIRDER TRUSSES ABOVE SHALL BE (2) STUDS, U.O.N. SEE GENERAL STRUCTURAL NOTES FOR FASTENING REQUIREMENTS.



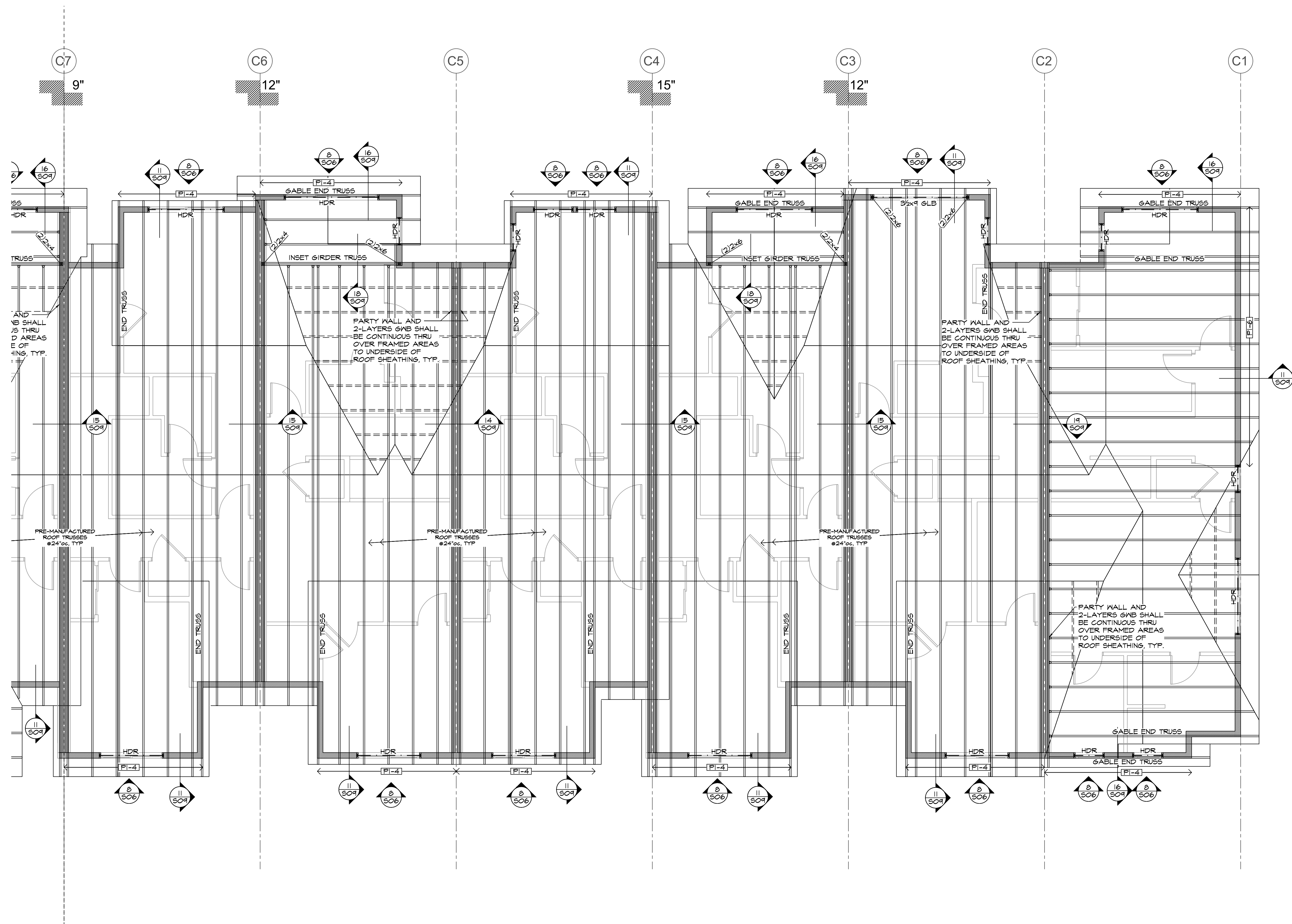
THIRD FLOOR
FRAMING PLAN

Seaside at Kingston
Kingston, Washington
Seaside Kingston, LLC

Element
RESIDENTIAL, INC.

JOB NO.: 17-359-01
PLOT DATE: 07/13/2018
DATE: 07/13/2018
SCALE:
DRAWN: BDS
CHKD: BTL

BLDG: SHEET NO.:
C S04b



Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
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LEGEND



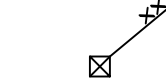
DETAIL CALL-OUT



SHEAR WALL BELOW PER SCHEDULE OF 1/506



BEARING OR SHEAR WALL BELOW



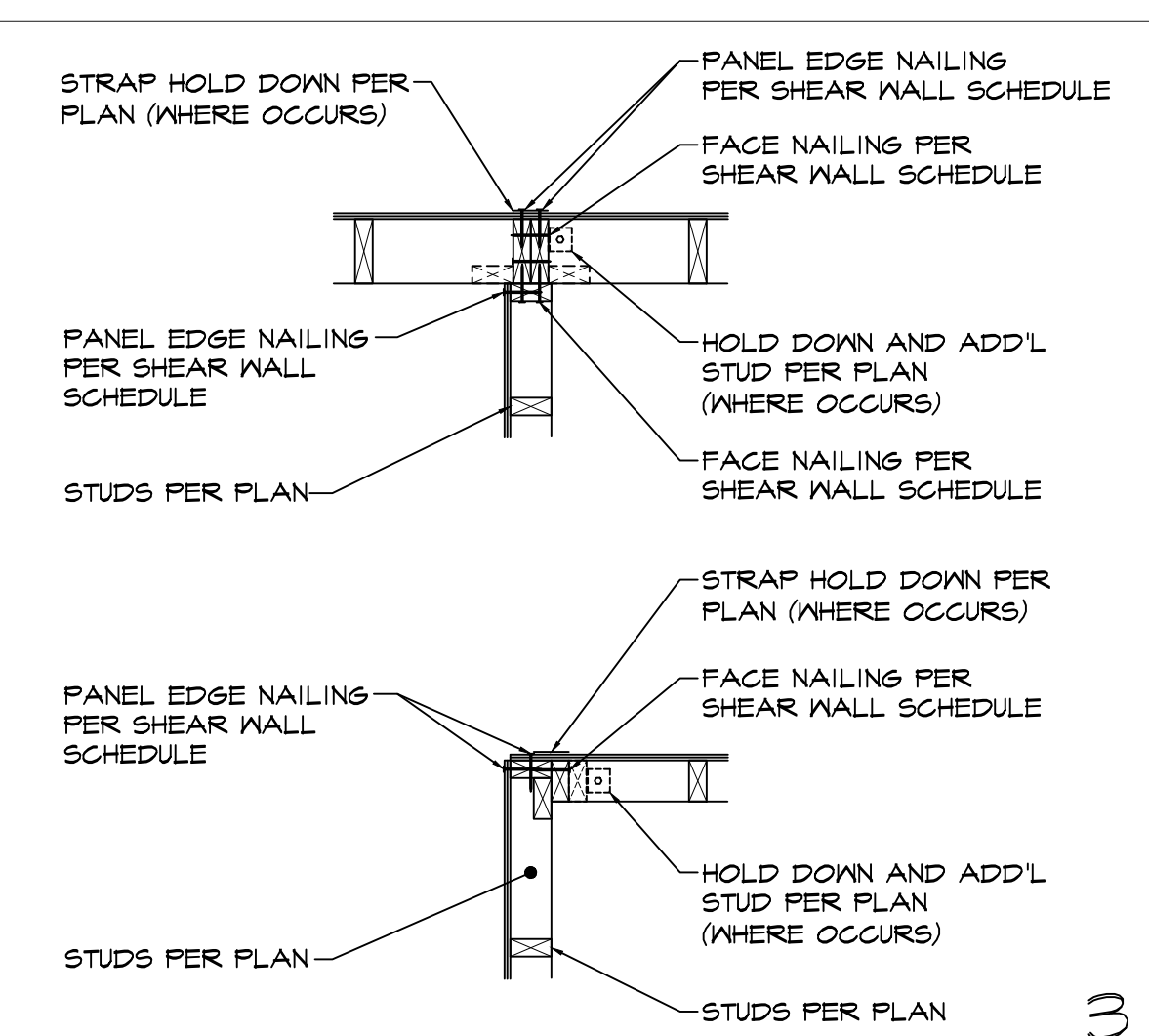
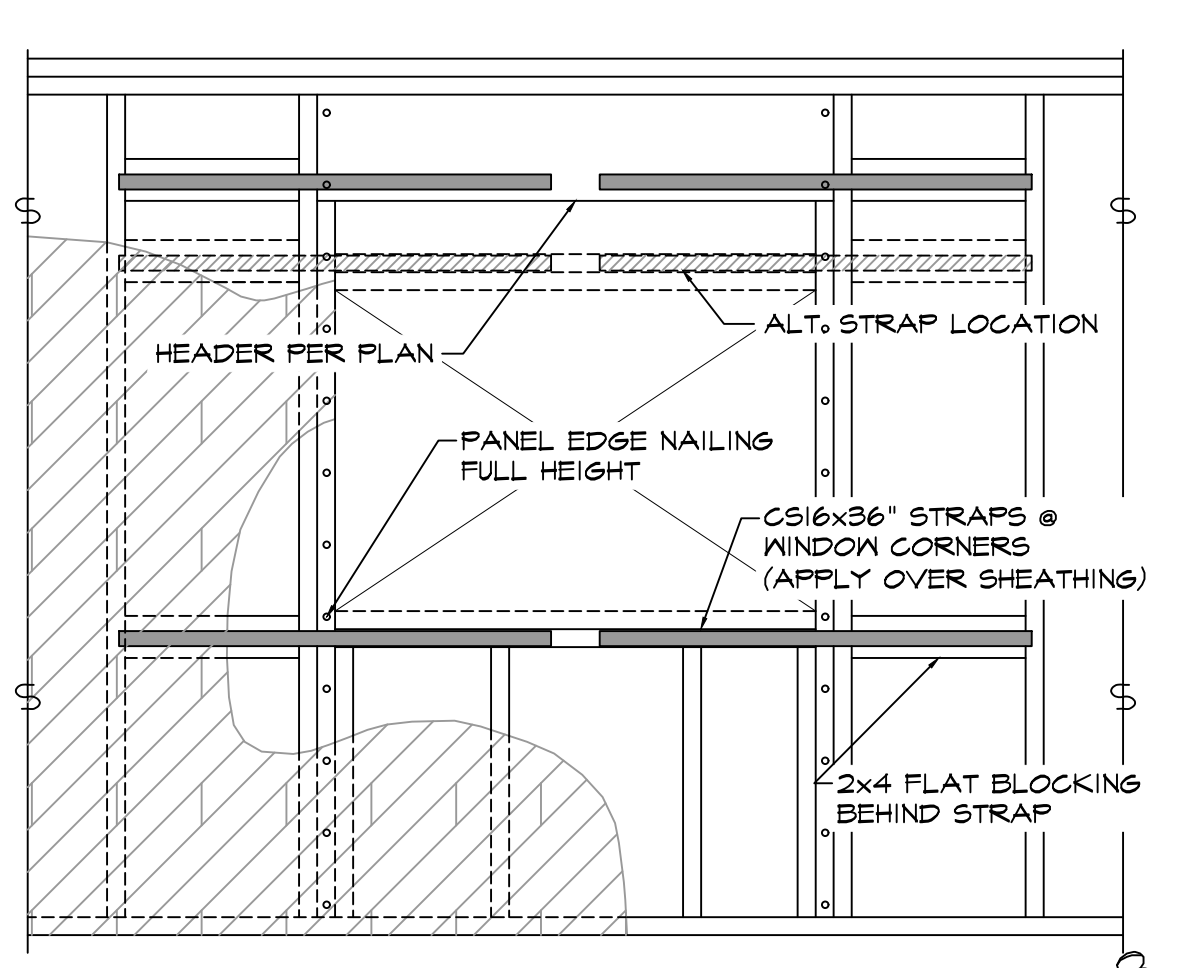
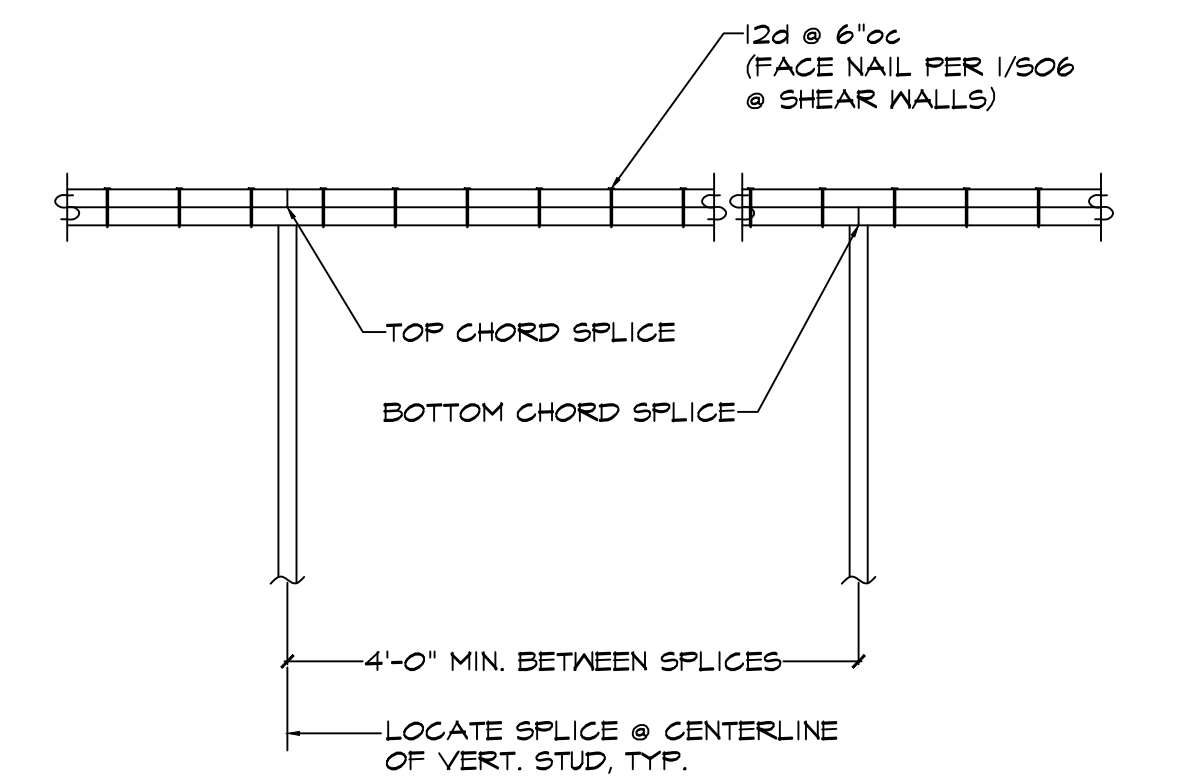
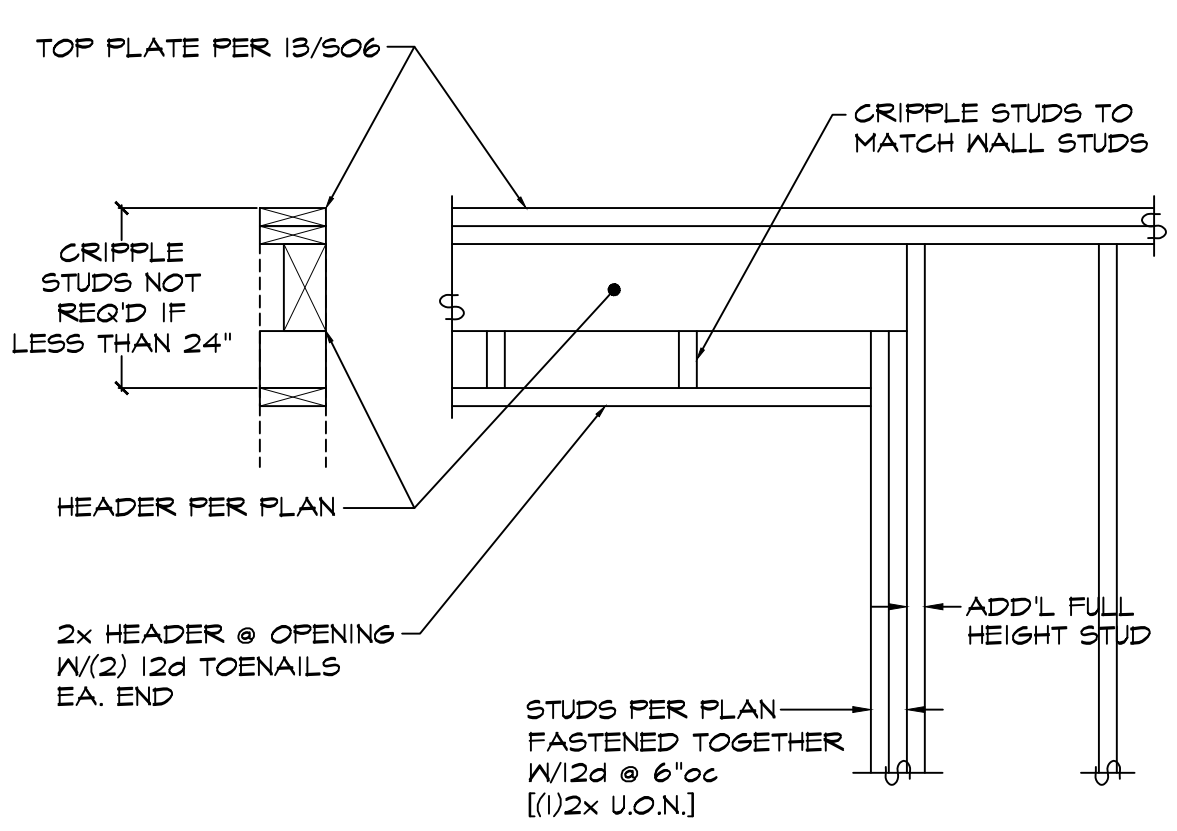
POST BELOW



HEADER PER PLAN NOTE 7

THIRD WALL/ROOF FRAMING PLAN NOTES:

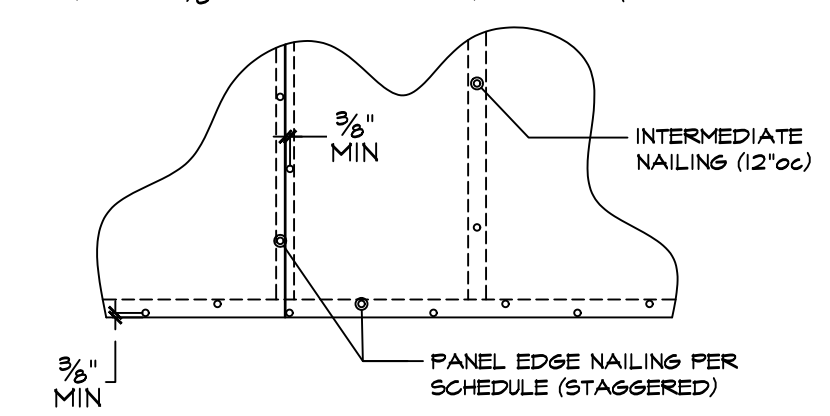
- | | | | |
|----|---|----|---|
| 1. | ROOF SHEATHING SHALL BE 1/2" THICK CDX (PANEL SPAN RATING 24/16). SHEATHING SHALL BE FIRE-RATED WHERE REQUIRED BY ARCH'L. FASTEN SHEATHING TO FRAMING WITH 0.131"x2x2 1/2" NAILS @ 6"oc, EDGES, AND @ 12"oc, FIELD. DIAPHRAGM NAILING AS INDICATED ON THE FRAMING PLAN. SEE 0.191"x2 1/2" NAILS @ 6"oc, AT UNFRAMED PANEL EDGES PROVIDED PSC-A PANEL FRAMING CLIPS CENTERED BETWEEN EACH FRAMING MEMBER. SEE DRAWINGS FOR OTHER SHEATHING NAILING REQUIREMENTS. | 6. | EXTERIOR WALLS SHALL BE SHEAR WALL TYPE PI-6 WITH 2x6 STUDS @ 16"oc, U.O.N. INTERIOR WALLS SHALL BE 2x4 STUDS @ 16"oc, U.O.N. |
| 2. | ROOF FRAMING SHALL BE CONNECTOR-PLATE TRUSSES @ 24"oc. REFER TO GENERAL STRUCTURAL NOTES. | | DEMISING WALLS SHALL BE (2) WALLS WITH AIR SPACE PER ARCH'L. EACH WALL SHALL BE 2 STUDS @ 16"oc, U.O.N. EACH WALL SHALL BE SHEATHED WITH 2 LAYERS OF 5/8"X12" IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS. BASE PLY SHALL BE FASTENED WITH 0.042"X1 3/8" COOLER NAILS WITH 4" HEAD (6g) SPACED AT 19"oc EACH FRAMING MEMBER. FACE PLY SHALL BE FASTENED WITH 0.131" X 2 1/2" COOLER NAILS WITH 0.201" HEAD (8d) SPACED AT 17"oc, EACH FRAMING MEMBER. ALL PANEL EDGES NOT SUPPORTED BY FRAMING MEMBERS TO BE BLOCKED. |
| 3. | TRUSSES MARKED STRUT SHALL BE DESIGNED TO ACCOMMODATE THE LOADS AND CONNECTIONS INDICATED. | | WHERE ADJACENT SHEAR WALLS ARE IN CONTACT, NAIL STUDS TOGETHER PER 3/506. SEE 1/506 FOR SPECIAL STUD REQUIREMENTS AT SHEAR WALL TYPES PI-3, PI-2, P2-4, P2-6, P2-8 AND P2-2. |
| 4. | OVERFRAMING MEMBERS SHALL BE 2x6 @ 24"oc OR PER TRUSS MFR. POST DOWN TO MAIN FRAMING BELOW N 2x4 48"oc. | 7. | HEADERS SHALL BE 4x10 U.O.N. SEE DETAIL 18/506. |
| 5. | PROVIDE SOLID FLAT BLOCKING AT ALL VALLEYS. FASTEN SHEATHING TO BLOCKING IN ACCORDANCE WITH NOTE 1. | 8. | BUILT-UP STUD GROUPS IN WALLS SUPPORTING BEAMS, POSTS OR GIRDER TRUSSES ABOVE |



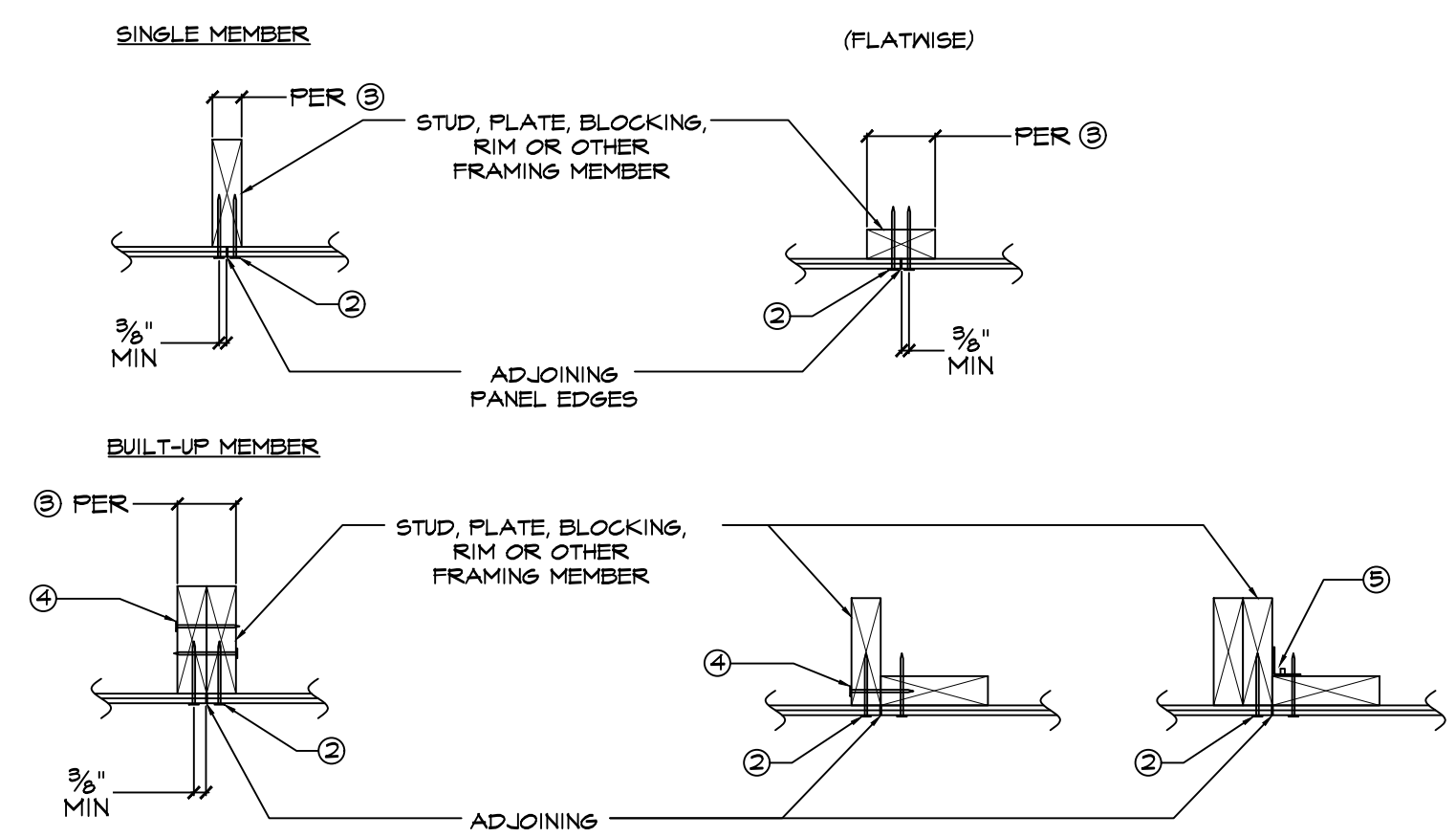
WALL TYPE	① SHEATHING	② PANEL EDGE NAILING	③ MINIMUM WIDTH OF NAILED FACE OF FRAMING @ ADJOINING PANEL EDGES		MDSILL PLATE	④ FACE NAILING	⑤ FRAMING CLIPS	⑥ ANCHORAGE TO CONCRETE		SEISMIC CAPACITY h/b = 2 h/b = 3.5	WIND CAPACITY h/b = 2 h/b = 3.5
			SINGLE MEMBER	BUILT-UP MEMBER				ANCHOR BOLTS	MDSILL ANCHORS		
PI-6	I SIDE	6"oc	2x	2x	2x	6"oc	A35 @ 30"oc or LTF5 @ 26"oc	¾"ø @ 60"oc	MASAP @ 52"oc	240-plf 194-plf	240-plf 194-plf
PI-4	I SIDE	4"oc	2x	2x	2x	4"oc	A35 @ 20"oc or LTF5 @ 18"oc	¾"ø @ 46"oc	MASAP @ 36"oc	350-plf 284-plf	350-plf 284-plf
PI-3	I SIDE	3"oc	3x	(2)2X	2X	3"oc	A35 @ 16"oc or LTF5 @ 14"oc	¾"ø @ 36"oc	MASAP @ 28"oc	450-plf 366-plf	450-plf 366-plf
PI-2	I SIDE	2"oc	3x	(2)2x	2x	2"oc	A35 @ 8½"oc or LTF5 @ 7½"oc	¾"ø @ 20"oc	MASAP @ 19"oc	590-plf 478-plf	820-plf 699-plf
P2-4	EA. SIDE	4"oc	3x	(2)2x	3x	(2) ROWS, 4"oc	A35 @ 18"oc and LTF5 @ 18"oc	¾"ø @ 28"oc	MASAP @ 15"oc	700-plf 568-plf	700-plf 568-plf
P2-3	EA. SIDE	3"oc	3x	(2)2x	3x	(2) ROWS, 3"oc	A35 @ 15"oc and LTF5 @ 15"oc	¾"ø @ 22"oc	MASAP @ 11"oc	900-plf 733-plf	900-plf 733-plf
P2-2	EA. SIDE	2"oc	3x	(2)2x	3x	(2) ROWS, 2"oc	A35 @ 8"oc and LTF5 @ 8"oc	¾"ø @ 12"oc	MASAP @ 7½"oc	1180-plf 957-plf	1640-plf 1338-plf

SHEAR WALL SCHEDULE NOTES

- ① $\frac{1}{8}$ " OSB or $\frac{1}{8}$ " PLYWOOD SHEATHING OR SIDING EXCEPT GROUP 5 SPECIES. MINIMUM PANEL SPAN RATING OF (24/0). PANELS SHALL NOT BE LESS THAN 4'x8', EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING. ALL EDGES OF ALL PANELS SHALL BE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING. (SECTION 4.3.7.1.1)
- ② PANEL EDGE NAILING APPLIES TO ALL SHEATHING PANEL EDGES. NAIL SHEATHING TO INTERMEDIATE FRAMING MEMBERS WITH SHEATHING NAILS @ 12" OC. MAXIMUM STUD SPACING SHALL BE 16" OC. SHEATHING NAILS SHALL BE 0.131" @ x 2". PLYWOOD EDGE NAILING SHALL BE STAGGERED. NAILS SHALL BE LOCATED AT LEAST $\frac{3}{4}$ " FROM THE PANEL EDGES. (SECTION 4.3.7.1.2, & SECTION 4.3.7.1.3)

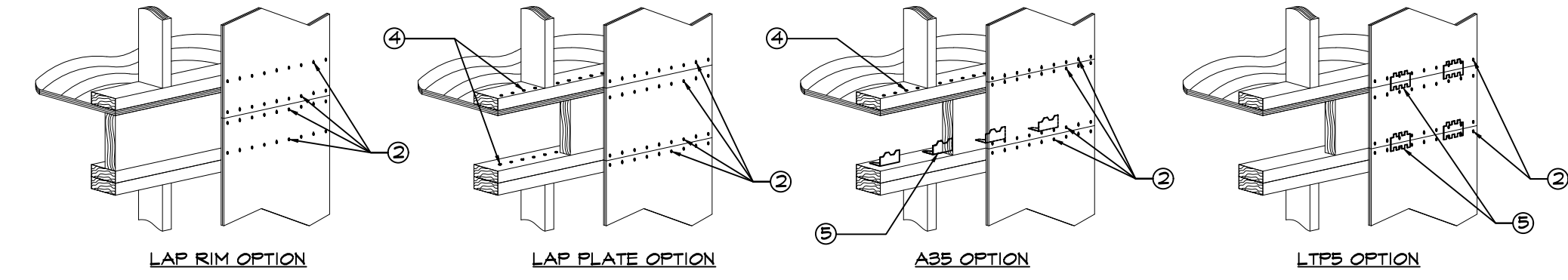


③ THE MINIMUM NOMINAL WIDTH OF THE NAILED FACE OF FRAMING AND BLOCKING AT ADJOINING PANEL EDGES SHALL BE AS INDICATED IN THE SCHEDULE. (SECTION 4.3.7.1.4)

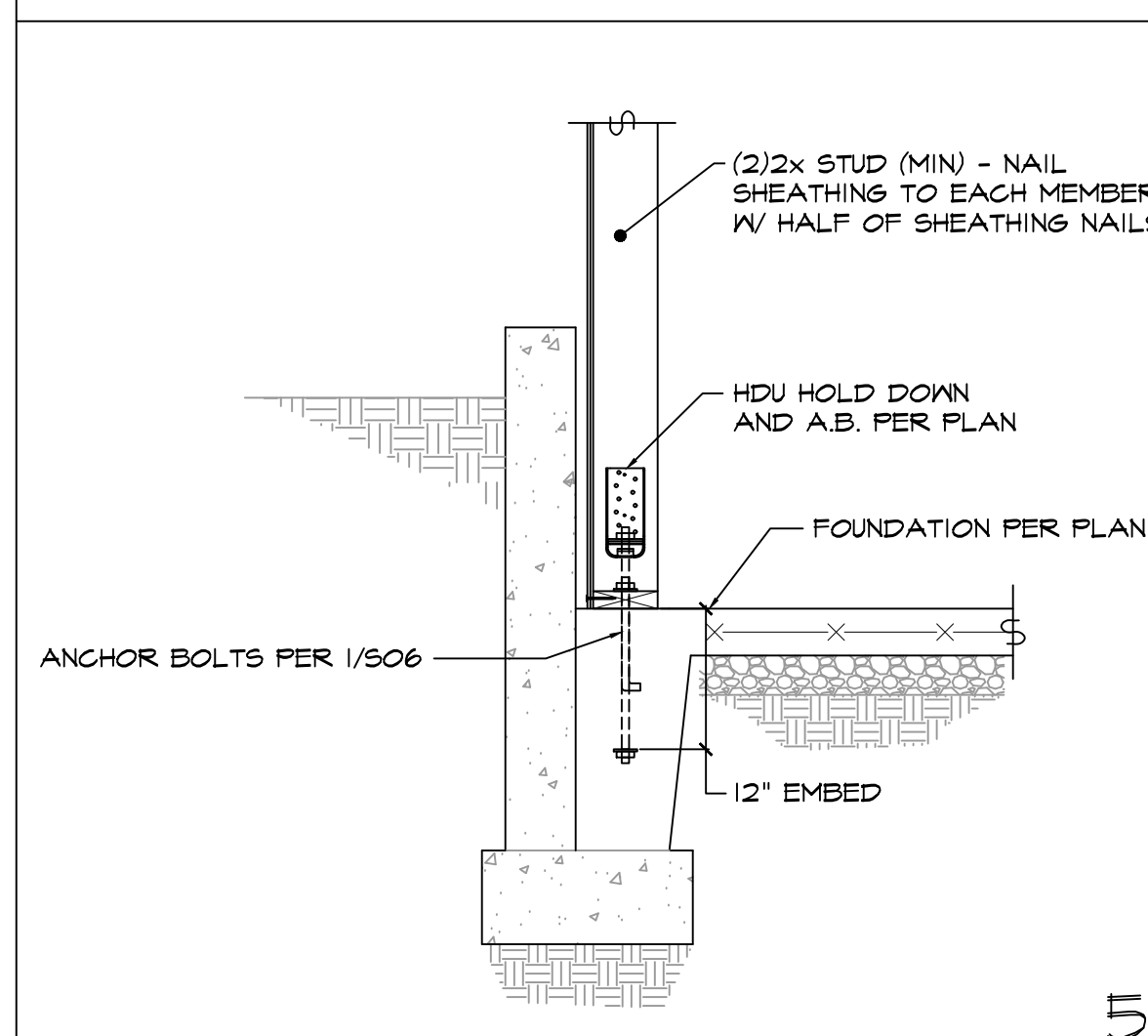
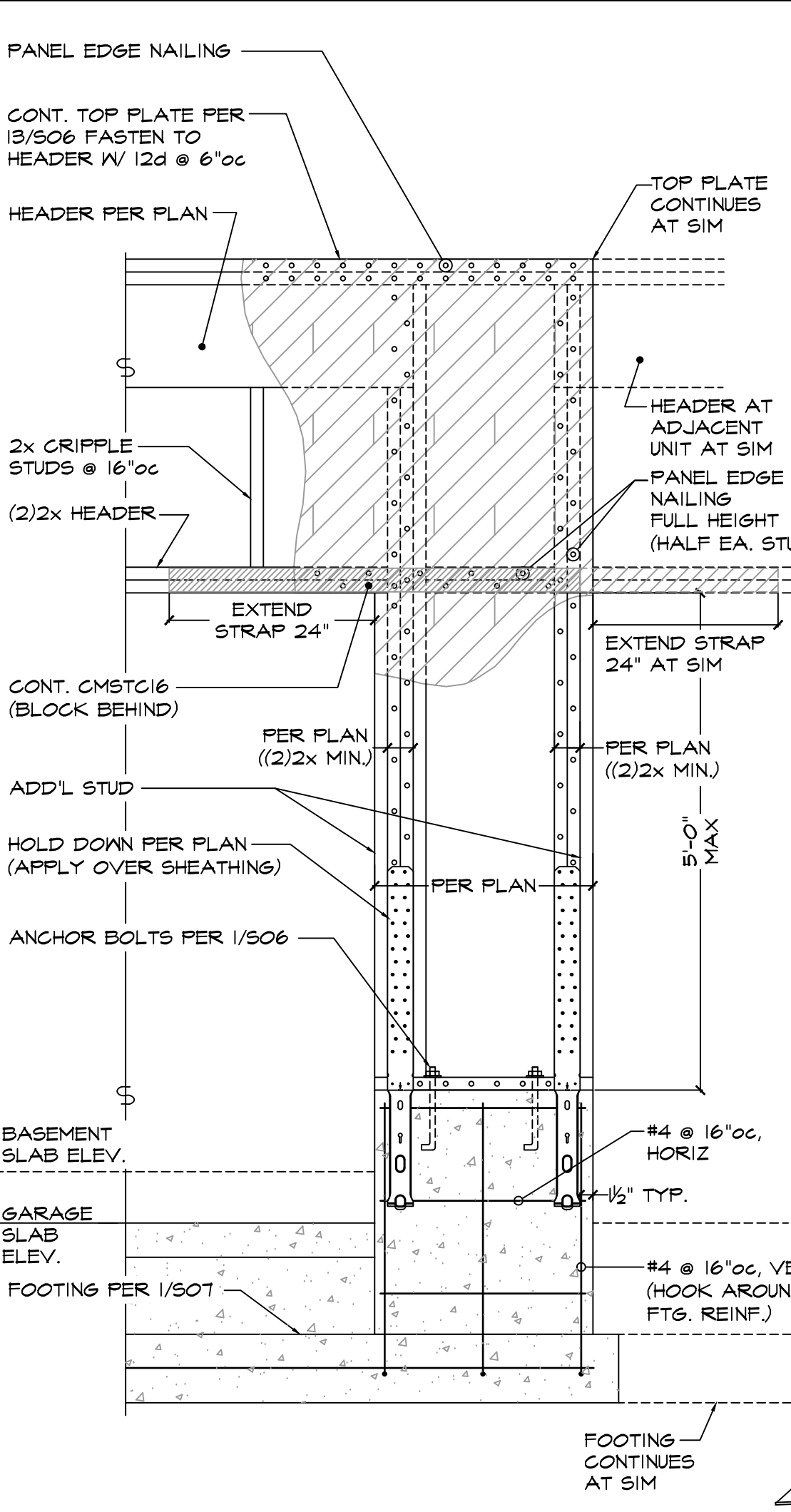
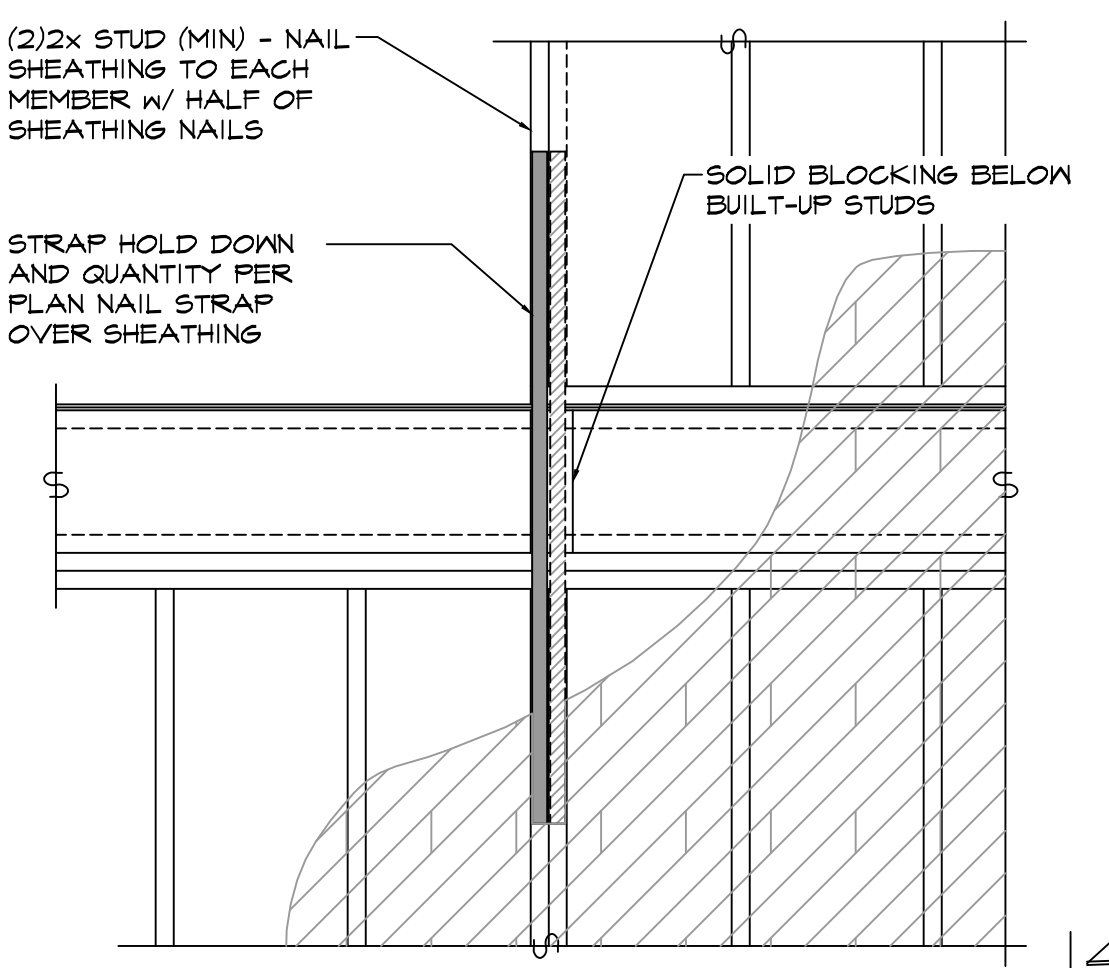
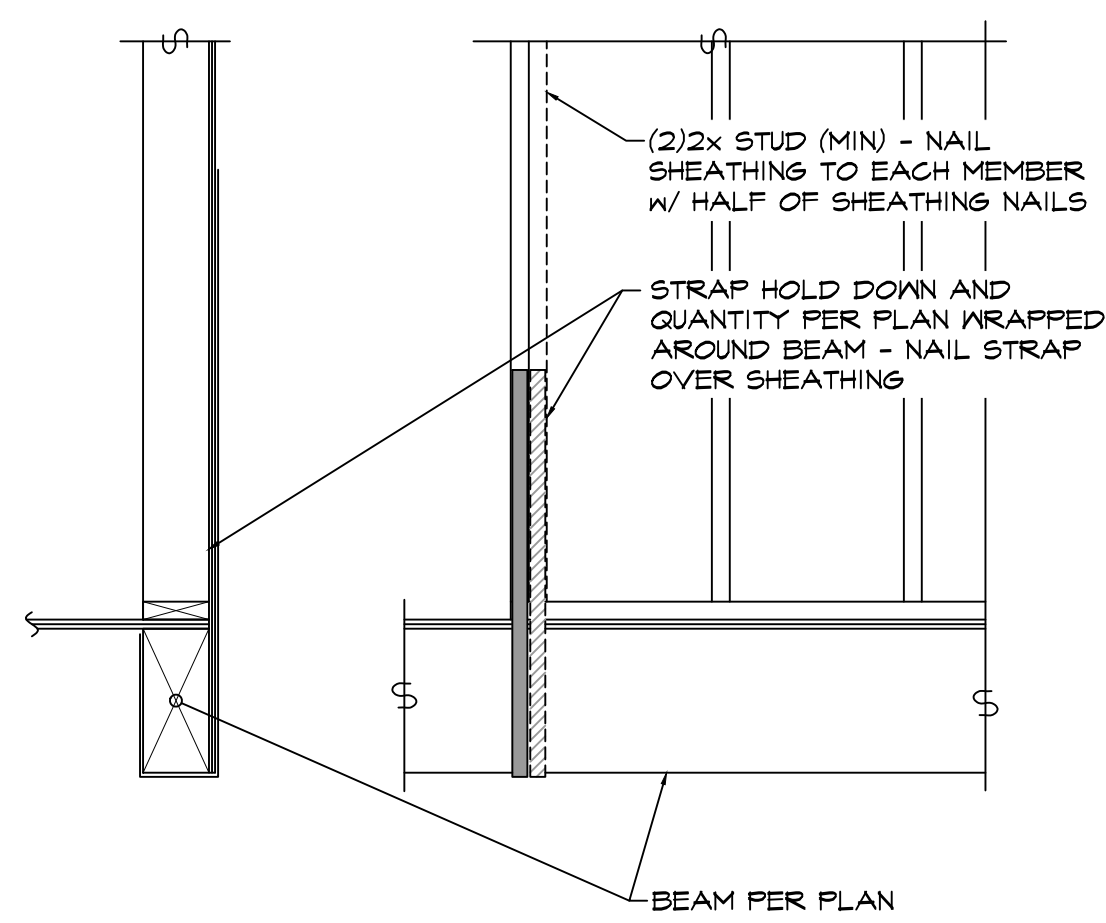
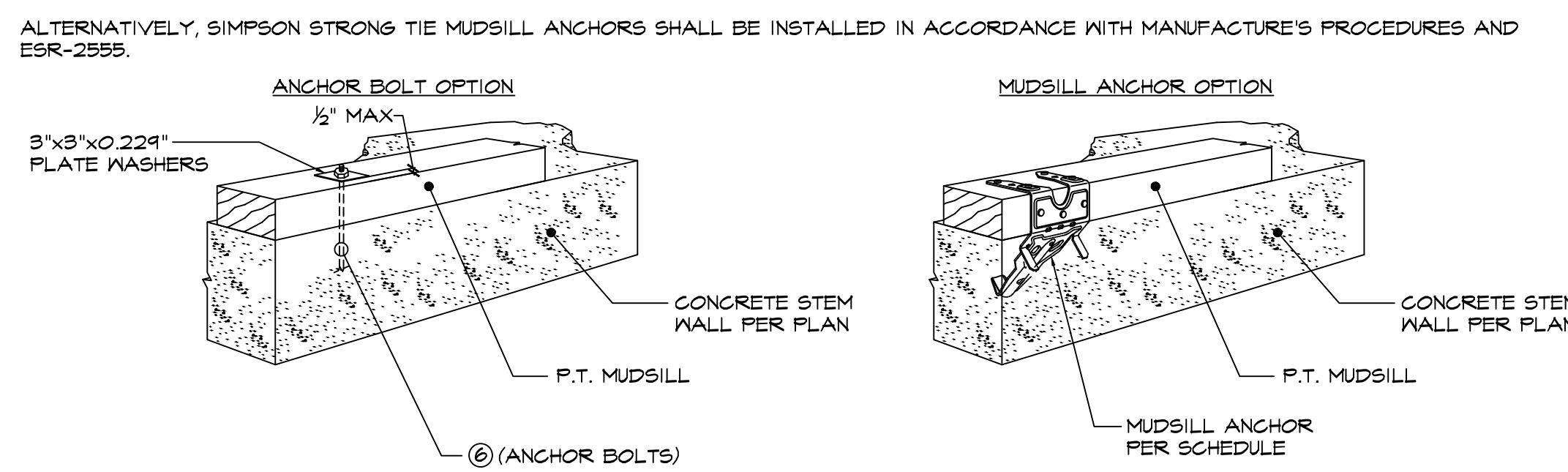


④ FACE NAILING APPLIES TO CONDITIONS WHERE FRAMING NAILS CAN BE STRAIGHT DRIVEN THRU FIRST MEMBER AND PENETRATE MAIN MEMBER MINIMUM OF $\frac{1}{2}$ ". FRAMING NAILS SHALL BE 0.131"Ø x 3 $\frac{1}{4}$ ". 0.131"Øx3" NAILS MAY BE USED WHEN STITCHING TOGETHER (2)2x MEMBERS WITH NO SPACERS.

⑤ AT ADJOINING PANEL EDGES WHERE SHEATHING CANNOT LAP ON SINGLE MEMBER AND FACE NAILING CANNOT BE ACCOMPLISHED, FRAMING CLIPS SHALL BE USED TO FASTEN BUILT-UP MEMBERS.

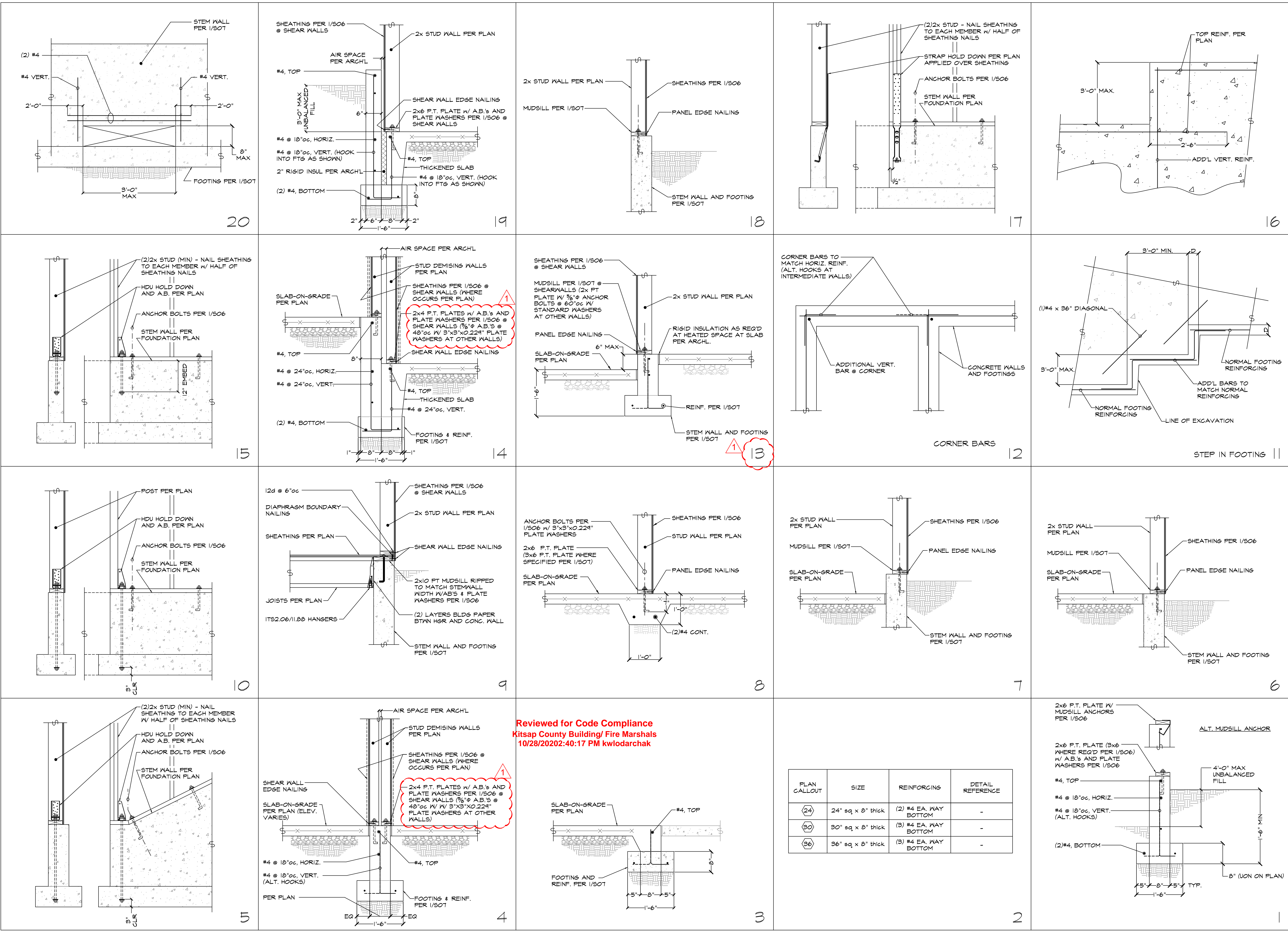


⑥ ANCHOR BOLTS EMBEDMENT SHALL BE 7" U.O.N. ALL ANCHORS SHALL HAVE 3" x 3" x 0.224" PLATE WASHERS. PLATE WASHER SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SPLITTING. IF SPLITTING IS ON BOTH SIDES OF THE WALL, STAGGER THE ANCHOR BOLTS, AS REQUIRED, SO THAT HALF OF THE PLATE WASHERS ARE WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON EACH SIDE. HOLE IN PLATE WASHERS MAY BE DIAGONALLY SLOTTED. (SECTION 4.3.6.4.3)



Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
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\\BTL-SERVER\Projects\Seaside Kingston Townhomes\CAD\BLOG\DETAILS.dwg, S07, 10/23/2018 9:42:17 AM, 11



Reviewed for Code Compliance
Kitsap County Building/ Fire Marshals
10/28/2020:20:17 PM kwlodarchak

PLAN CALLOUT	SIZE	REINFORCING	DETAIL REFERENCE
(24)	24" sq x 8" thick	(2) #4 EA. WAY BOTTOM	-
(30)	30" sq x 8" thick	(3) #4 EA. WAY BOTTOM	-
(36)	36" sq x 8" thick	(3) #4 EA. WAY BOTTOM	-

WATTENBARBER ARCHITECTURE
11000 NE 33rd PLACE
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Professional Engineer
BTL Engineering P.S.
10000 NE 33rd Place
Suite #102
Bellevue, WA 98004
10/23/2018

Revision Schedule

#	DESCRIPTION	DATE
1	PERMIT	07/13/2018
2	REVISION	10/23/2018

DETAILS

Seaside at Kingston
Kingston, Washington
Seaside Kingston, LLC

Element
RESIDENTIAL INC.

JOB NO.: 17-359-01

PLOT DATE: 07/13/2018

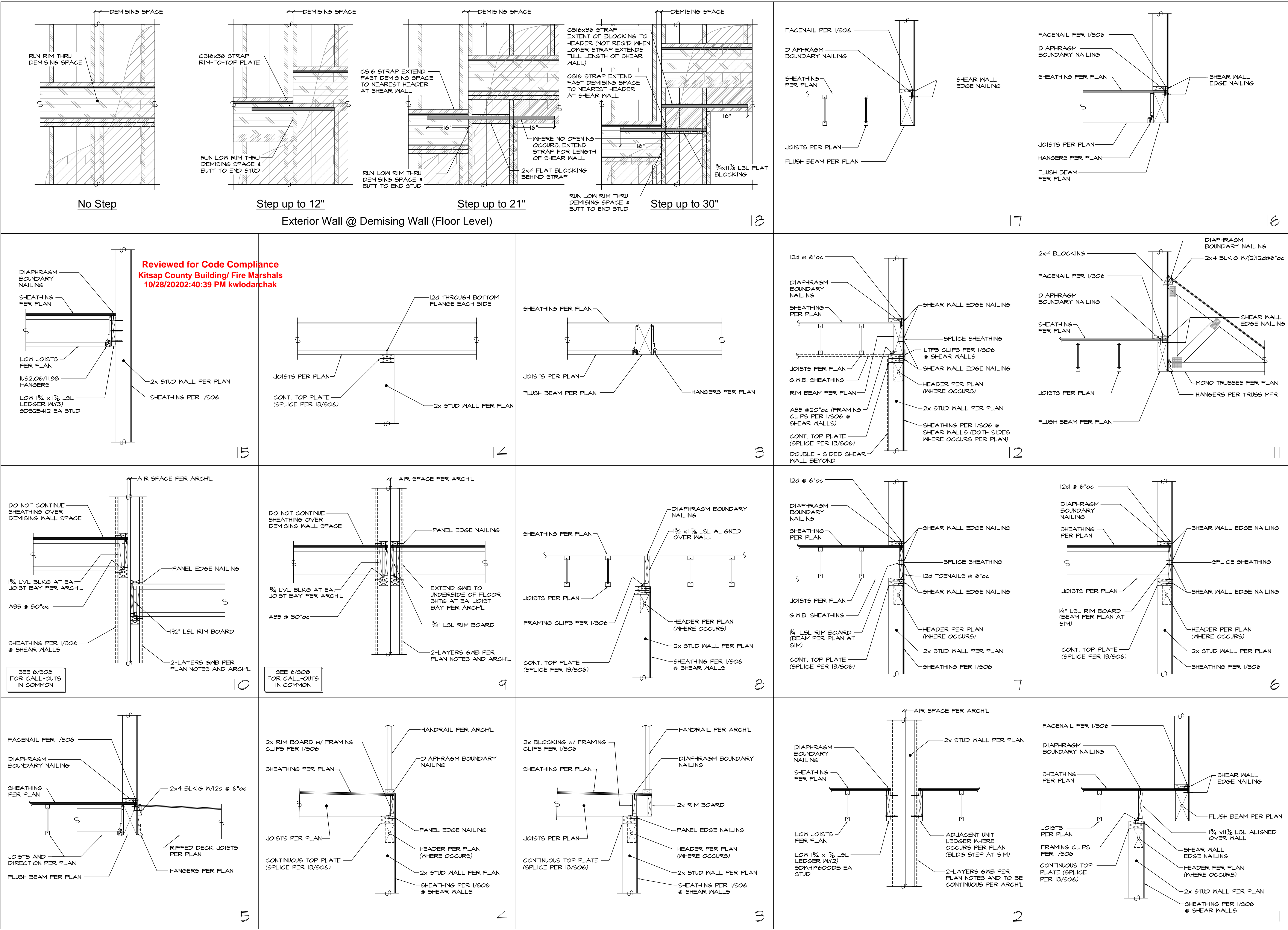
DATE: 07/13/2018

SCALE:

DRAWN: BDS

CHKD: BTL

BLDG: SHEET NO.: C S07



WFA Architecture
WATTENBARGER
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Bellevue, WA 98004
Phone: 425-453-0606 Fax: 425-453-0607

Revision Schedule		
#	DESCRIPTION	DATE
1	PERMIT	07/13/2018

DETAILS

Seaside at Kingston
Kingston, Washington
Seaside Kingston, LLC

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RESIDENTIAL INC.

JOB NO.:	17-359-01
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BLDG.:	
SHEET NO.:	C S08

