



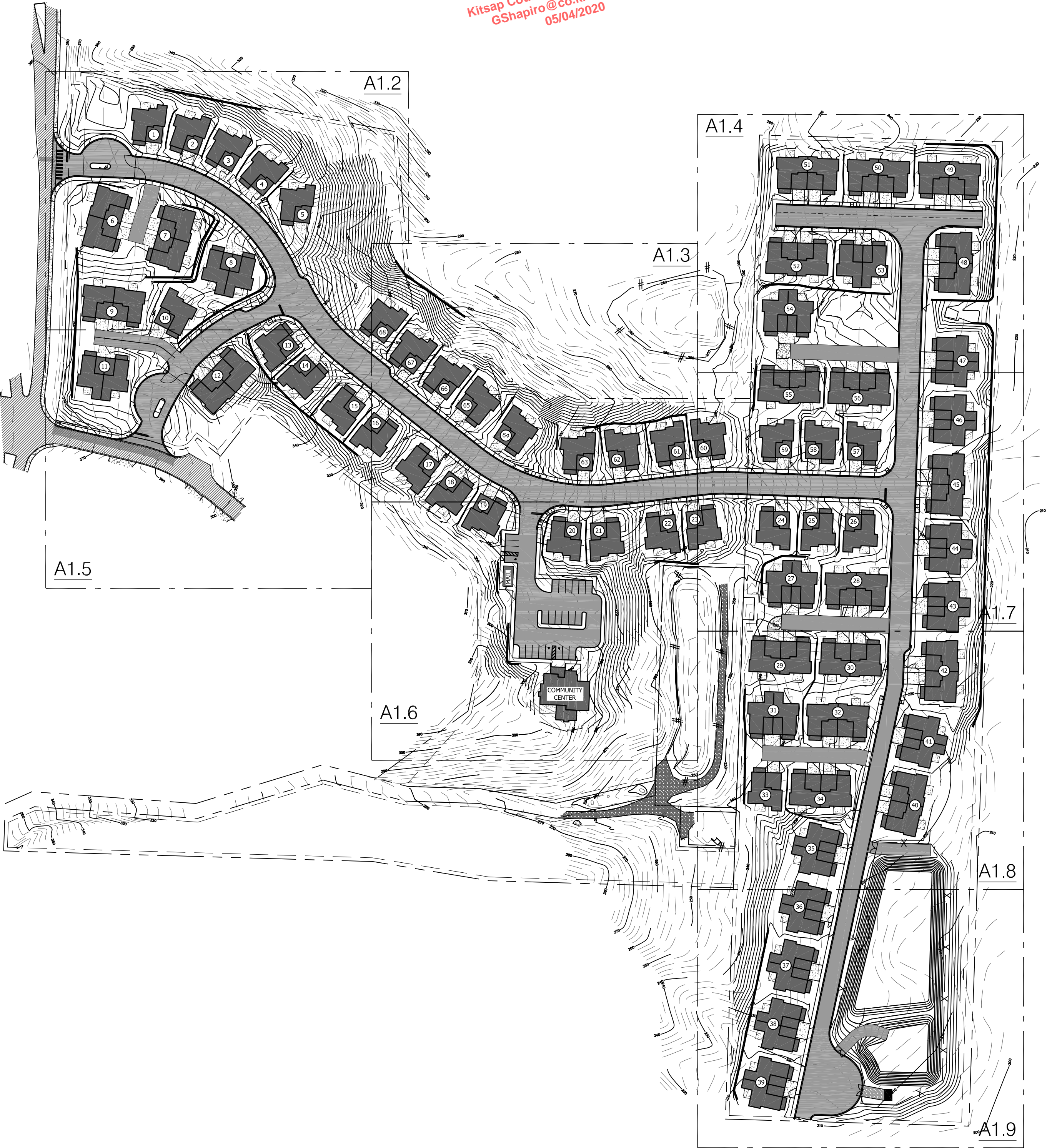


BUILDING TYPE SCHEDULE

BUILDING NUMBER	BUILDING TYPE	MIRRORED (FLOOR PLAN FLIPPED BLDG X)	ALTERNATE (TERRACED UNITS BLDG Y)
1	X	NO	
2	X	NO	
3	X	NO	
4	X	NO	
5	X	NO	
6	Y		
7	Y		
8	Z		
9	Y		
10	X	YES	
11	Z		
12	Y		A
13	X	YES	
14	X	NO	
15	X	YES	
16	X	NO	
17	X	YES	
18	X	NO	
19	X	NO	
20	X	YES	
21	X	NO	
22	X	YES	
23	X	NO	
24	X	YES	
25	X	NO	
26	X	NO	
27	Z		
28	Y		B
29	Y		A
30	Y		A
31	Z		
32	Y		B
33	X	YES	
34	Y		A
35	Z		
36	Z		
37	Z		
38	Z		
39	Z		
40	Y		
41	Z		
42	Y		
43	Z		
44	Z		
45	Y		
46	Z		
47	Z		
48	Y		
49	Y		
50	Y		B
51	Y		B
52	Y		A
53	Z		
54	Z		
55	Y		
56	Y		
57	X	YES	
58	X	YES	
59	X	NO	
60	X	YES	
61	X	NO	
62	X	YES	
63	X	NO	
64	X	YES	
65	X	YES	
66	X	NO	
67	X	NO	
68	X	NO	
COM. CENTER			
MAILBOX KIOSK			

BUILDING USE MATRIX

BUILDING TYPE	USE
X	RESIDENTIAL COTTAGE (SINGLE FAMILY DWELLING) W/ TWO-CAR GARAGE
Y	DUPLEX (TWO DWELLING BUILDING) W/ TWO-CAR GARAGE EACH UNIT
Z	DUPLEX (TWO DWELLING BUILDING) W/ ONE-CAR GARAGE EACH UNIT



Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

GENERAL SITE PLAN NOTES

- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

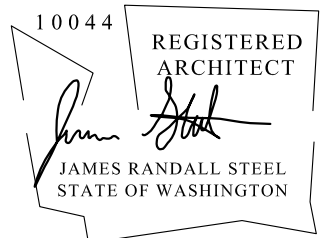
COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

SITE PLAN -  
OVERALL

SHEET NUMBER:

A1.1

BLDG. PERMIT APPLIC.

1 OVERALL SITE PLAN  
1" = 100'-0"





GENERAL SITE PLAN NOTES

1. REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
2. REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
James Steel  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

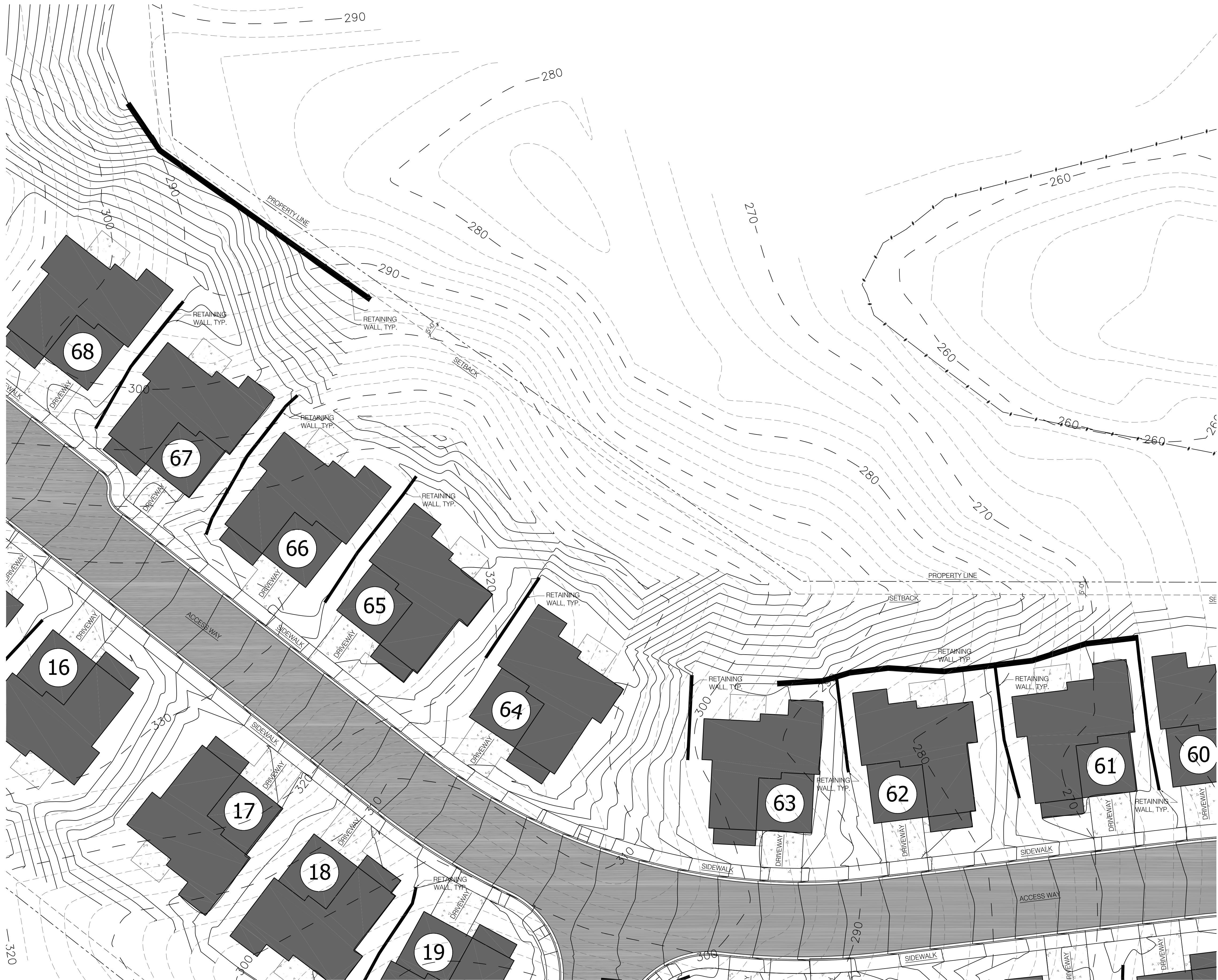
ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:  
PARTIAL SITE PLAN

SHEET NUMBER:  
**A1.2**  
BLDG. PERMIT APPLIC.





GENERAL SITE PLAN NOTES

- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

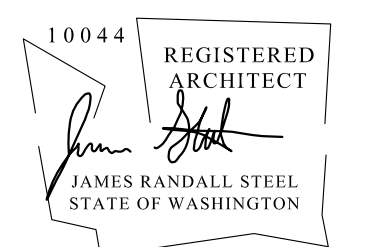
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

PARTIAL SITE PLAN

SHEET NUMBER:

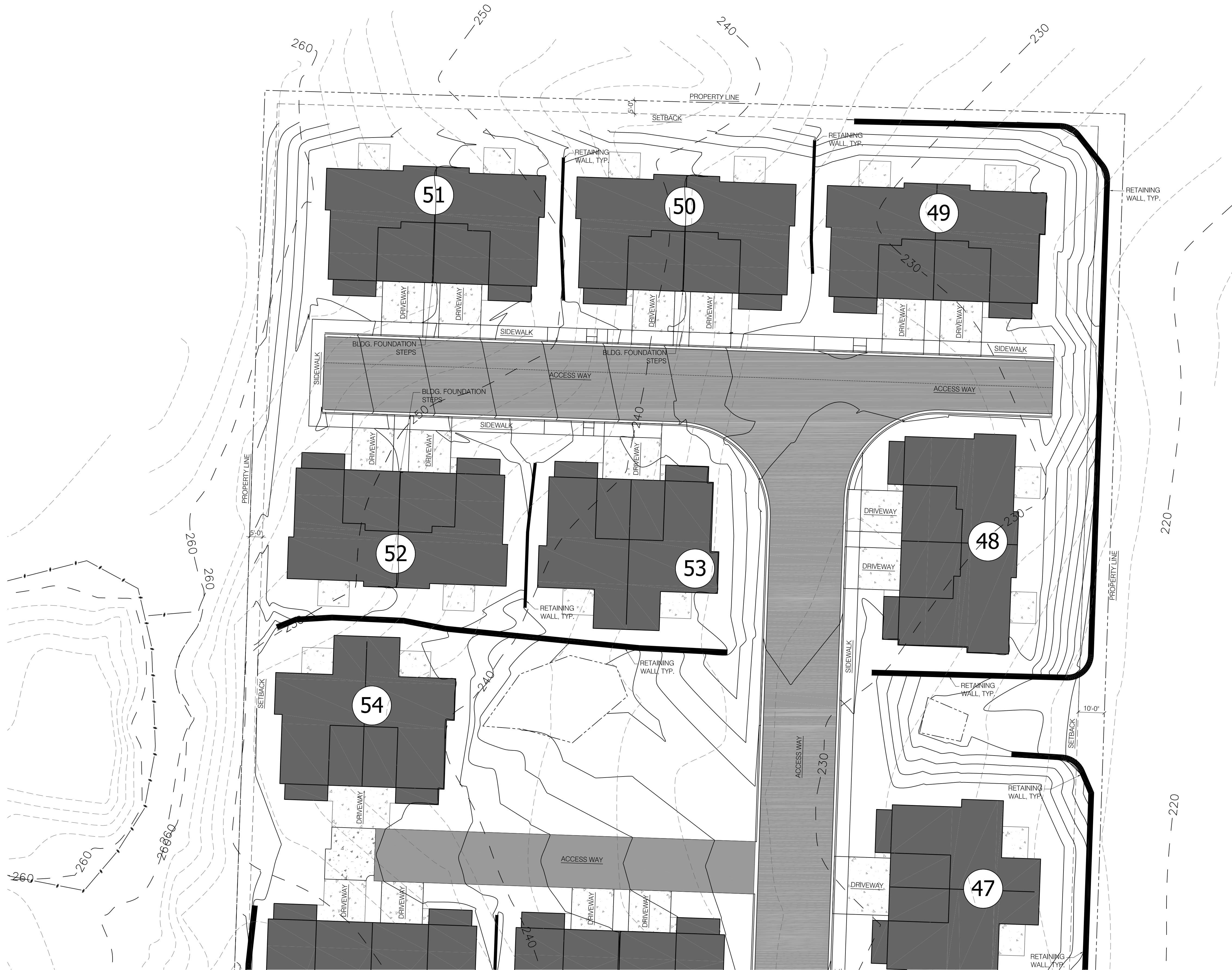
A1.3

BLDG. PERMIT APPLIC.

1 PARTIAL SITE PLAN  
1" = 20'-0"







- GENERAL SITE PLAN NOTES
- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
  - REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020  
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

STEEL ARCHITECTS  
PLLC  
  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
*James Steel*  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

PARTIAL SITE PLAN

SHEET NUMBER:

A1.4

BLDG. PERMIT APPLIC.







- GENERAL SITE PLAN NOTES
- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADIUS, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
  - REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COPYRIGHT 2018  
STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:  
PARTIAL SITE PLAN

SHEET NUMBER:

A1.5

BLDG. PERMIT APPLIC.







GENERAL SITE PLAN NOTES

1. REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
2. REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

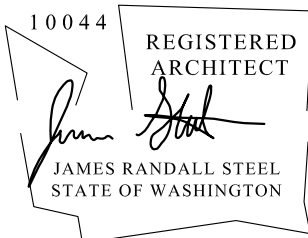
COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

PARTIAL SITE PLAN

SHEET NUMBER:

A1.6

BLDG. PERMIT APPLIC.





- GENERAL SITE PLAN NOTES
1. REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
  2. REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

COPYRIGHT 2018  
STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
James Steel  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:  
PARTIAL SITE PLAN

SHEET NUMBER:  
**A1.7**  
BLDG. PERMIT APPLIC.





GENERAL SITE PLAN NOTES

- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

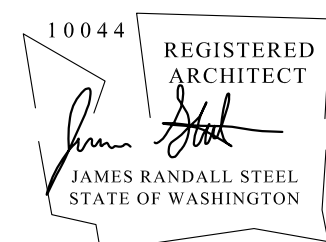
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

PARTIAL SITE PLAN

SHEET NUMBER:

A1.8

BLDG. PERMIT APPLIC.







FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED.
- WATER HEATERS IN GARAGE TO BE SUPPORTED MIN. 3" ABOVE FINISH FLOOR. BURNER & IGNITION DEVICES TO BE MIN. 18" ABOVE FINISH FLOOR. PROVIDE STRAPPING AT TOP 1/3 AND BOTTOM 1/3 (MIN. 4" ABOVE CONTROLS) OF VERT. DIMENSION.
- GFI OUTLETS ARE TO BE USED IN ALL WET AREAS.
- SMOKE DETECTORS ARE TO BE HARDWIRED WITH BATTERY BACKUP. ONE CARBON MONOXIDE DETECTOR TO BE INSTALLED IN EACH RESIDENTIAL UNIT.
- WHOLE HOUSE VENTILATION SHALL BE MET WITH ONE 50 CFM (45 CFM CODE MIN) HIGH EFFICIENCY FAN (MAX 0.35 WATTS/CFM) INSTALLED IN LAUNDRY ROOM OF EACH RESIDENTIAL UNIT PER WSEC TABLE 406.2/CREDIT 2.A AND IRC M1507.3.
- PROVIDE MIN. 50 CFM HIGH EFFICIENCY (MAX 1.4 CFM/WATT) EXHAUST FAN (E) AT ALL BATHROOMS AND LAUNDRY ROOM.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. BORATE PRESSURE TREATED WOOD SHALL BE USED IN ALL LOCATIONS WHERE PRESSURE TREATED WOOD IS NOTED AND WHERE REQ'D. ACQ PRESSURE TREATED WOOD SHALL BE USED WHERE WOOD IS IN CONTACT WITH SOIL OR OPEN TO WEATHER EXPOSURE.
- ATTIC OPENING SHALL BE MIN 30" X 22" W/ PASSAGEWAY TO FURNACE NOT MORE THAN 20' LONG. PASSAGEWAY SHALL HAVE CONT. FLOORING NOT LESS THAN 24" WIDE PER IBC CHAPTER 4. PROVIDE A LEVEL SERVICE SPACE NOT LESS THAN 30" X 30" ALONG ALL SIDES WHERE ACCESS IS REQUIRED. N. GAS FURNACE SHALL BE MIN AFUE OF 94% PER WSEC OPTION 3A. REF: 1/A6.2 FOR MORE INFO.
- ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS\* PER WSEC SECTION R406:  
\*DWELLING UNITS LESS THAN 1500 SF, SMALL DWELLING UNIT = 1.5 CREDITS REQ'D  
OPTION 2A = 1.0 CREDITS  
AIR LEAKAGE CONTROL AND EFFICIENT VENT.  
- AIR LEAKAGE OF 3.0 ACU/HR  
- STAND ALONE WHOLE HOUSE VENTILATION FAN W/ MAX 0.35 WATTS/CFM  
OPTION 3A = 0.5 CREDITS  
HIGH EFFICIENCY HVAC EQUIPMENT  
- N. GAS FURNACE W/ AFUE OF 94% OR BETTER

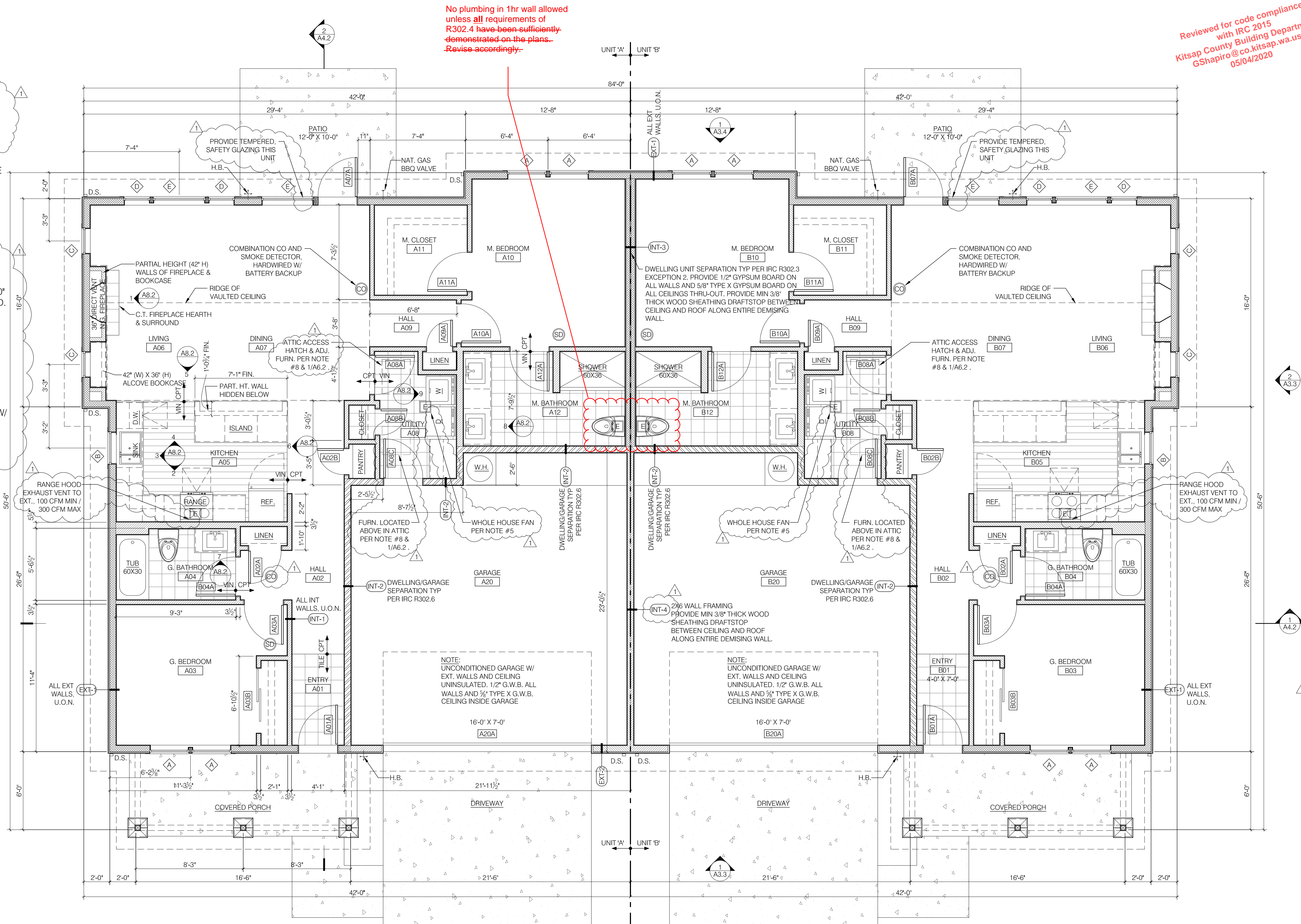
REFERENCE:

- X DOOR SCHEDULE - A6.1  
◇ WINDOW SCHEDULE - A6.1  
X WALL ASSEMBLY SCHEDULE - A6.2

Smoke & carbon monoxide detectors required.  
Smoke and carbon monoxide detectors must be installed throughout the building in all locations required by the IRC as amended by WAC.

UNIT AREAS:

UNIT 'A'	
RESIDENCE	1284 SF
FRONT PORCH	99 SF
PATIO	120 SF
GARAGE	473 SF
UNIT 'B'	
RESIDENCE	1284 SF
FRONT PORCH	99 SF
PATIO	120 SF
GARAGE	473 SF



1 FLOOR PLAN - BUILDING TYPE Y  
1/4" = 1'-0"

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

FLOOR PLAN -  
BUILDING TYPE Y

SHEET NUMBER:

A2.1

BLDG. PERMIT APPLIC.



ROOF PLAN NOTES

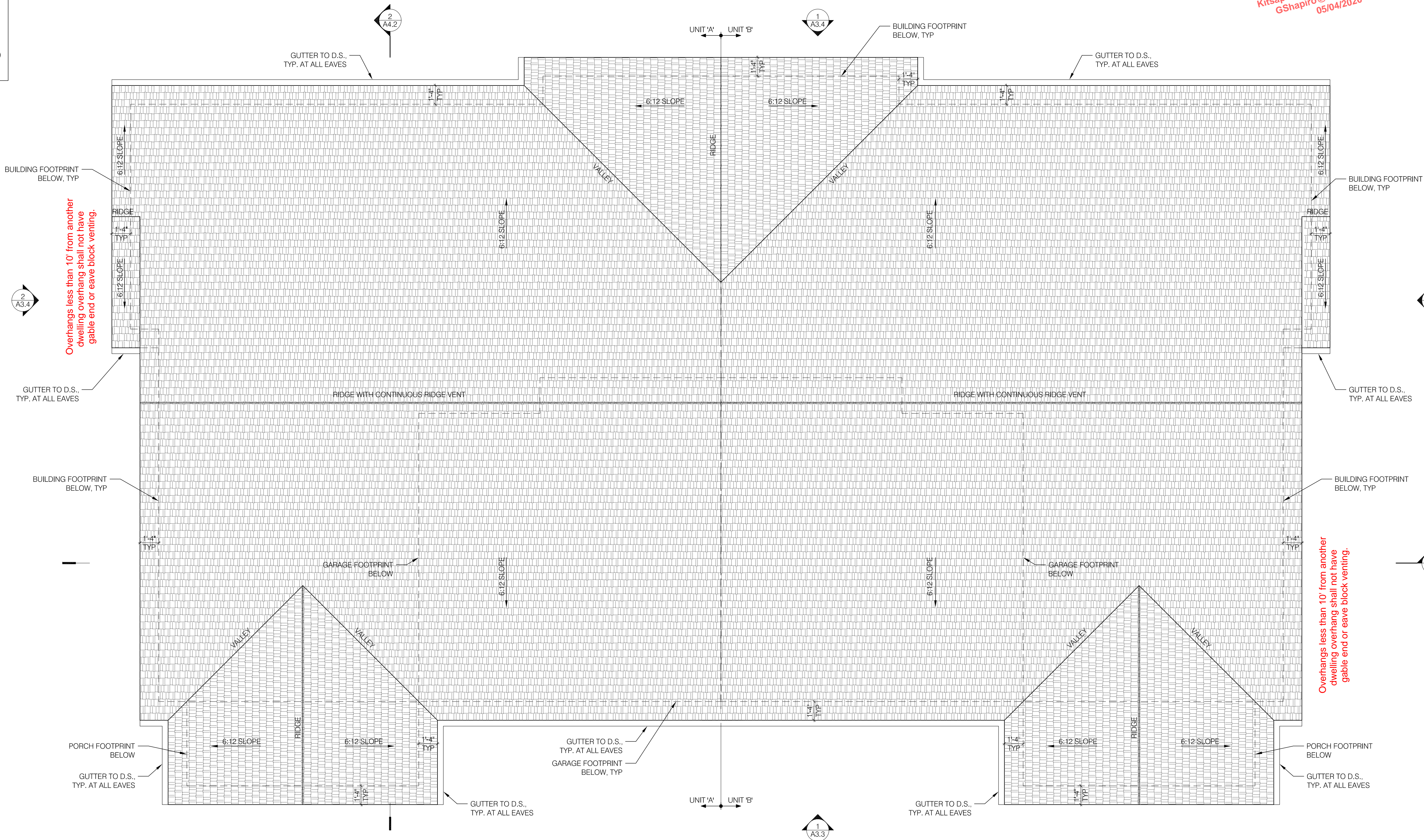
1. PROVIDE CONT. RIDGE VENTS MEETING THE CRITERIA OF THE ROOF VENT CALC'S SHOWN WITH RIDGE FRAMING OPEN TO VENTS AS SHOWN ON PLAN, TYP.
2. PROVIDE EAVE VENTING WITH INSECT SCREENS AT EXPOSED FRIEZE BLOCKS MEETING THE CRITERA OF THE ROOF VENT CAL'S SHOWN, TYP.
3. PROVIDE CLEAR VENT AREA PER CALC'S SHOWN.
4. REFERENCE FLOOR PLANS FOR DOWNSPOUT (D.S.)/RAIN LEADER LOCATIONS. REFERENCE FOUNDATION DETAILS AND CIVIL DRAWINGS FOR BELOW GRADE DRAIN LOCATIONS.
5. PLUMBING VENT ROOF PENETRATIONS TO BE LOCATED IN FIELD BY PLUMBING CONTRACTOR. ROOFING CONTRACTOR SHALL PROVIDE ALLOWANCES FOR PLUMBING VENTS.

ROOF VENTILATION CALCULATIONS:  
(UNIT Y-A, UNIT Y-B SIM.)

ATTIC AREA: 1856 SF

MIN VENT. AREA: 931.7 SQ. IN.  
(1856 X 1/300 = 6.19 SF X 144 = 891 SQ. IN.)

TOTAL PROVIDED: 972 SQ. IN.  
68.83 LF EAVE: 432 SQ IN.  
(EAVE BIRD BLOCKS (2/LF) X 2"-D HOLES = 6.28 SQ.IN./LF)  
40 LF RIDGE VENT: 540 SQ. IN.  
(CORA VENT-V-300 @13.5 SQ. IN./LF)



1 ROOF PLAN - BUILDING TYPE Y  
1/4" = 1'-0"

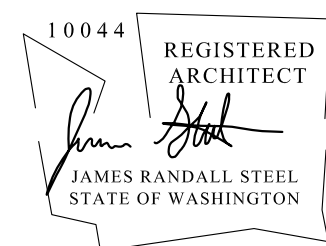
BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COPYRIGHT 2018  
STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:  
ROOF PLAN -  
BUILDING TYPE Y

SHEET NUMBER:

A2.2

BLDG. PERMIT APPLIC.



ROOF PLAN NOTES

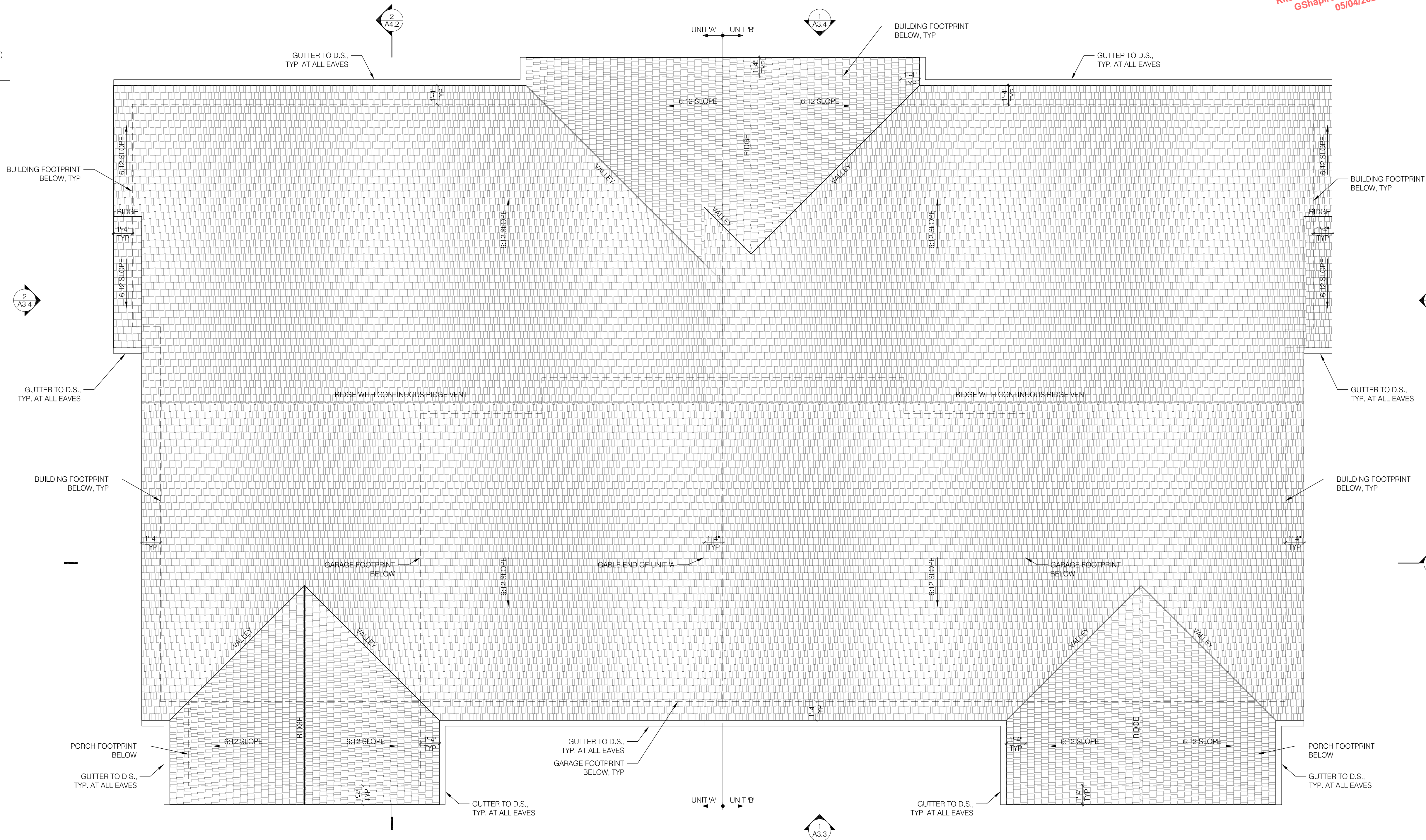
1. PROVIDE CONT. RIDGE VENTS MEETING THE CRITERIA OF THE ROOF VENT CALC'S SHOWN WITH RIDGE FRAMING OPEN TO VENTS AS SHOWN ON PLAN, TYP.
2. PROVIDE EAVE VENTING WITH INSECT SCREENS AT EXPOSED FRIEZE BLOCKS MEETING THE CRITERA OF THE ROOF VENT CAL'S SHOWN, TYP.
3. PROVIDE CLEAR VENT AREA PER CALC'S SHOWN.
4. REFERENCE FLOOR PLANS FOR DOWNSPOUT (D.S.)/RAIN LEADER LOCATIONS. REFERENCE FOUNDATION DETAILS AND CIVIL DRAWINGS FOR BELOW GRADE DRAIN LOCATIONS.
5. PLUMBING VENT ROOF PENETRATIONS TO BE LOCATED IN FIELD BY PLUMBING CONTRACTOR. ROOFING CONTRACTOR SHALL PROVIDE ALLOWANCES FOR PLUMBING VENTS.

ROOF VENTILATION CALCULATIONS:  
(UNIT Y-A, UNIT Y-B SIM.)

ATTIC AREA: 1856 SF

MIN VENT. AREA: 931.7 SQ. IN.  
(1856 X 1/300 = 6.19 SF X 144 = 891 SQ. IN.)

TOTAL PROVIDED: 972 SQ. IN.  
68.83 LF EAVE: 432 SQ IN.  
(EAVE BIRD BLOCKS (2/LF) X 2"-D HOLES = 6.28 SQ.IN./LF)  
40 LF RIDGE VENT: 540 SQ. IN.  
(CORA VENT-Y-300 @13.5 SQ. IN./LF)



1 ROOF PLAN - BUILDING TYPE Y ALTERNATE A  
1/4" = 1'-0"

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuinar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COPYRIGHT 2018  
STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
James Randall Steel  
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

ROOF PLAN -  
BUILDING TYPE Y ALT. A

SHEET NUMBER:

A2.2-A

BLDG. PERMIT APPLIC.



ROOF PLAN NOTES

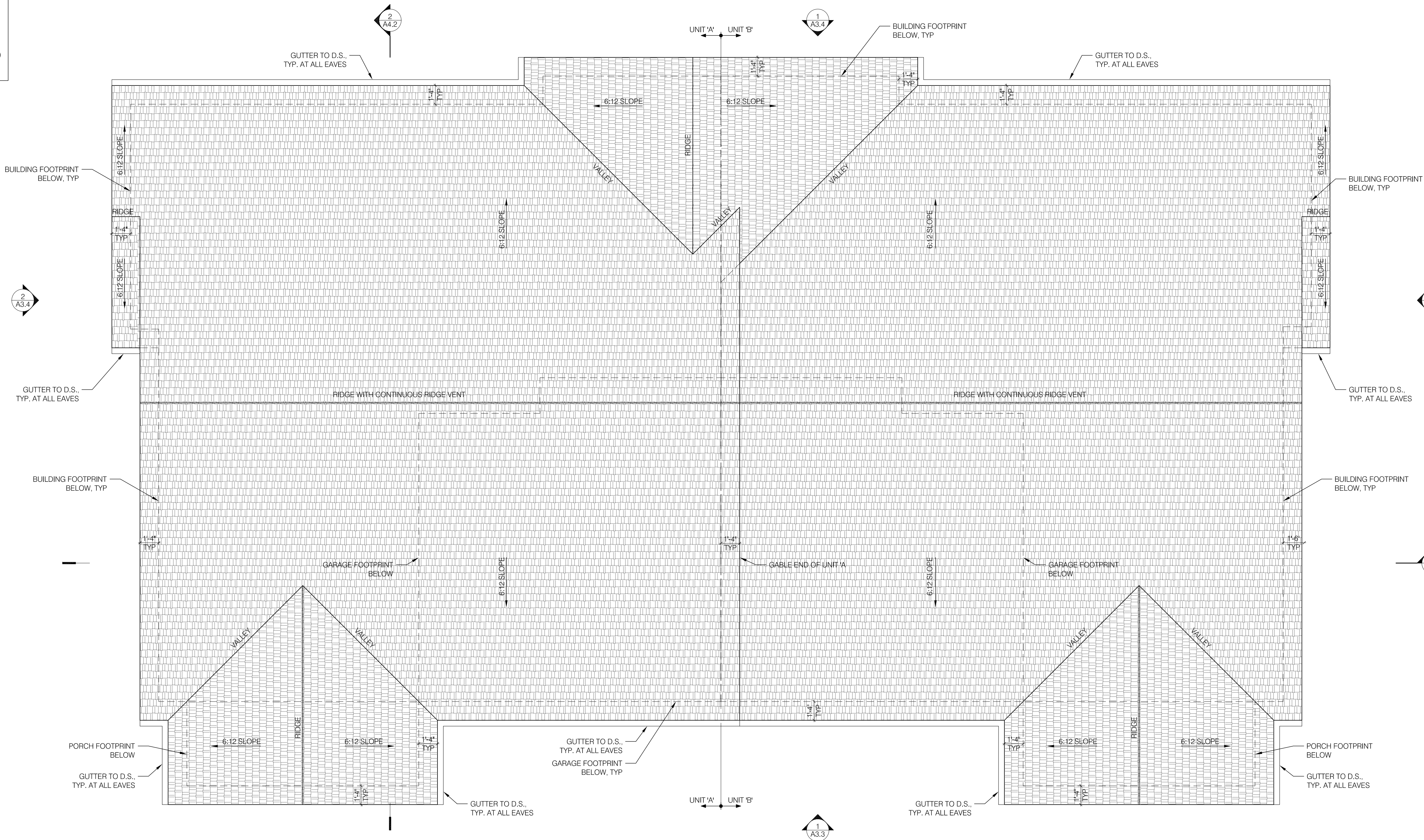
1. PROVIDE CONT. RIDGE VENTS MEETING THE CRITERIA OF THE ROOF VENT CALC'S SHOWN WITH RIDGE FRAMING OPEN TO VENTS AS SHOWN ON PLAN, TYP.
2. PROVIDE EAVE VENTING WITH INSECT SCREENS AT EXPOSED FRIEZE BLOCKS MEETING THE CRITERA OF THE ROOF VENT CAL'S SHOWN, TYP.
3. PROVIDE CLEAR VENT AREA PER CALC'S SHOWN.
4. REFERENCE FLOOR PLANS FOR DOWNSPOUT (D.S.)/RAIN LEADER LOCATIONS. REFERENCE FOUNDATION DETAILS AND CIVIL DRAWINGS FOR BELOW GRADE DRAIN LOCATIONS.
5. PLUMBING VENT ROOF PENETRATIONS TO BE LOCATED IN FIELD BY PLUMBING CONTRACTOR. ROOFING CONTRACTOR SHALL PROVIDE ALLOWANCES FOR PLUMBING VENTS.

ROOF VENTILATION CALCULATIONS:  
(UNIT Y-A, UNIT Y-B SIM.)

ATTIC AREA: 1856 SF

MIN VENT. AREA: 931.7 SQ. IN.  
(1856 X 1/300 = 6.19 SF X 144 = 891 SQ. IN.)

TOTAL PROVIDED: 972 SQ. IN.  
68.83 LF EAVE: 432 SQ IN.  
(EAVE BIRD BLOCKS (2/LF) X 2"-D HOLES = 6.28 SQ.IN./LF)  
40 LF RIDGE VENT: 540 SQ. IN.  
(CORA VENT-Y-300 @13.5 SQ. IN./LF)



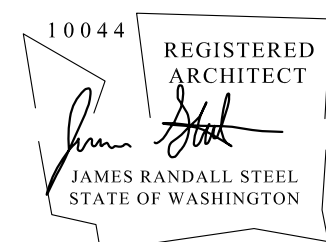
1 ROOF PLAN - BUILDING TYPE Y ALTERNATE B  
1/4" = 1'-0"

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

ROOF PLAN -  
BUILDING TYPE Y ALT. B

SHEET NUMBER:

A2.2-B

BLDG. PERMIT APPLIC.



Gutters and downspouts are required.  
All roof and yard drains shall be directed to splash blocks at a minimum,  
or to an infiltration system if required. All surface drainage shall have a  
minimum 2% grade away from the foundation.

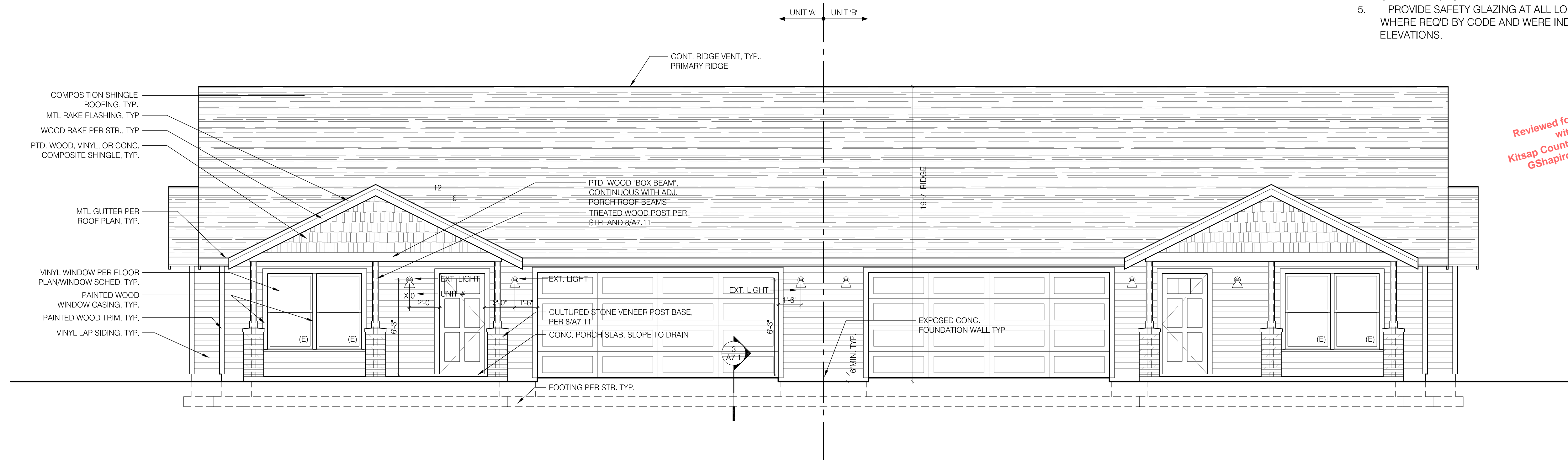
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

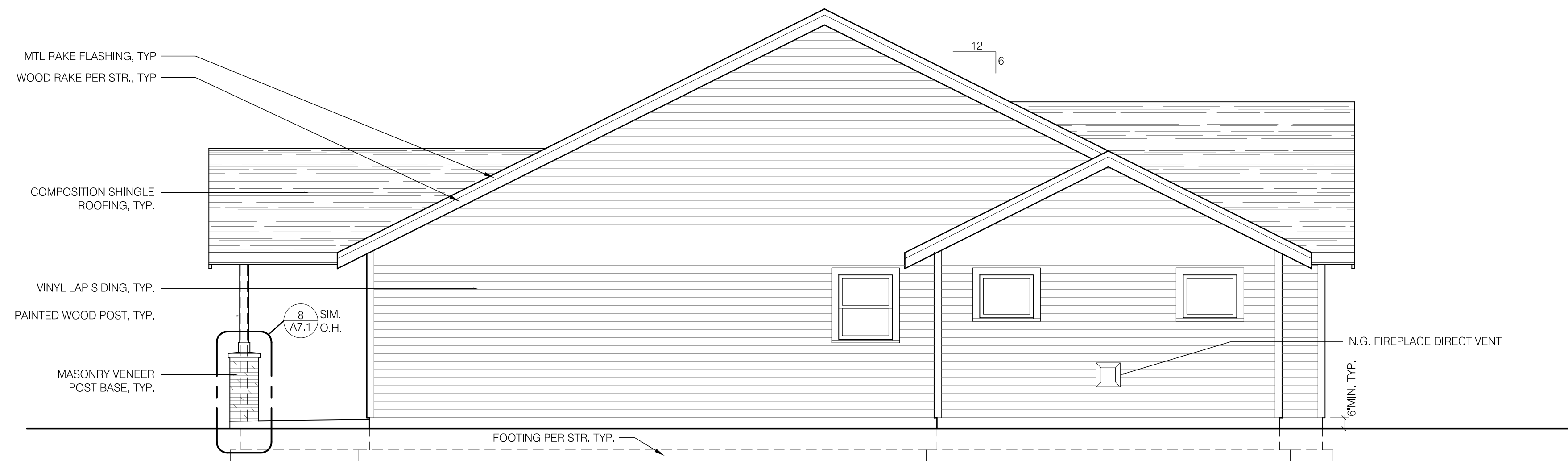
#### ELEVATION NOTES

1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
2. REF: FLOOR PLANS FOR DIMENSIONS.
3. EXT. LIGHTS INDICATED TO BE 'DARK SKY'  
COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM  
HORIZ. VIEW.
4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS,  
WHERE REQ'D BY CODE, AND WHERE INDICATED (E)  
ON ELEVATIONS.
5. PROVIDE SAFETY GLAZING AT ALL LOCATIONS  
WHERE REQ'D BY CODE AND WERE INDICATED (T) ON  
ELEVATIONS.

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020



1 EXT. ELEVATION - FRONT  
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE  
1/4" = 1'-0"

COPYRIGHT 2018  
STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:  
EXTERIOR ELEVATIONS -  
BUILDING TYPE Y

SHEET NUMBER:

A3.1

BLDG. PERMIT APPLIC.



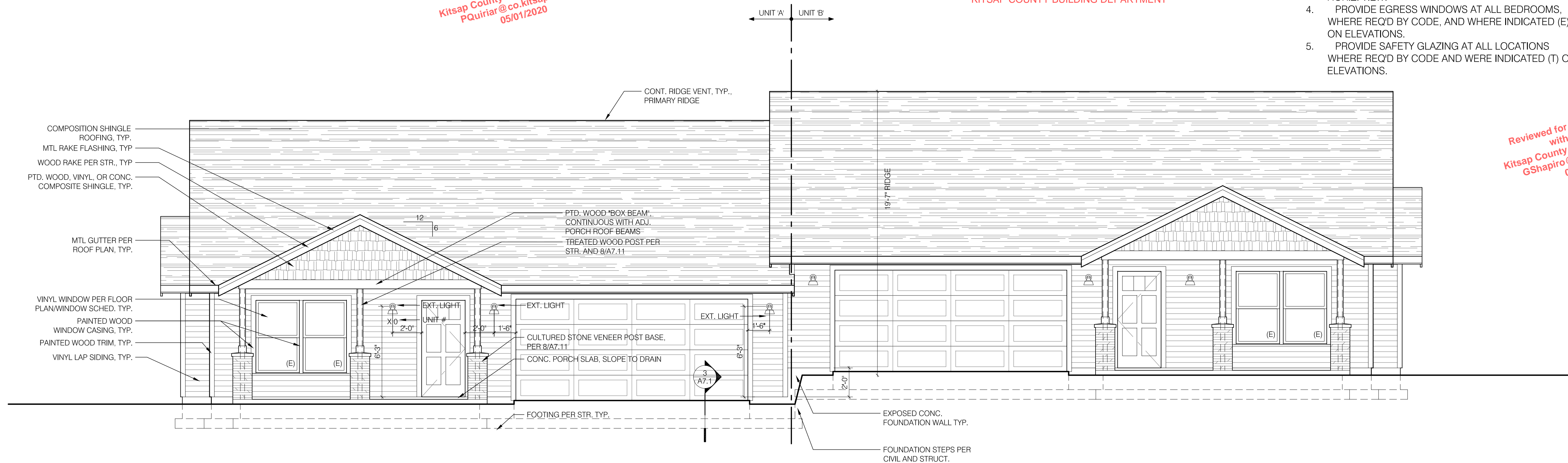
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

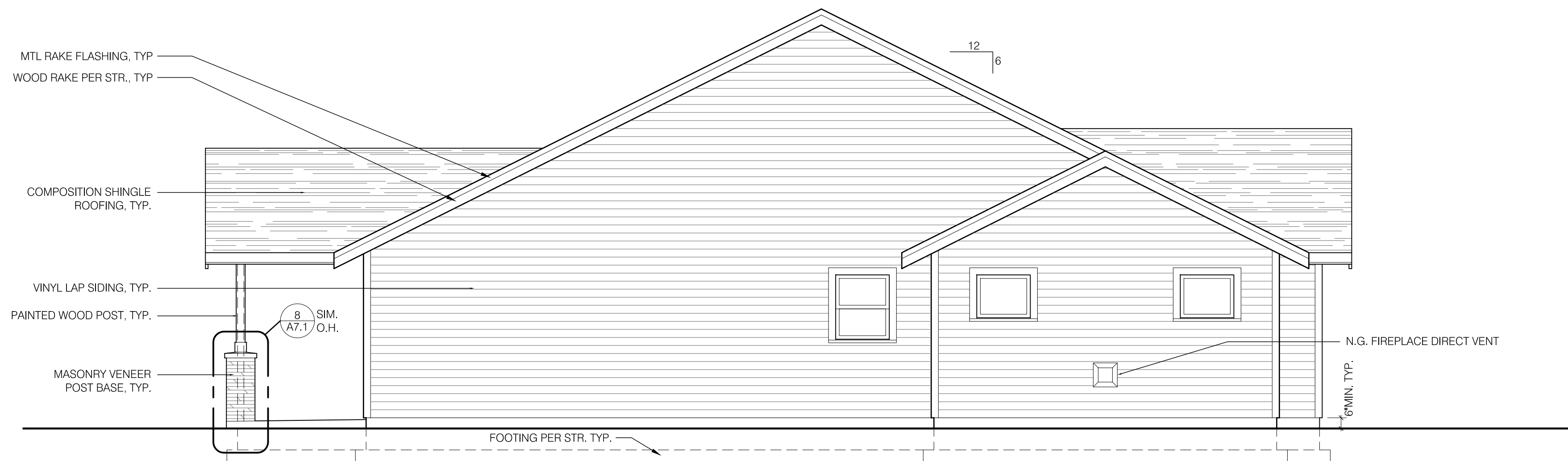
#### ELEVATION NOTES

1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
2. REF: FLOOR PLANS FOR DIMENSIONS.
3. EXT. LIGHTS INDICATED TO BE 'DARK SKY' COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS, WHERE REQ'D BY CODE, AND WHERE INDICATED (E) ON ELEVATIONS.
5. PROVIDE SAFETY GLAZING AT ALL LOCATIONS WHERE REQ'D BY CODE AND WERE INDICATED (T) ON ELEVATIONS.

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020



1 EXT. ELEVATION - FRONT  
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE  
1/4" = 1'-0"

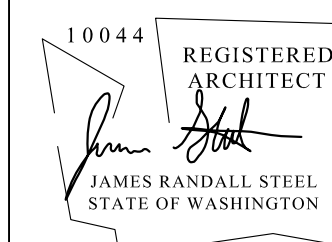
COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



#### ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

#### DRAWING TITLE:

EXTERIOR ELEVATIONS -  
BUILDING TYPE Y ALT A

#### SHEET NUMBER:

A3.1-A

BLDG. PERMIT APPLIC.



Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

### ELEVATION NOTES

1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
2. REF: FLOOR PLANS FOR DIMENSIONS.
3. EXT. LIGHTS INDICATED TO BE "DARK SKY" COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS, WHERE REQ'D BY CODE, AND WHERE INDICATED (E) ON ELEVATIONS.
5. PROVIDE SAFETY GLAZING AT ALL LOCATIONS WHERE REQ'D BY CODE AND WERE INDICATED (T) ON ELEVATIONS.

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

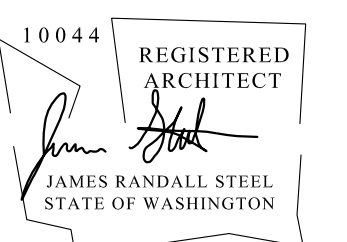
COPYRIGHT 2018

STEEL ARCHITECTS  
P.L.L.C.

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

# COTTAGES ON THE RIDGE

12000 RIDGE TOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

2 X 34 =	FULL SIZE
1 X 17 =	HALF SIZE

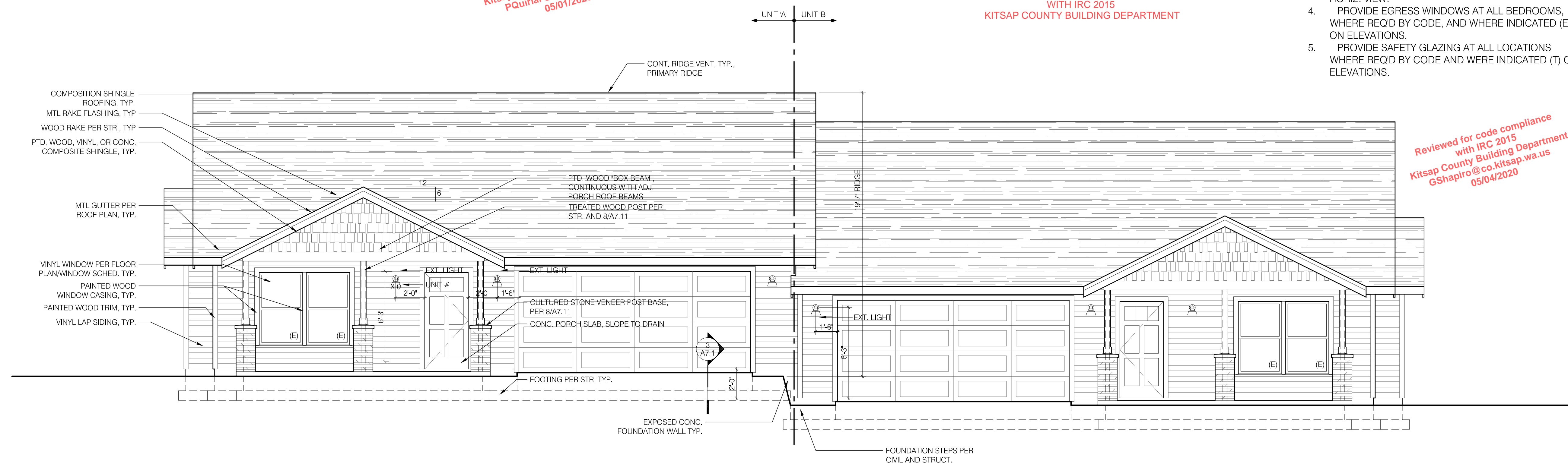
## DRAWING TITLE:

EXTERIOR ELEVATIONS -  
BUILDING TYPE Y ALT B

## SHEET NUMBER:

A3.1-B

BLDG. PERMIT APPLIC.



1 EXT. ELEVATION - FRONT  
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE  
1/4" = 1'-0"



Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

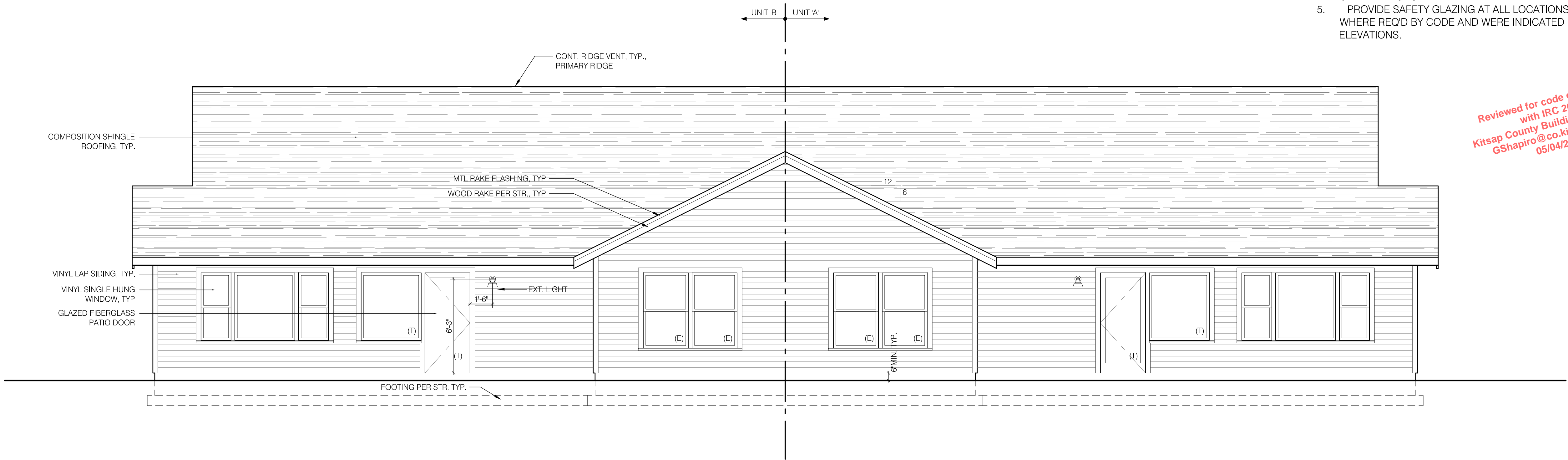
- ELEVATION NOTES
1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
  2. REF: FLOOR PLANS FOR DIMENSIONS.
  3. EXT. LIGHTS INDICATED TO BE 'DARK SKY' COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
  4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS, WHERE REQ'D BY CODE, AND WHERE INDICATED (E) ON ELEVATIONS.
  5. PROVIDE SAFETY GLAZING AT ALL LOCATIONS WHERE REQ'D BY CODE AND WERE INDICATED (T) ON ELEVATIONS.

COPYRIGHT 2018

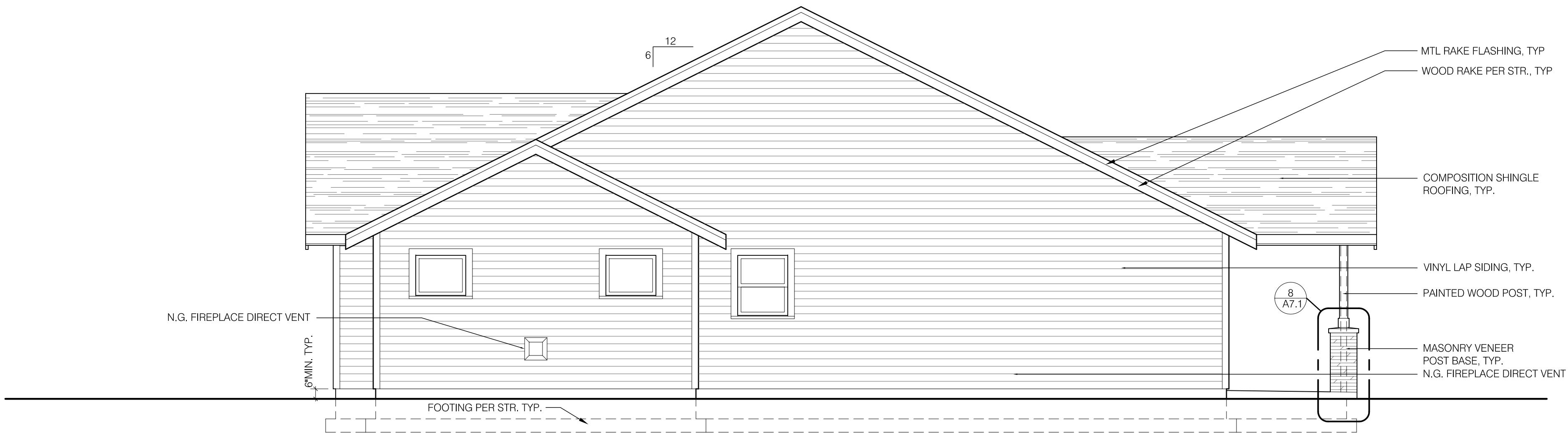
STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

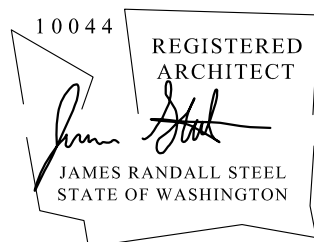


1 EXT. ELEVATION - REAR  
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE  
1/4" = 1'-0"

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR ELEVATIONS -  
BUILDING TYPE Y

SHEET NUMBER:

A3.2

BLDG. PERMIT APPLIC.



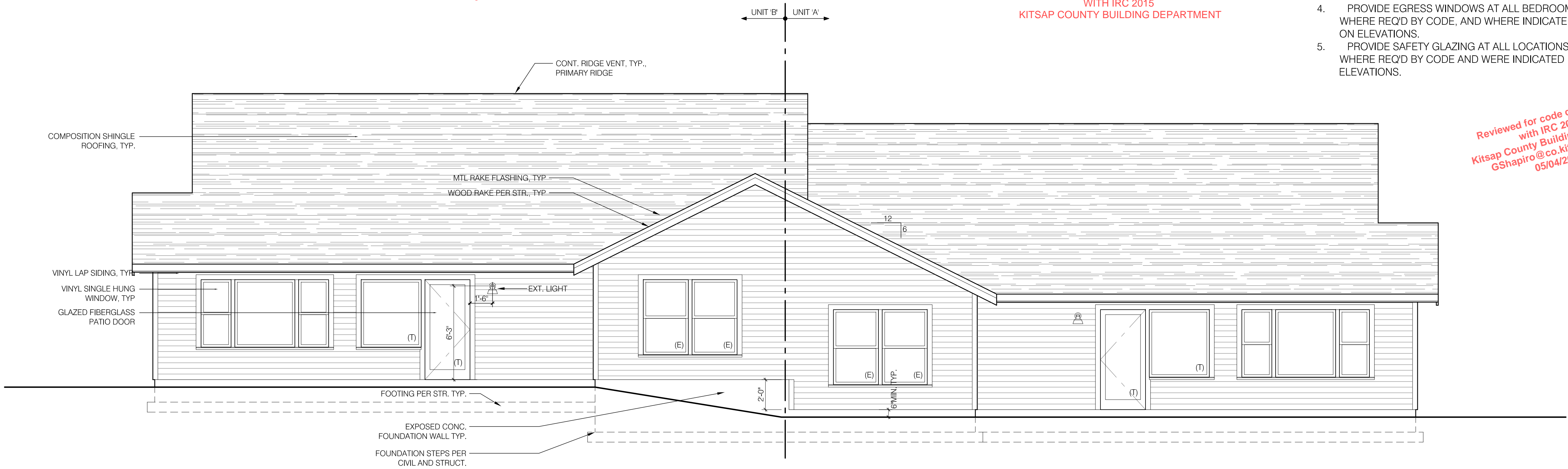
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

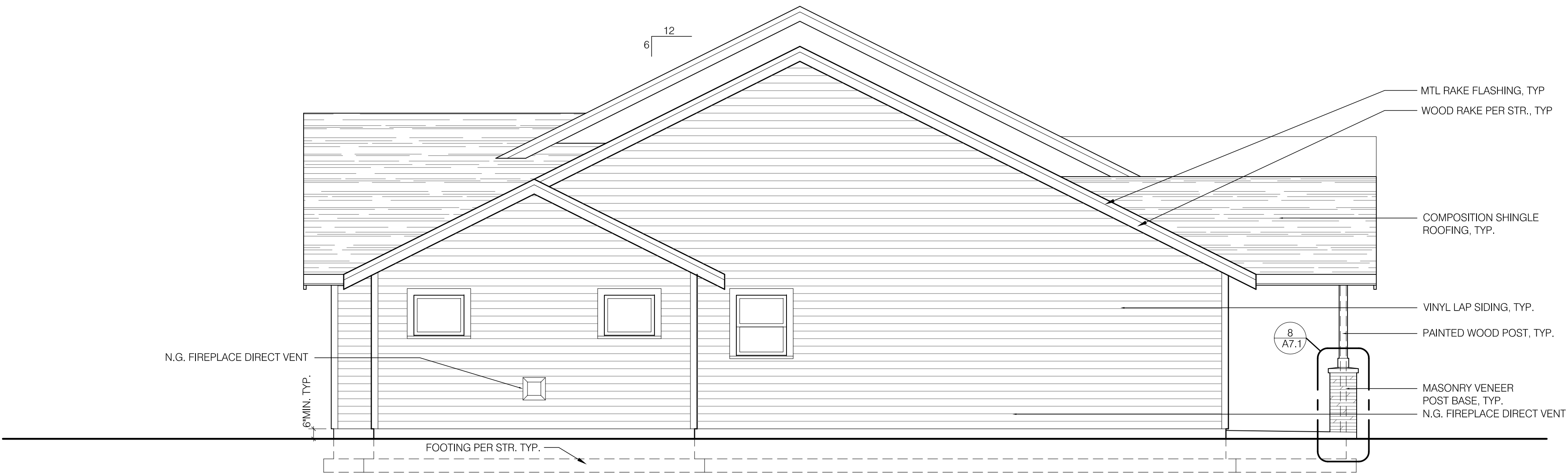
ELEVATION NOTES

1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
2. REF: FLOOR PLANS FOR DIMENSIONS.
3. EXT. LIGHTS INDICATED TO BE 'DARK SKY' COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS, WHERE REQ'D BY CODE, AND WHERE INDICATED (E) ON ELEVATIONS.
5. PROVIDE SAFETY GLAZING AT ALL LOCATIONS WHERE REQ'D BY CODE AND WERE INDICATED (T) ON ELEVATIONS.

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020



1 EXT. ELEVATION - REAR  
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE  
1/4" = 1'-0"

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR ELEVATIONS -  
BUILDING TYPE Y ALT A

SHEET NUMBER:

A3.2-A

BLDG. PERMIT APPLIC.

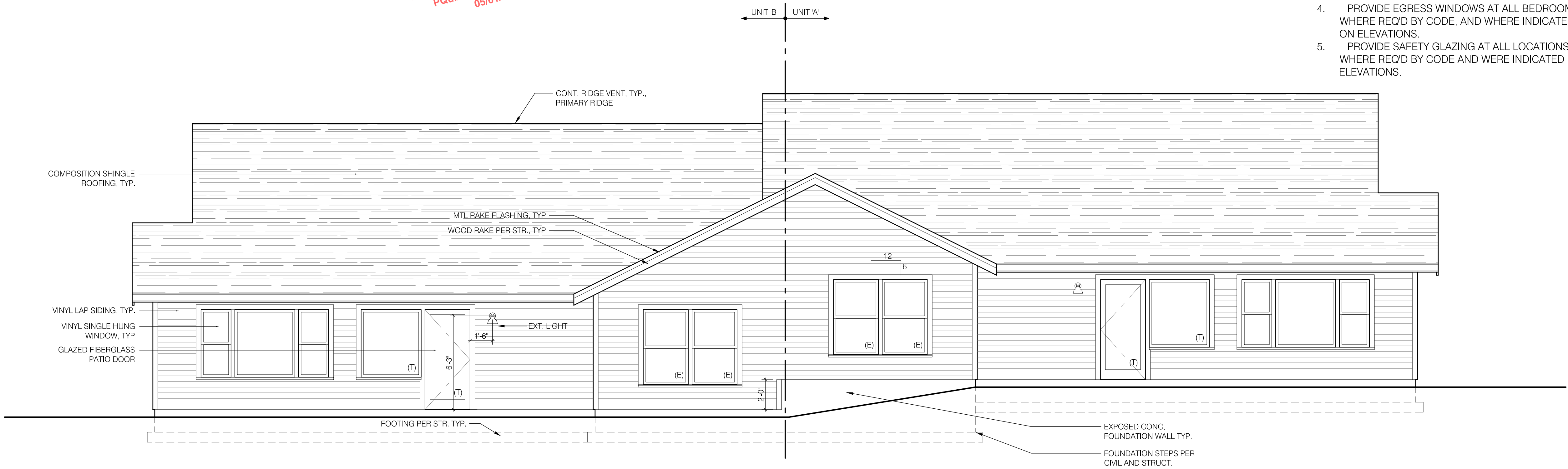


Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

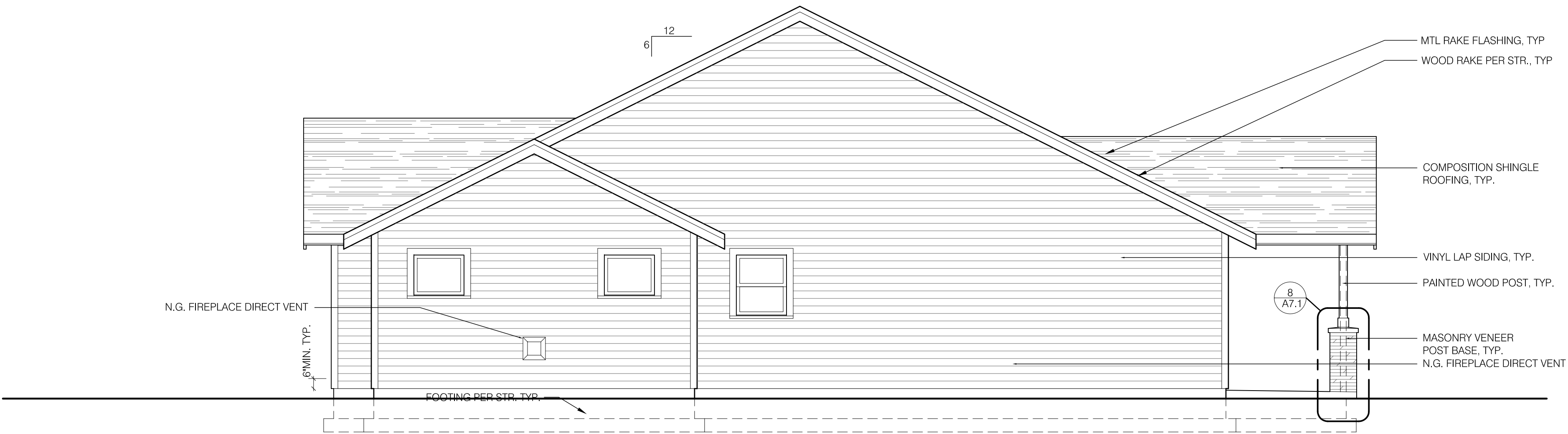
BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

- ELEVATION NOTES**
1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
  2. REF: FLOOR PLANS FOR DIMENSIONS.
  3. EXT. LIGHTS INDICATED TO BE 'DARK SKY' COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
  4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS, WHERE REQ'D BY CODE, AND WHERE INDICATED (E) ON ELEVATIONS.
  5. PROVIDE SAFETY GLAZING AT ALL LOCATIONS WHERE REQ'D BY CODE AND WERE INDICATED (T) ON ELEVATIONS.

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020



1 EXT. ELEVATION - REAR  
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE  
1/4" = 1'-0"

COPYRIGHT 2018  
STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:  
EXTERIOR ELEVATIONS -  
BUILDING TYPE Y ALT B

SHEET NUMBER:

A3.2-B

BLDG. PERMIT APPLIC.



BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuinlar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COPYRIGHT 2018  
STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
James Steel  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

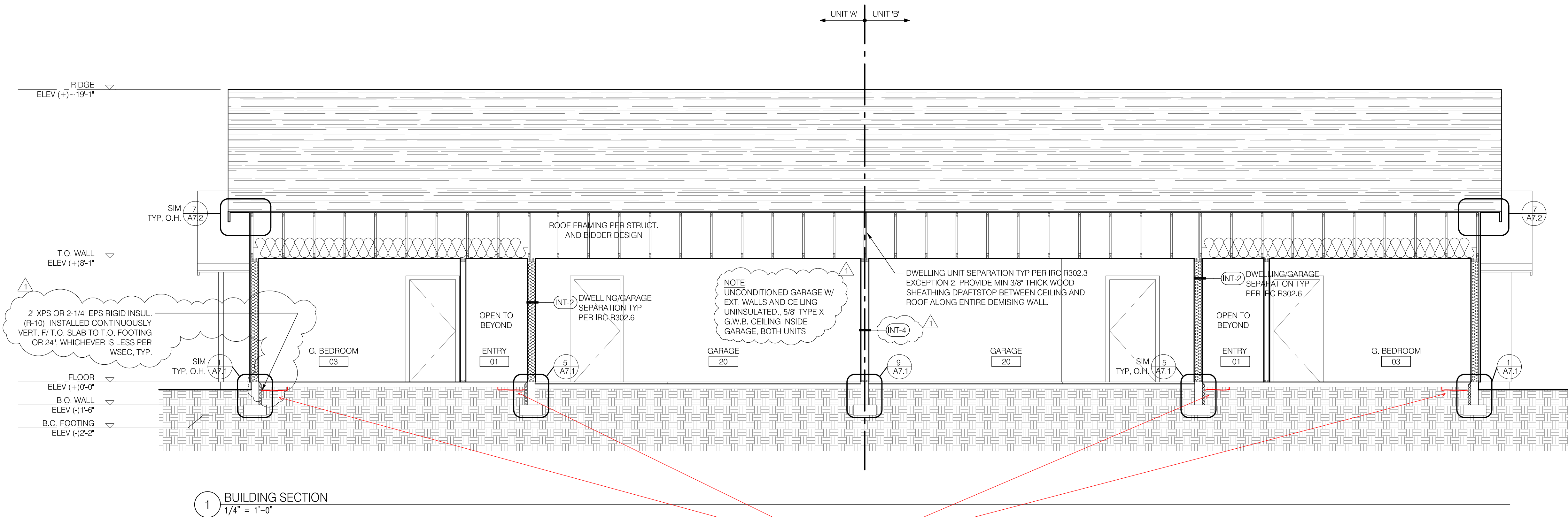
DRAWING TITLE:

BUILDING SECTIONS -  
BUILDING TYPE Y

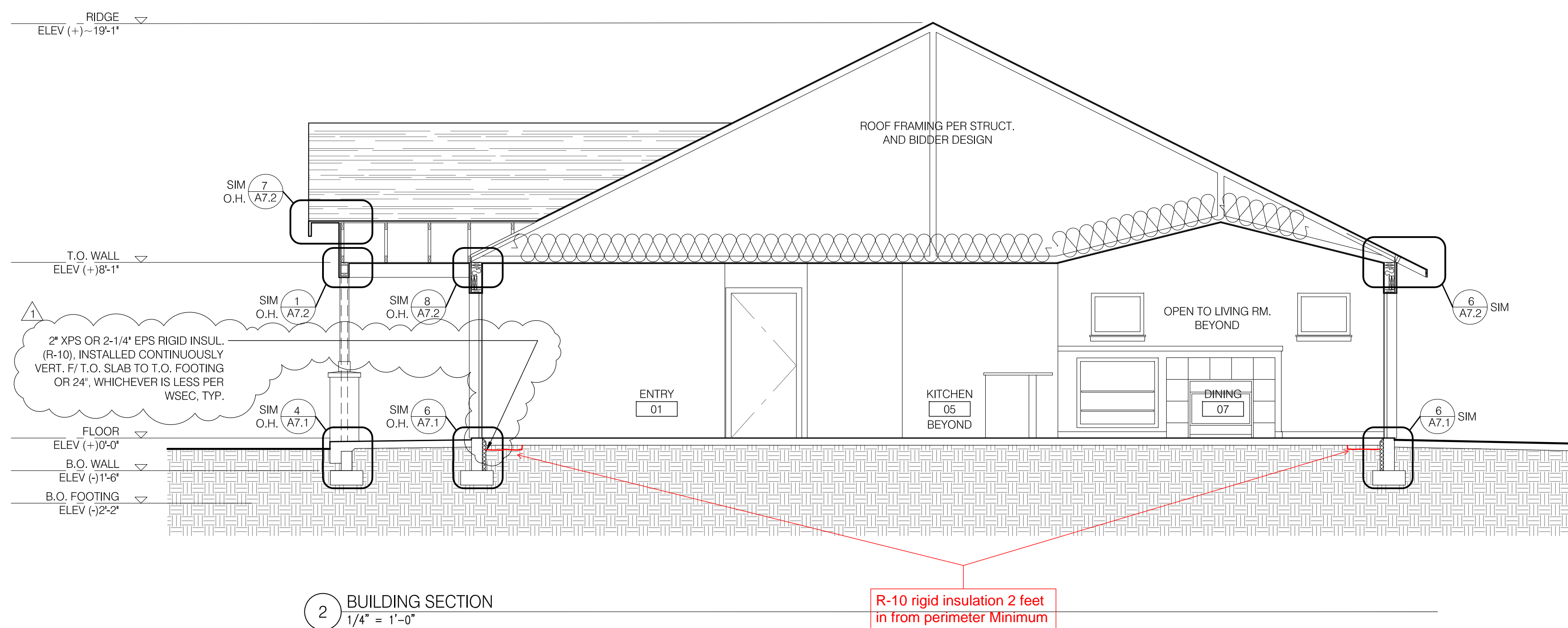
SHEET NUMBER:

A4.1

BLDG. PERMIT APPLIC.



R-10 rigid insulation 2 feet  
in from perimeter Minimum



R-10 rigid insulation 2 feet  
in from perimeter Minimum



BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044

REGISTERED  
ARCHITECT

*James Randall Steel*

JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

2 X 34 =	FULL SIZE
1 X 17 =	HALF SIZE

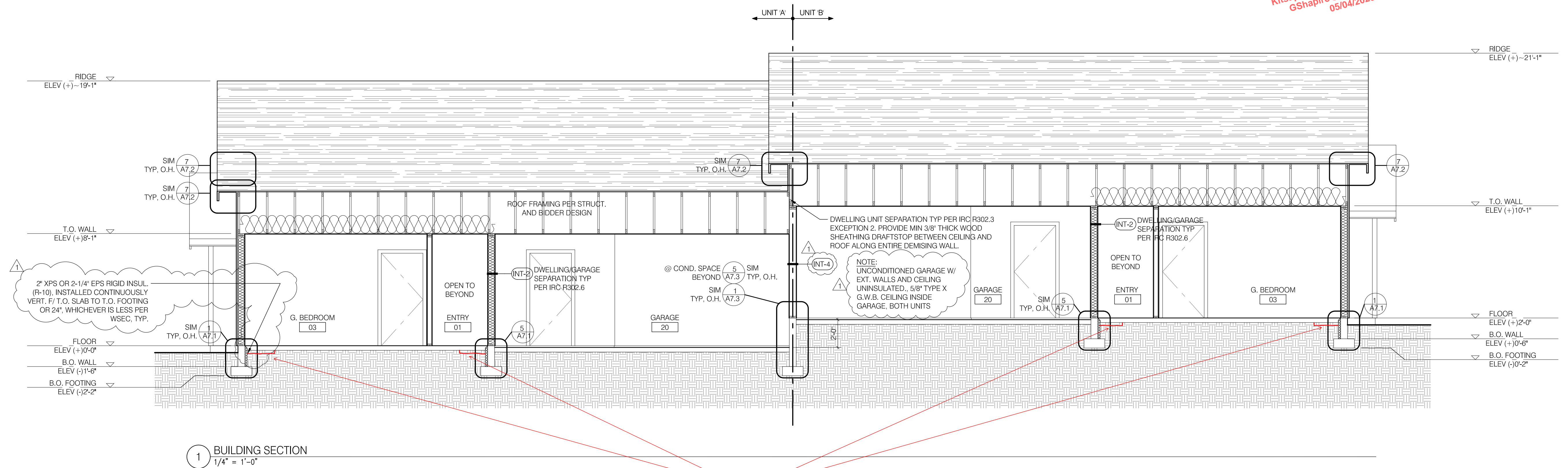
DRAWING TITLE:

BUILDING SECTIONS -  
BUILDING TYPE Y ALT A

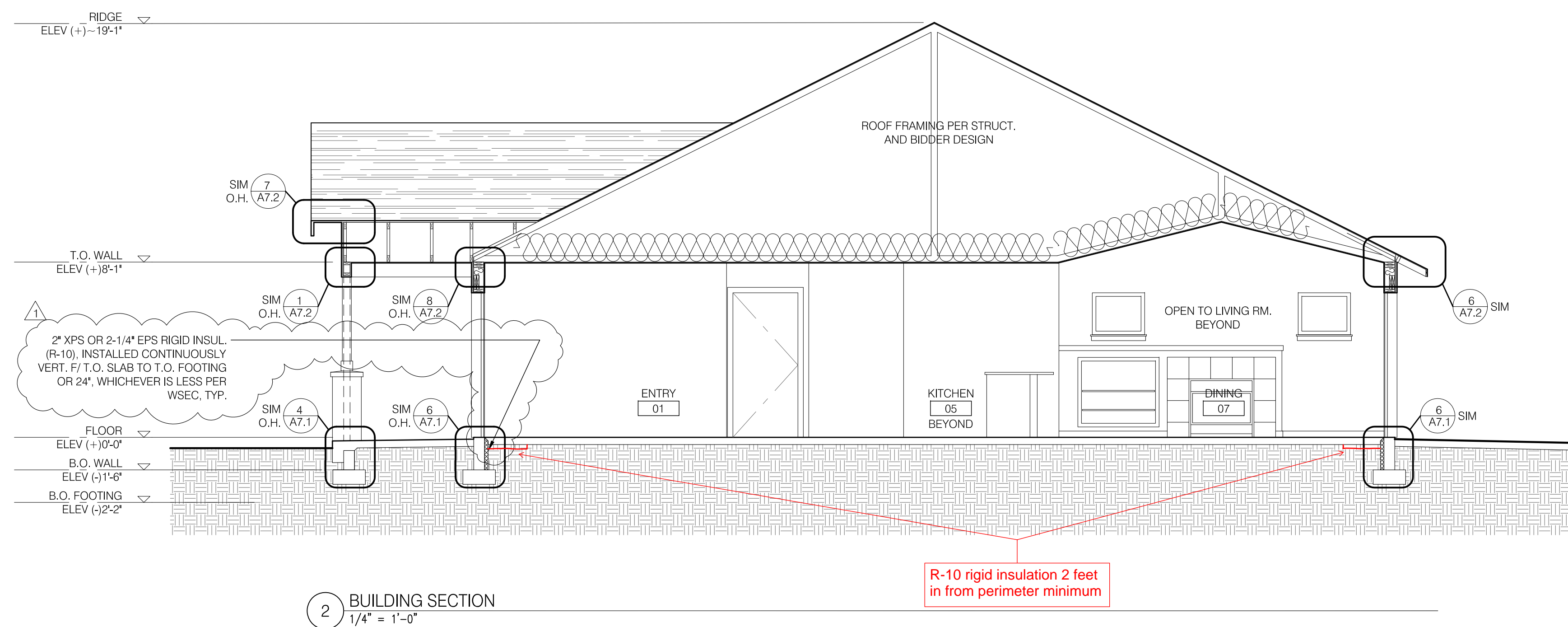
SHEET NUMBER:

A4.1-A

BLDG. PERMIT APPLIC.



R-10 rigid insulation 2 feet  
in from perimeter Minimum



R-10 rigid insulation 2 feet in from perimeter minimum



BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PO Box 7600  
Tacoma WA 98417  
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

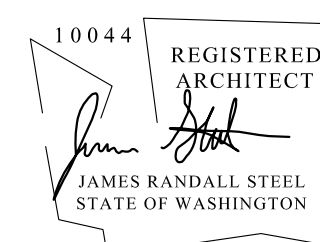
COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

# COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



## ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

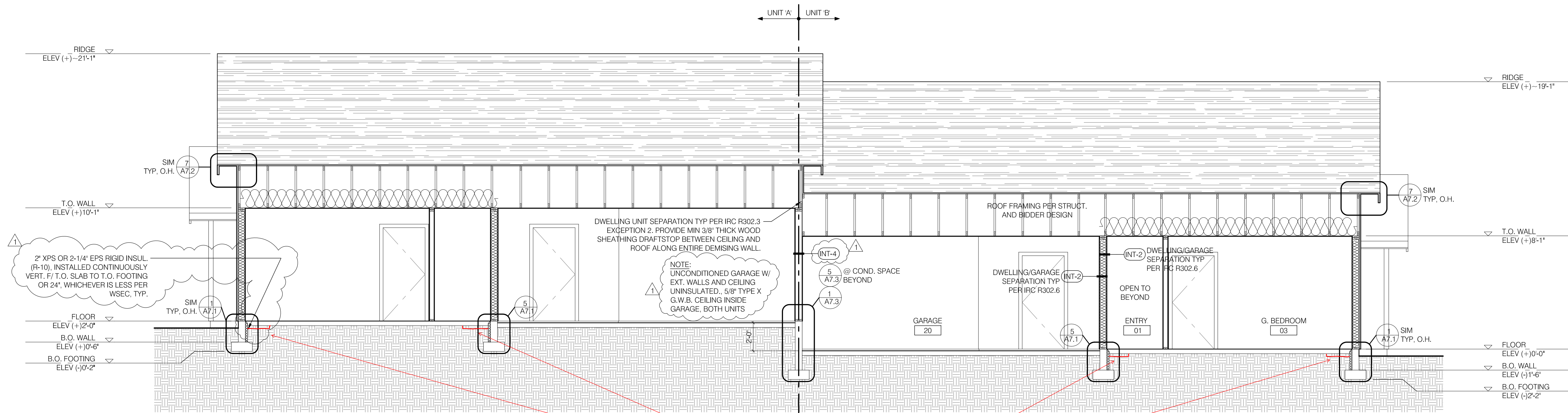
## DRAWING TITLE:

BUILDING SECTIONS -  
BUILDING TYPE Y ALT B

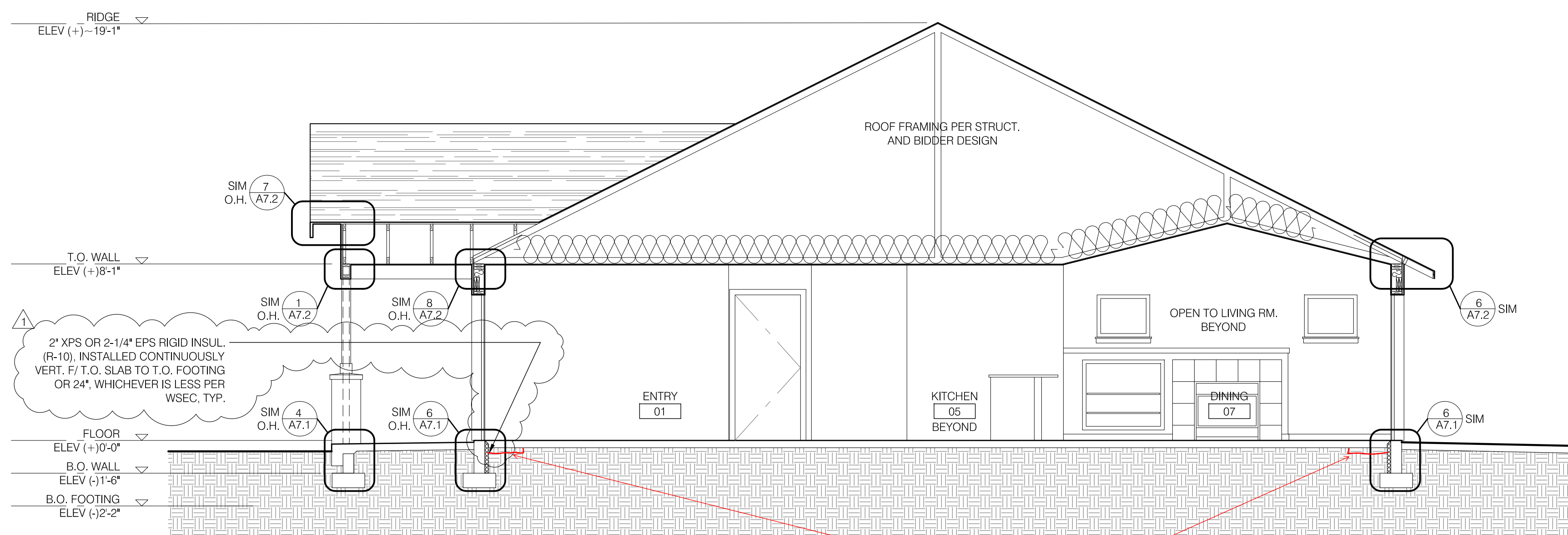
## SHEET NUMBER:

A4.1-B

BLDG. PERMIT APPLIC.



1 BUILDING SECTION  
1/4" = 1'-0"



2 BUILDING SECTION  
1/4" = 1'-0"



BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
POirjar@co.kitsap.wa.us  
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

DOOR NOTES:  
1. DIMENSIONS SHOWN ARE DOOR SIZES. FRAMES AND REQ'D SHIM SPACE SHALL BE ACCOUNTED FOR IN R.O. SIZES (NOT SHOWN).  
2. PROVIDE IMPACT RESISTANT GLAZING (TEMPERED) WHERE INDICATED (T) ON DOOR SCHEDULE AND/OR ON EXTERIOR ELEVATIONS, AND WHERE REQ'D BY CODE.  
3. VERIFY DOOR SIZES, TYPES, QUANTITIES, LOCATIONS AND SWING DIRECTIONS ON BUILDING TYPE FLOOR PLANS.

DOOR KEY

TYPE 1 EXTERIOR, IN-SWING - 'CRAFTSMAN' STYLE  
TYPE 2 EXTERIOR, IN-SWING, SAFETY GLAZED  
TYPE 3 EXTERIOR, SWING, PANEL, FIRE-RATED 20 MINUTE  
TYPE 4 INTERIOR, SWING, 2-PANEL, SOLID CORE  
TYPE 5 INTERIOR, SWING, 2-PANEL, HOLLOW CORE  
TYPE 6 INTERIOR, BI-PASS, 2-PANEL, HOLLOW CORE  
TYPE 7 AUTOMATIC OVERHEAD, GARAGE, 4 PANEL

FRAME KEY

TYPE 1 EXTERIOR, PRE-PRIMED WOOD  
TYPE 2 INTERIOR, PRE-PRIMED WOOD  
TYPE 3 NONE, GWB WRAP OPENING AND TRACK VALANCE

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

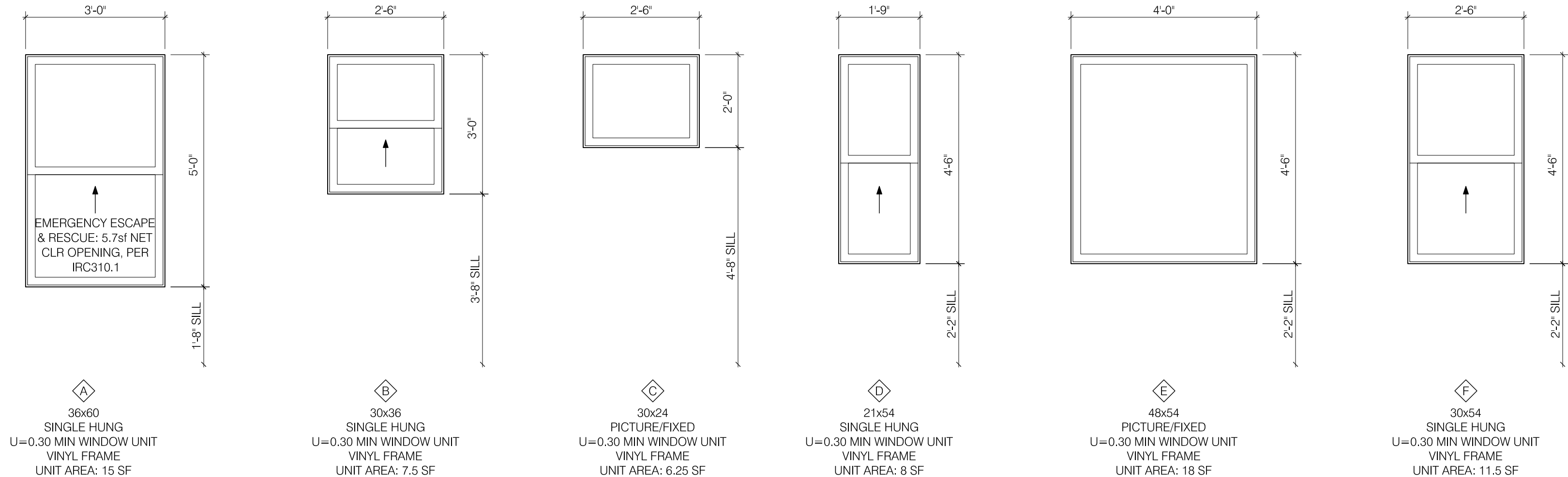
BUILDING TYPE Y, UNIT 'A' - DOOR SCHEDULE

		DOOR					FRAME						
NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICK	MATL	TYPE	HEAD	JAMB	MATL	HDWR SET	REMARKS	
A01A	ENTRY	1	3'-0"	6'-8"	1 3/4"	FG	1			WD	ENTRY/D.B.		
A02A	HALL	5	2'-6"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A02B	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A03A	G. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A03B	G. BEDROOM	6	5'-0"	6'-8"	1 3/8"	WD	3			WD	BYPASS		
A04A	G. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRIVACY		
A07A	DINING	2	3'-0"	6'-8"	1 3/4"	FG	1			WD	PATIO/D.B.	(T) SAFETY GLAZING	
A08A	LAUNDRY	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A08B	LAUNDRY	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A08C	LAUNDRY	3	3'-0"	6'-8"	1 3/8"	MTL	1			WD	PASSAGE/D.B.	20 MIN RATED W/ SELF CLOSING DEVICE	
A09A	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A10A	M. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A11A	M. CLOSET	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
A12A	M. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRIVACY		
A20A	GARAGE	7	16'-0"	7'-0"	1 3/4"	FG	1			WD	AUTOMATIC		

BUILDING TYPE Y, UNIT 'B' - DOOR SCHEDULE

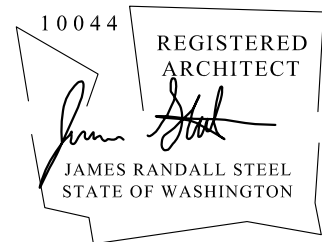
		DOOR					FRAME						
NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICK	MATL	TYPE	HEAD	JAMB	MATL	HDWR SET	REMARKS	
B01A	ENTRY	1	3'-0"	6'-8"	1 3/4"	FG	1			WD	ENTRY/D.B.		
B02A	HALL	5	2'-6"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B02B	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B03A	G. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B03B	G. BEDROOM	6	5'-0"	6'-8"	1 3/8"	WD	3			WD	BYPASS		
B04A	G. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRVACY		
B07A	DINING	2	3'-0"	6'-8"	1 3/4"	FG	1			WD	PATIO/D.B.	(T) SAFETY GLAZING	
B08A	LAUNDRY	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B08B	LAUNDRY	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B08C	LAUNDRY	3	3'-0"	6'-8"	1 3/8"	MTL	1			WD	PASSAGE/D.B.	20 MIN RATED W/ SELF CLOSING DEVICE	
B09A	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B10A	M. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B11A	M. CLOSET	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE		
B12A	M. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRVACY		
B20A	GARAGE	7	16'-0"	7'-0"	1 3/4"	FG	1			WD	AUTOMATIC		

WINDOW TYPE ELEVATIONS - ALL BUILDINGS



WINDOWS NOTES

- ALL UNITS DRAWN AS VIEWED FROM THE EXTERIOR.
- DIMENSIONS SHOWN ARE WINDOW SIZES. REQ'D SHIM SPACE SHALL BE ACCOUNTED FOR IN R.O. SIZES (NOT SHOWN).
- PROVIDE IMPACT RESISTANT GLAZING (TEMPERED) WHERE REQ'D BY CODE.
- VERIFY WINDOW SIZES, TYPES, QUANTITIES, AND LOCATIONS ON BUILDING TYPE FLOOR PLANS.



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

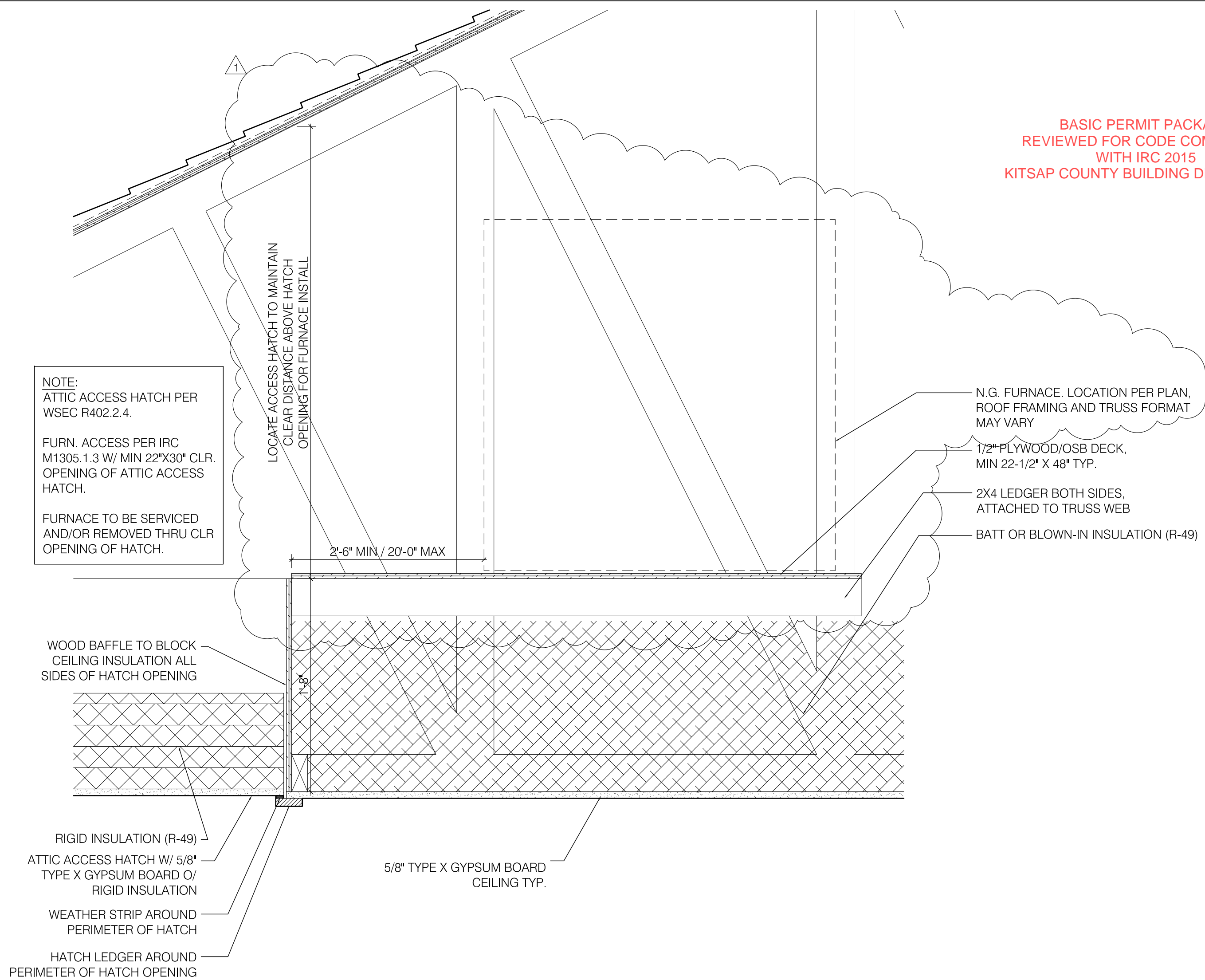
DOOR SCHEDULES -  
BLDGS X,Y,Z  
WINDOW SCHEDULE - ALL

SHEET NUMBER:

A6.1

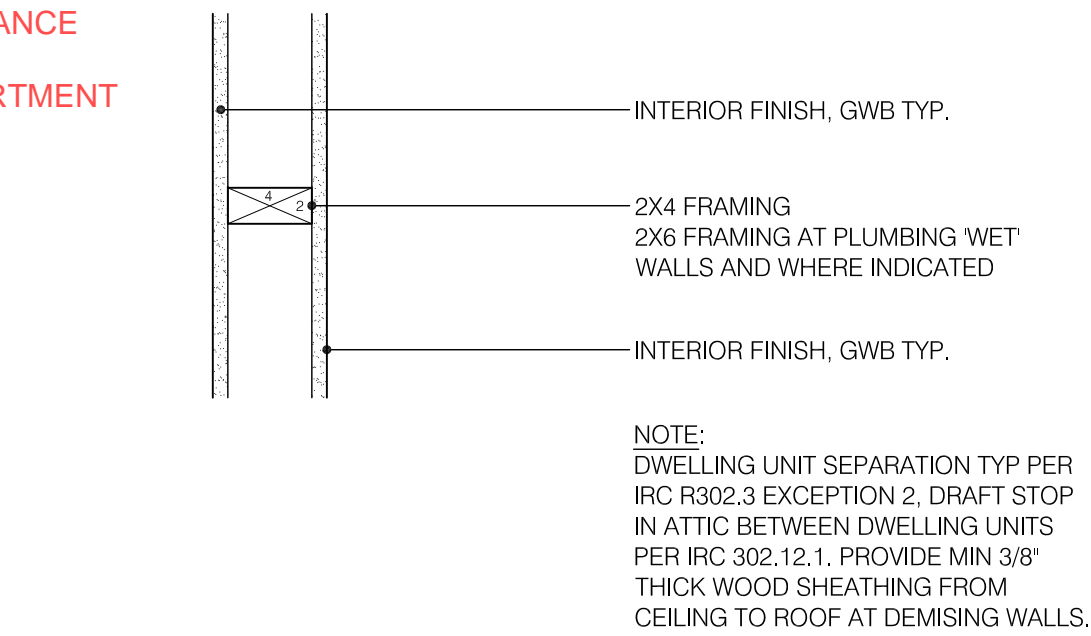
BLDG. PERMIT APPLIC.



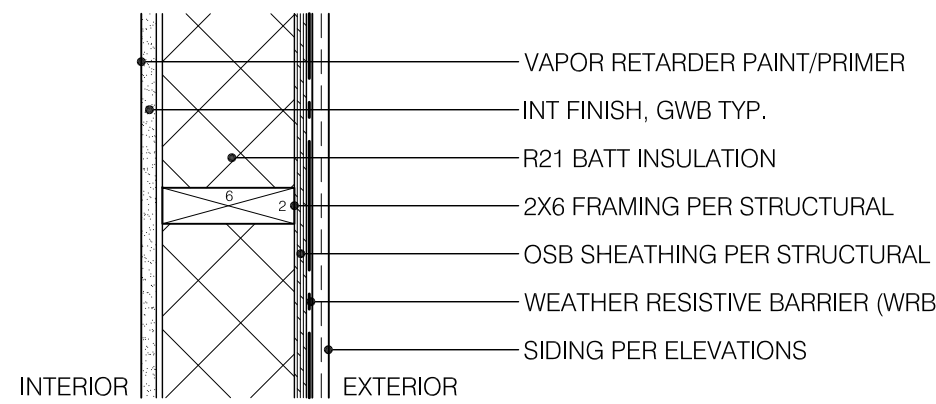


1 DETAIL - ATTIC ACCESS HATCH / FURNACE  
1 1/2" = 1'-0"

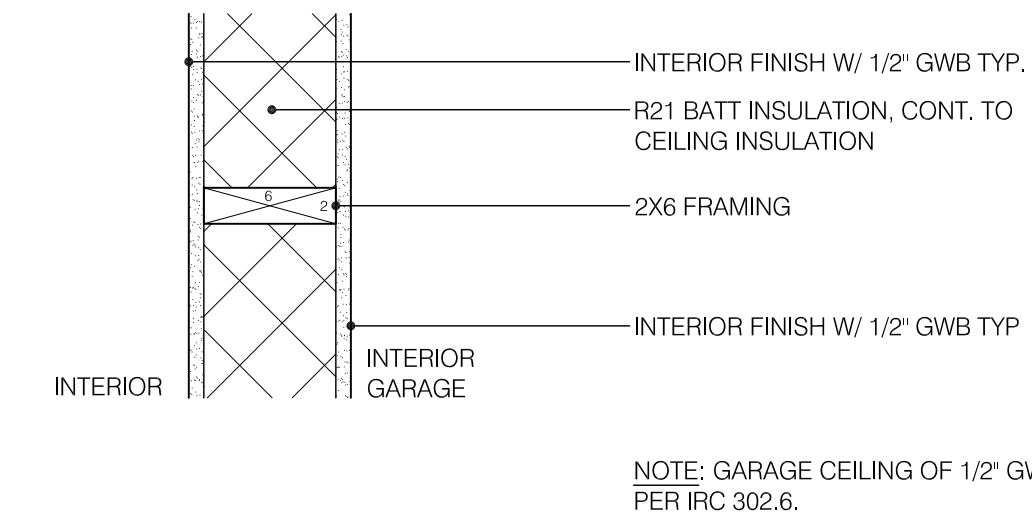
WALL ASSEMBLY SCHEDULE



INT-1 WALL ASSEMBLY - INTERIOR  
1 1/2" = 1'-0"

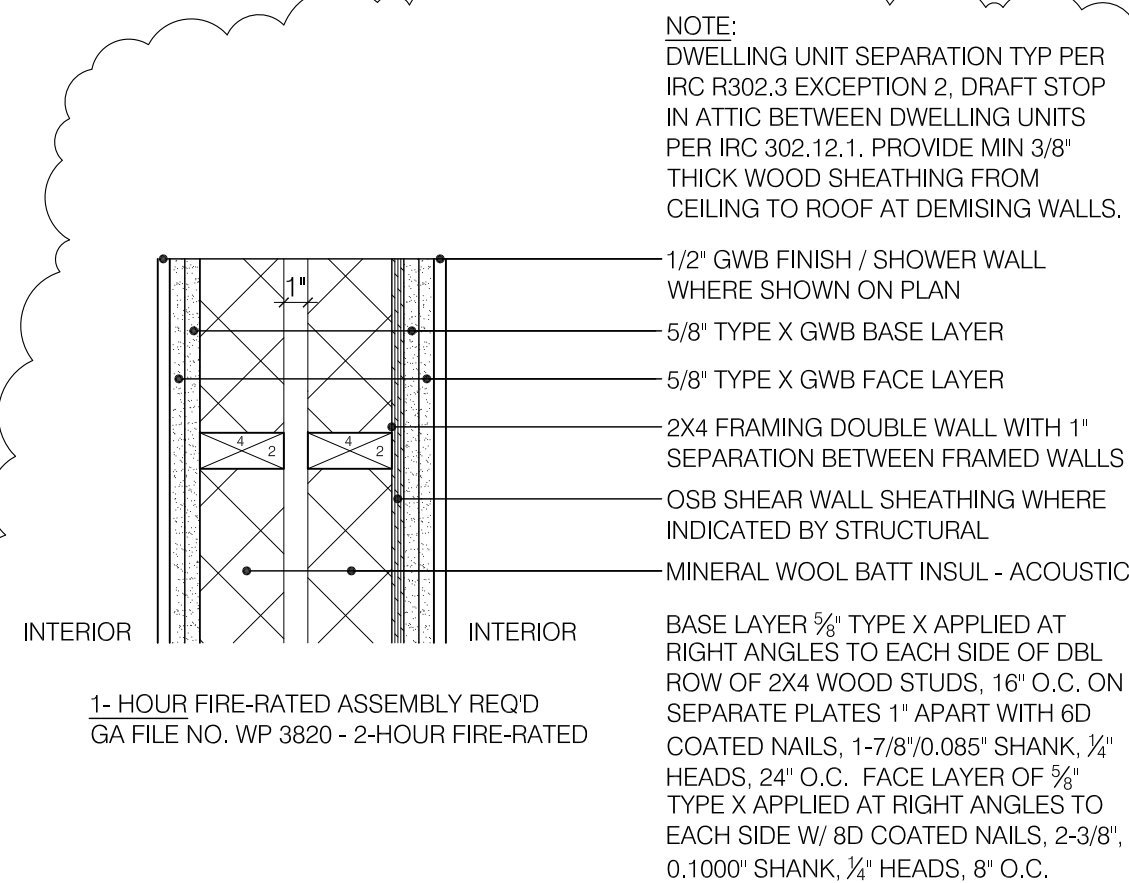


EXT-1 WALL ASSEMBLY - EXTERIOR INSULATED  
1 1/2" = 1'-0"



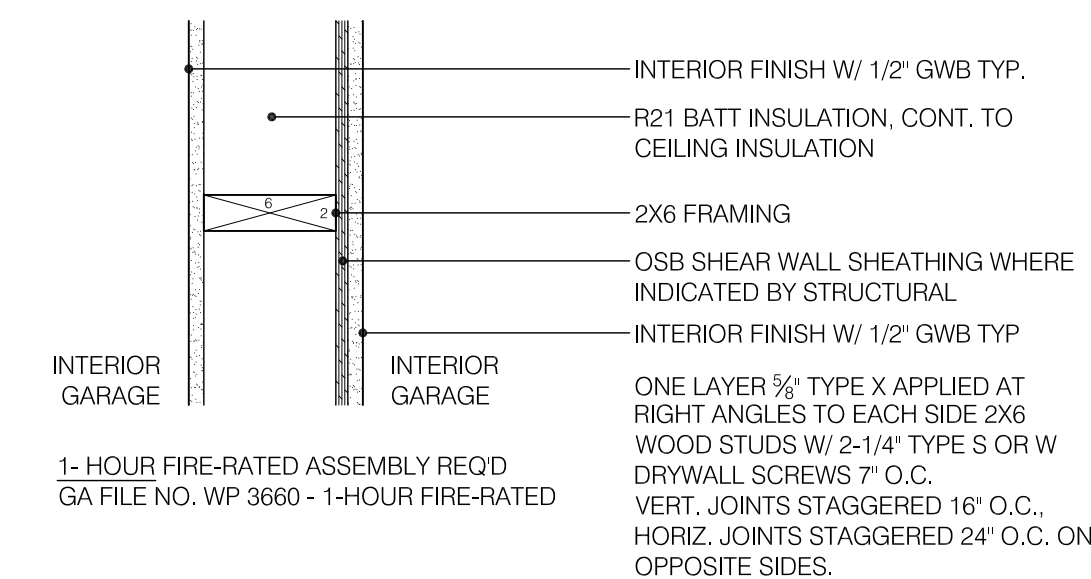
INT-2 WALL ASSEMBLY - INTERIOR  
1 1/2" = 1'-0"

EXT-2 WALL ASSEMBLY - EXTERIOR UNINSULATED  
1 1/2" = 1'-0"



INT-3 WALL ASSEMBLY - INTERIOR  
1 1/2" = 1'-0"

NOTE:  
DWELLING UNIT SEPARATION TYP PER  
IRC R302.3 EXCEPTION 2. DRAFT STOP  
IN ATTIC BETWEEN DWELLING UNITS  
PER IRC 302.12.1. PROVIDE MIN 3/8"  
THICK WOOD SHEATHING FROM  
CEILING TO ROOF AT DEMISING WALLS.



INT-4 WALL ASSEMBLY - INTERIOR  
1 1/2" = 1'-0"

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

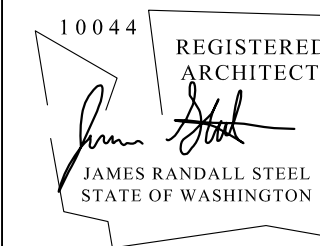
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

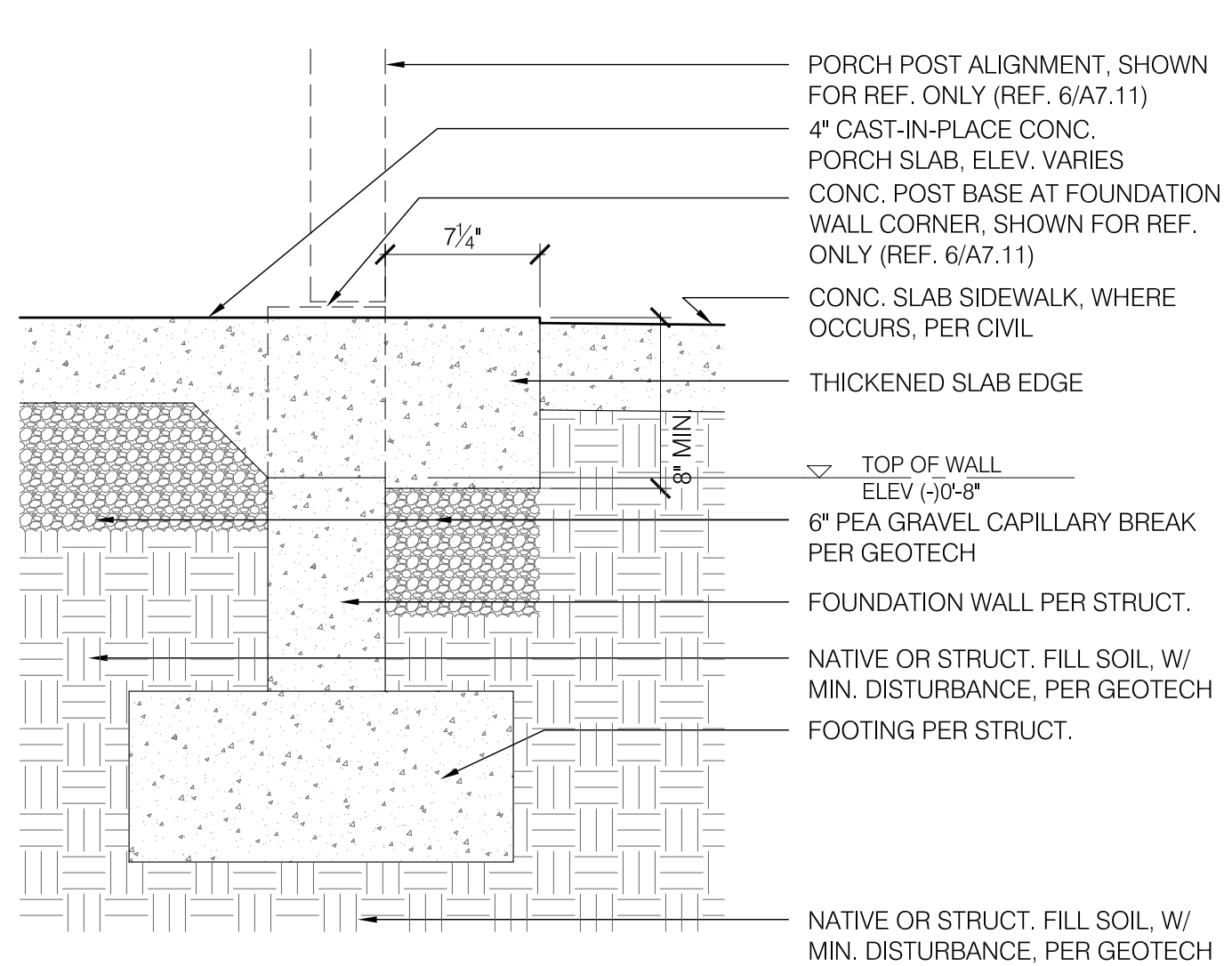
WALL SCHEDULE

SHEET NUMBER:

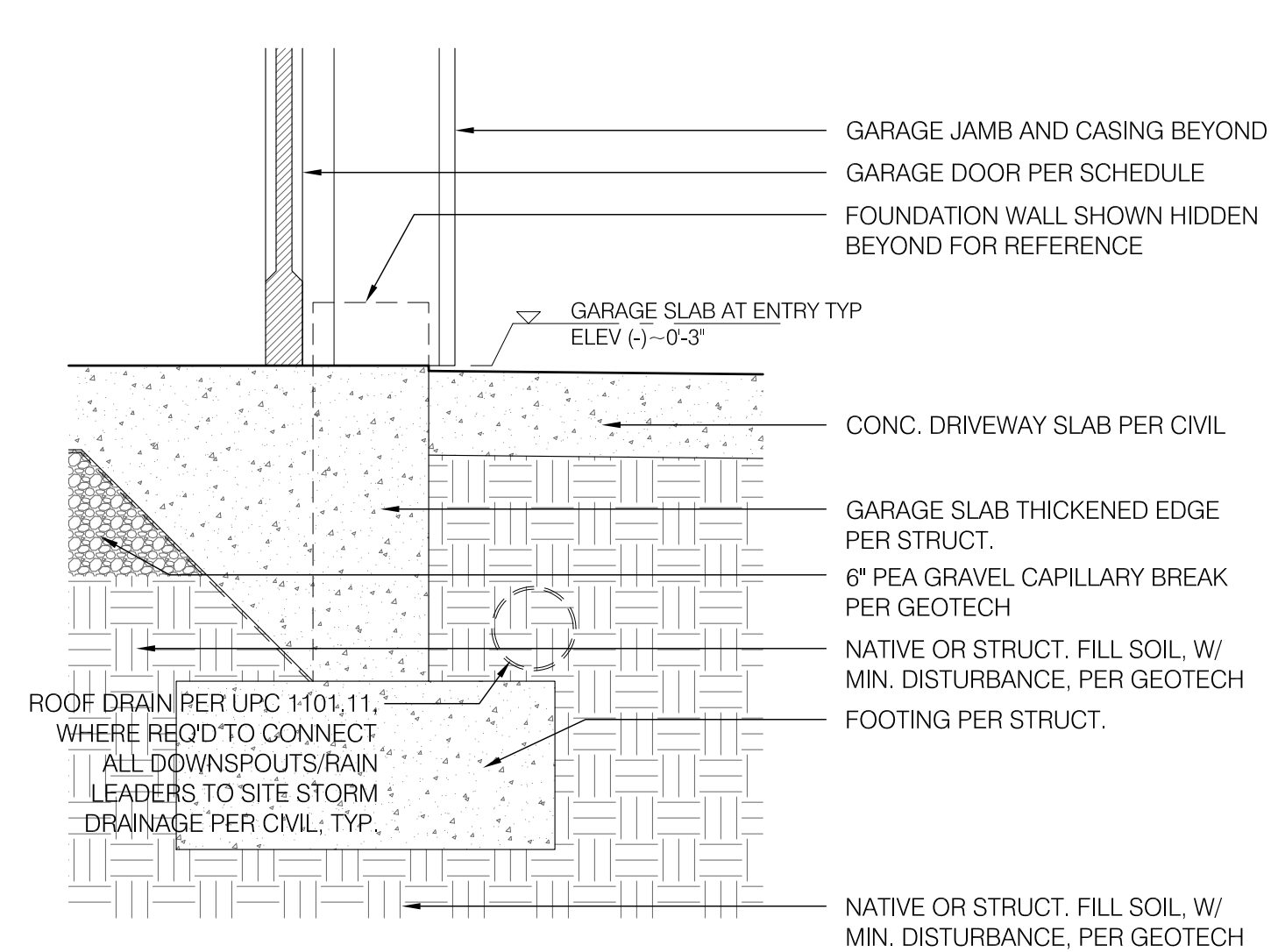
A6.2

BLDG. PERMIT APPLIC.

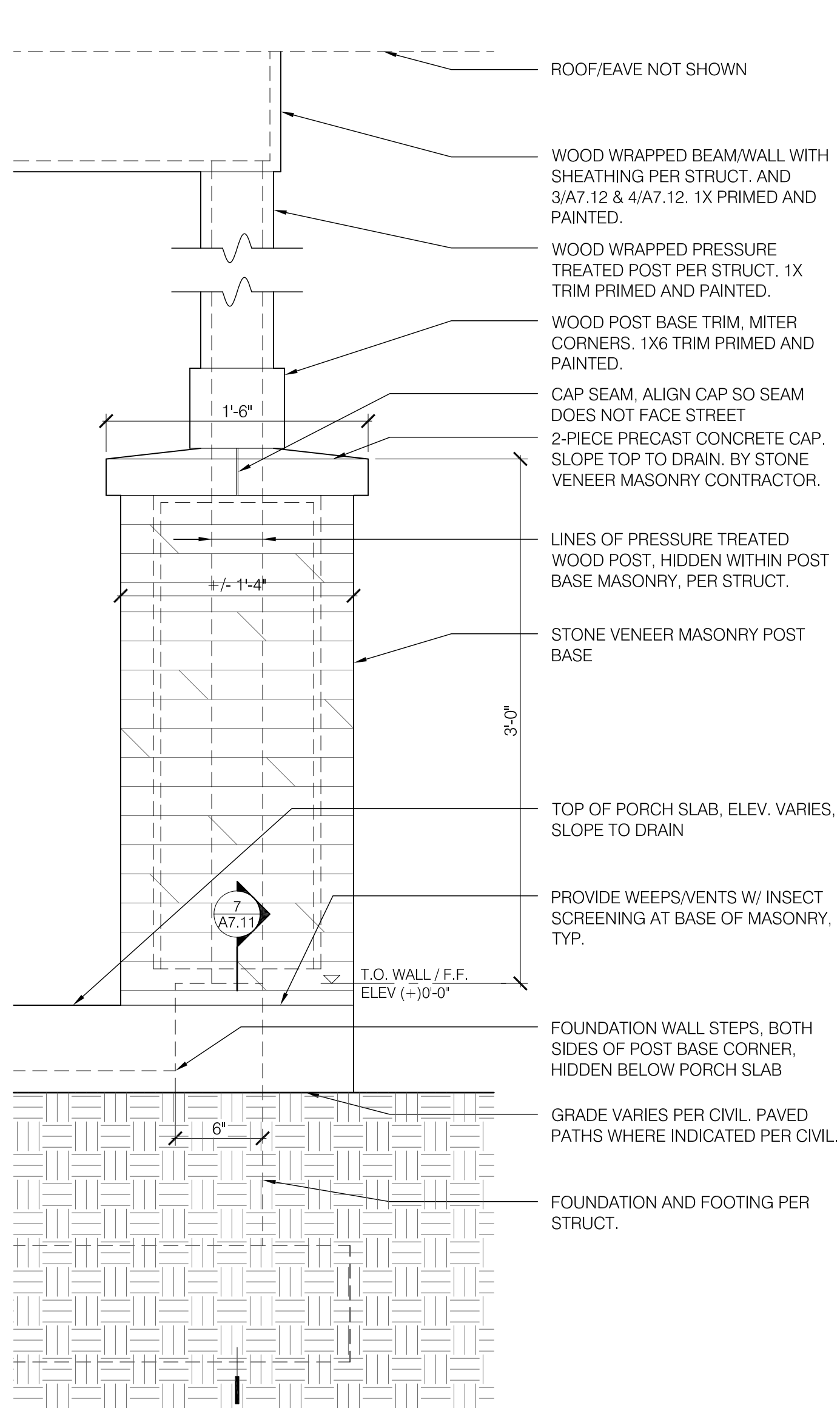




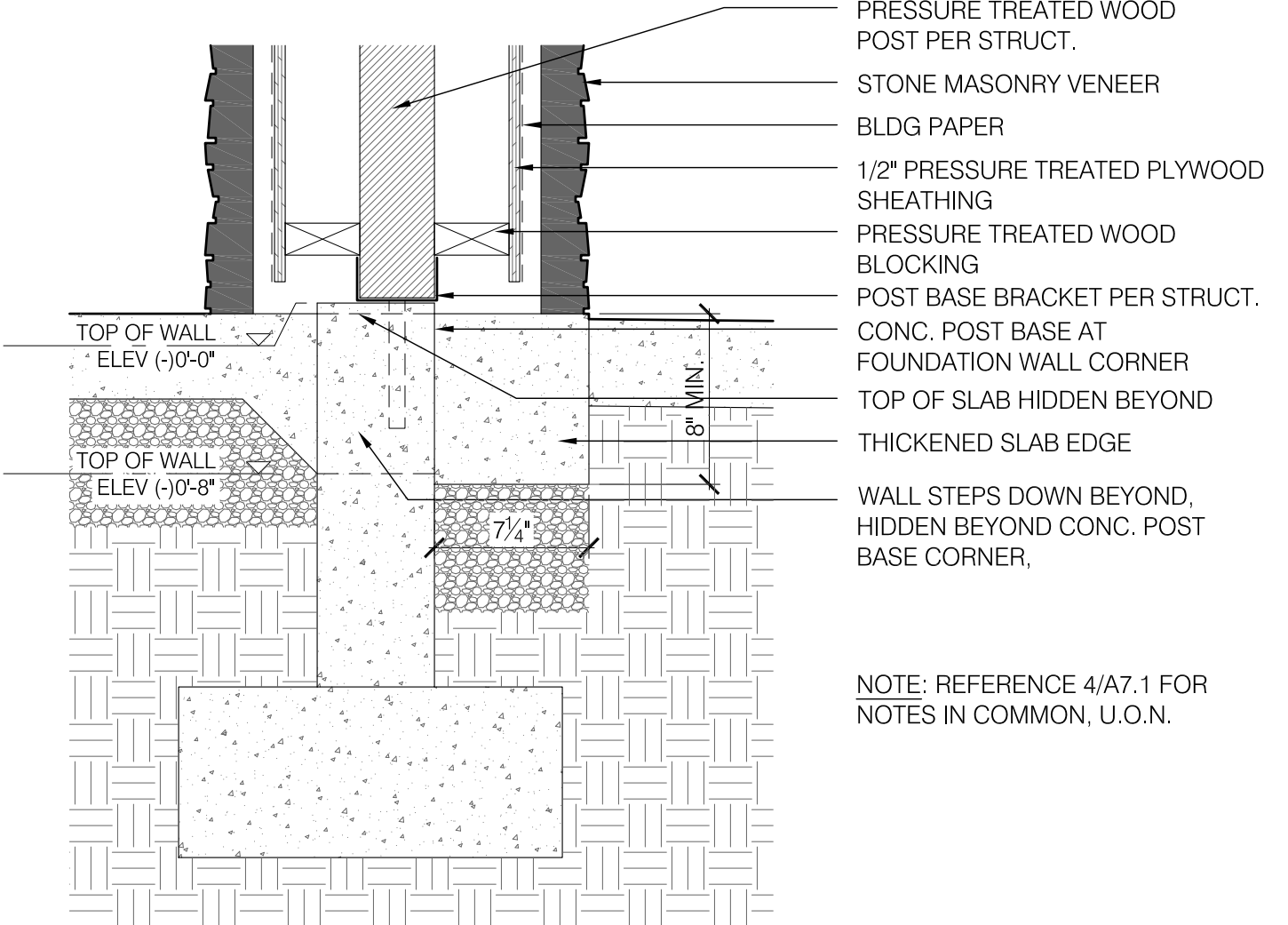
4 DETAIL - FOUNDATION AT PORCH SLAB EDGE  
1 1/2"= 1'-0"



3 DETAIL - FOUNDATION AT GARAGE ENTRY/DOOR  
1 1/2"= 1'-0"

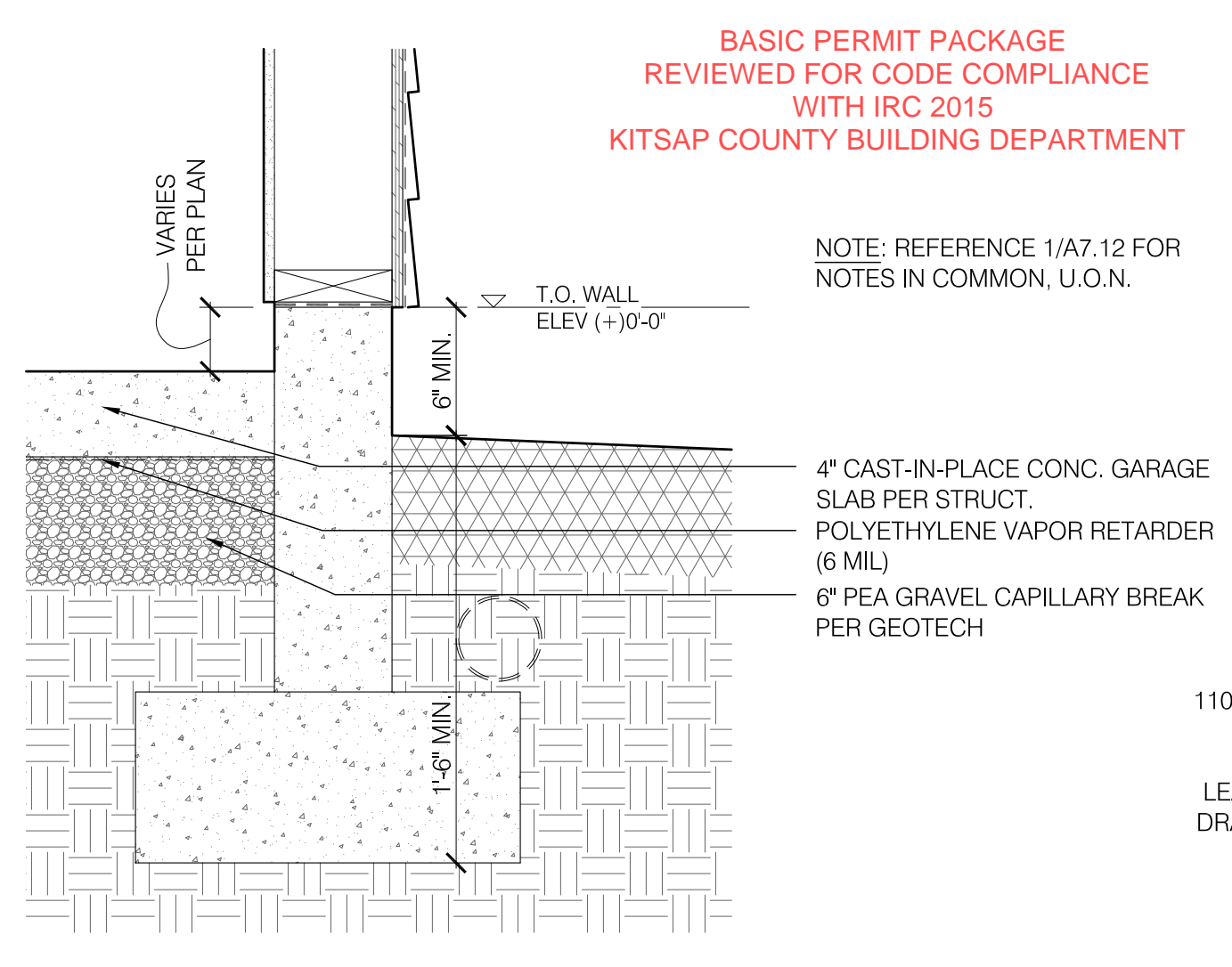


8 DETAIL - ELEVATION PORCH POST  
1 1/2"= 1'-0"

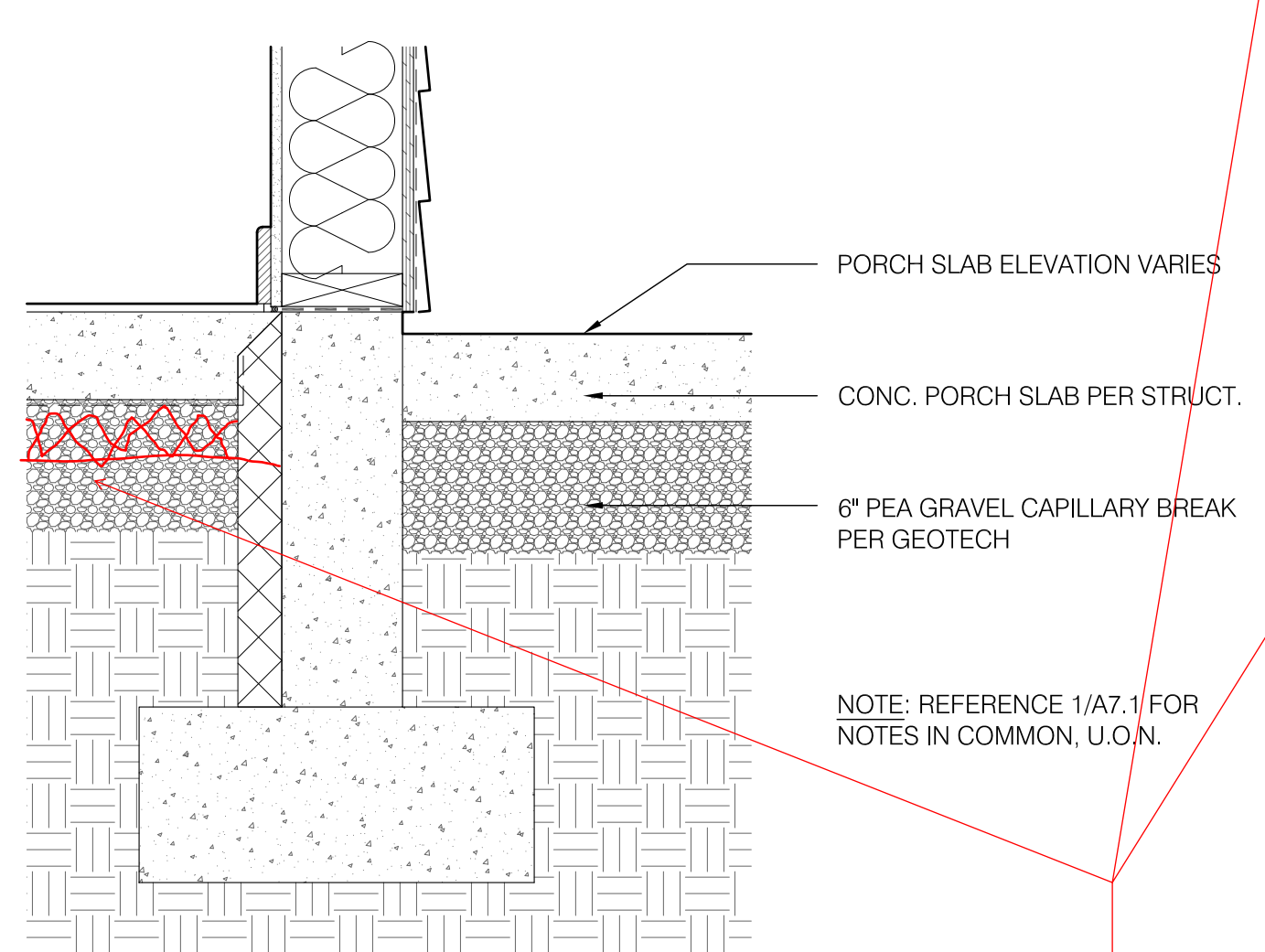


7 DETAIL - POST BASE AT PORCH SLAB EDGE  
1 1/2"= 1'-0"

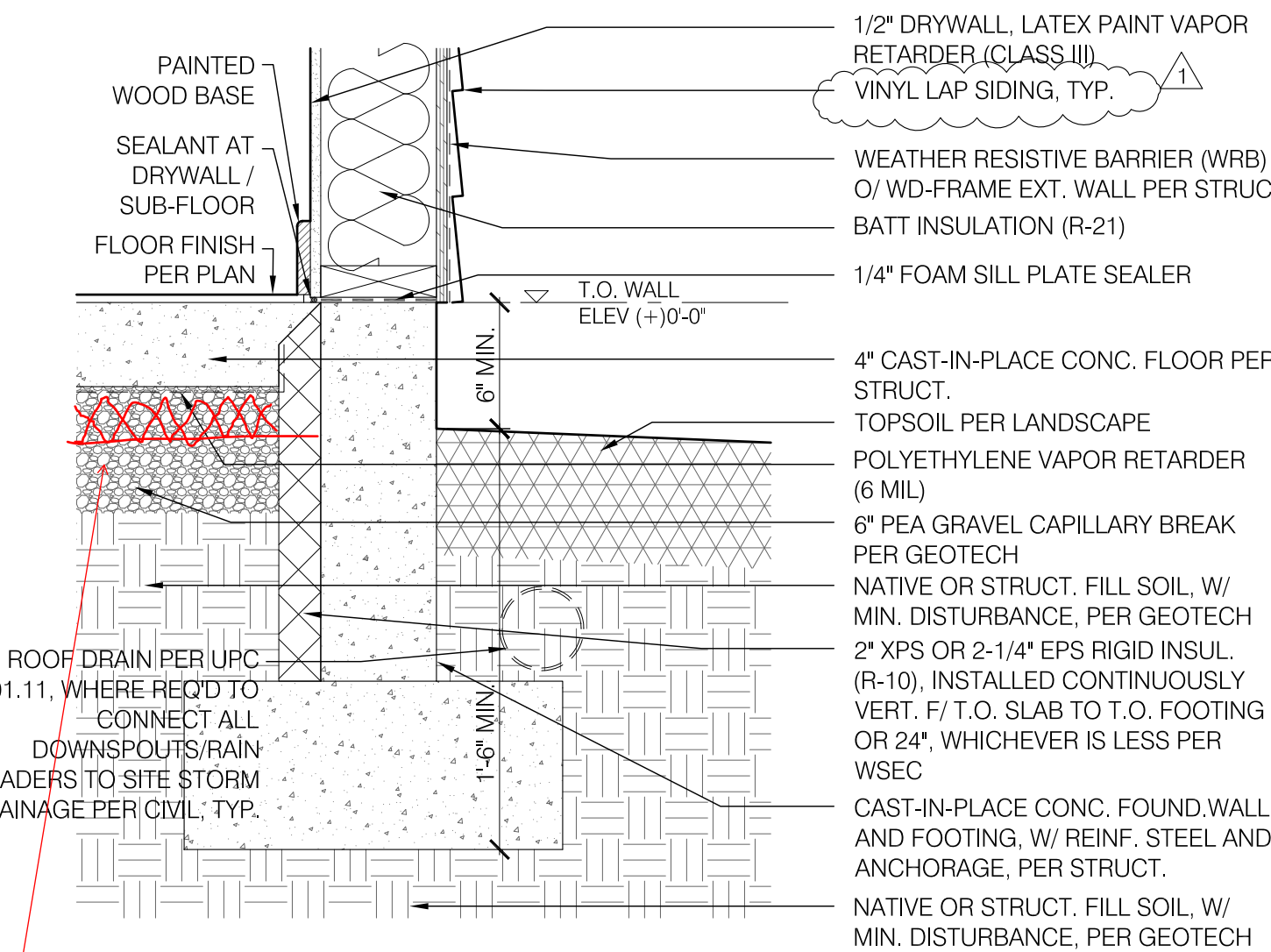
NOTE:  
REFERENCE STRUCTURAL  
DRAWINGS FOR ALL STRUCTURAL  
INFORMATION, TYP.



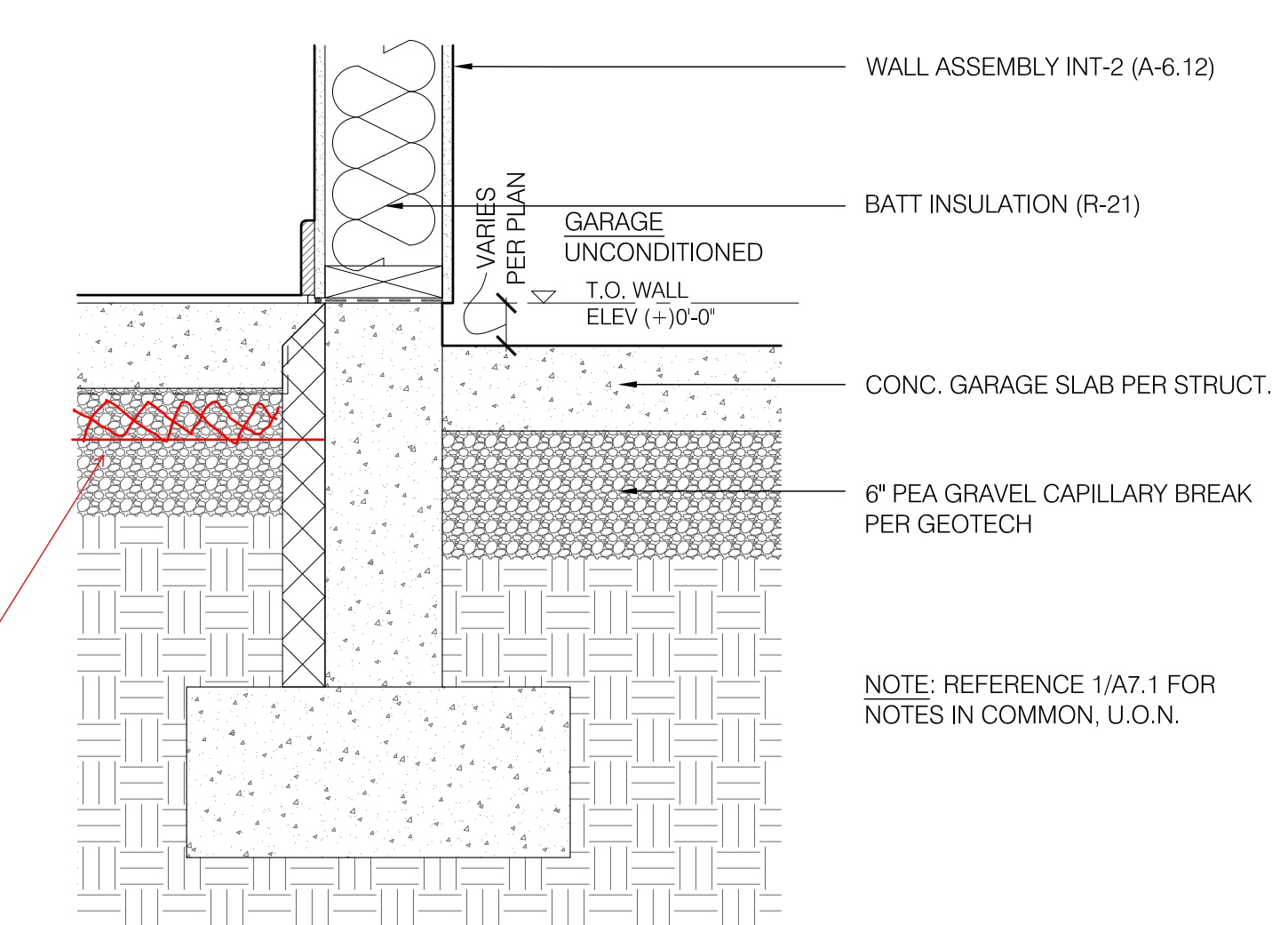
2 DETAIL - FOUNDATION WALL AT UNCOND. GARAGE  
1 1/2"= 1'-0"



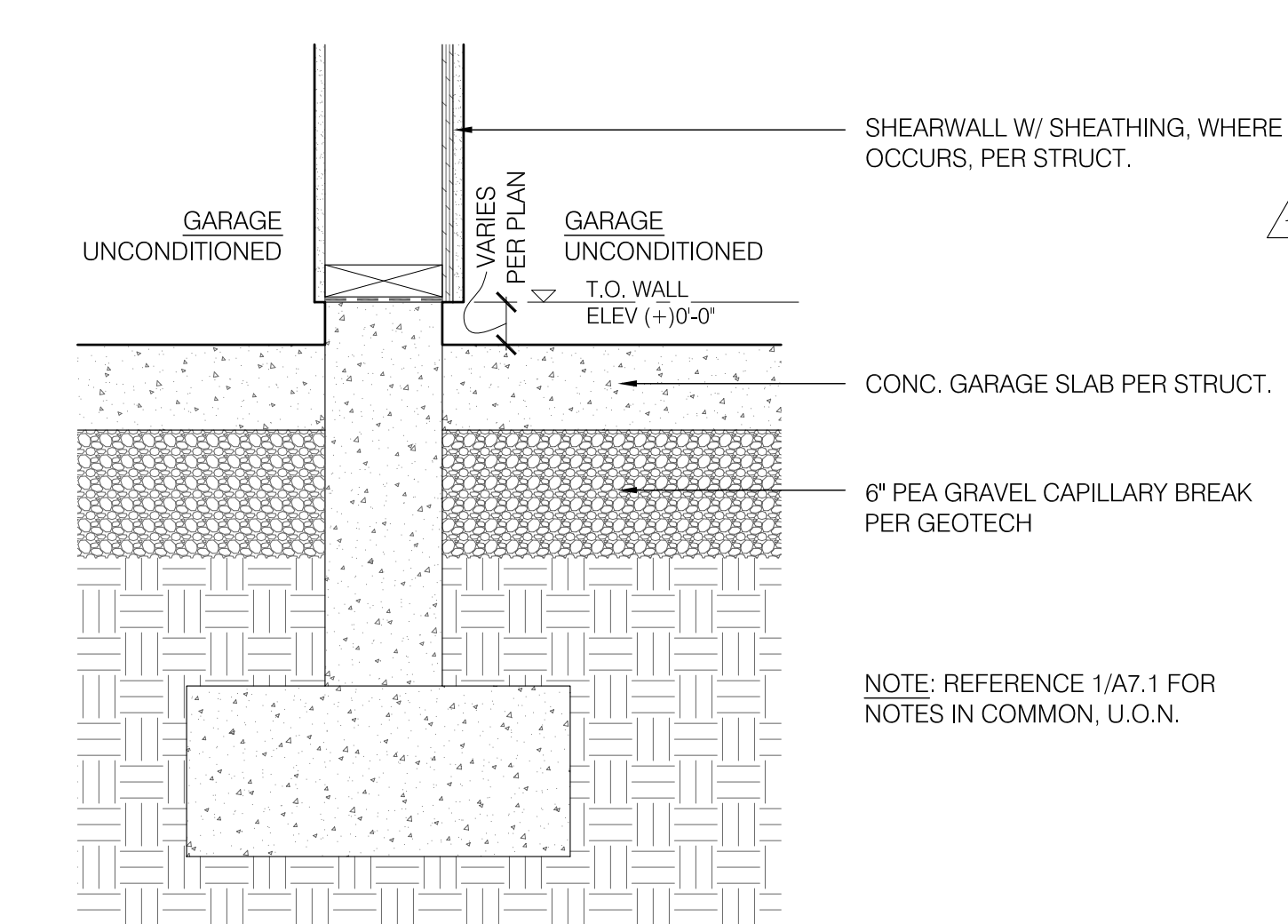
6 DETAIL - FOUNDATION WALL AT PORCH SLAB  
1 1/2"= 1'-0"



1 DETAIL - FOUNDATION WALL TYP  
1 1/2"= 1'-0"



5 DETAIL - FOUNDATION WALL AT GARAGE/UNIT  
1 1/2"= 1'-0"



9 DETAIL - FOUNDATION WALL AT GARAGE/GARAGE  
1 1/2"= 1'-0"

See Engineered Plans

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us 05/04/2020  
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us 05/01/2020

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT

JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

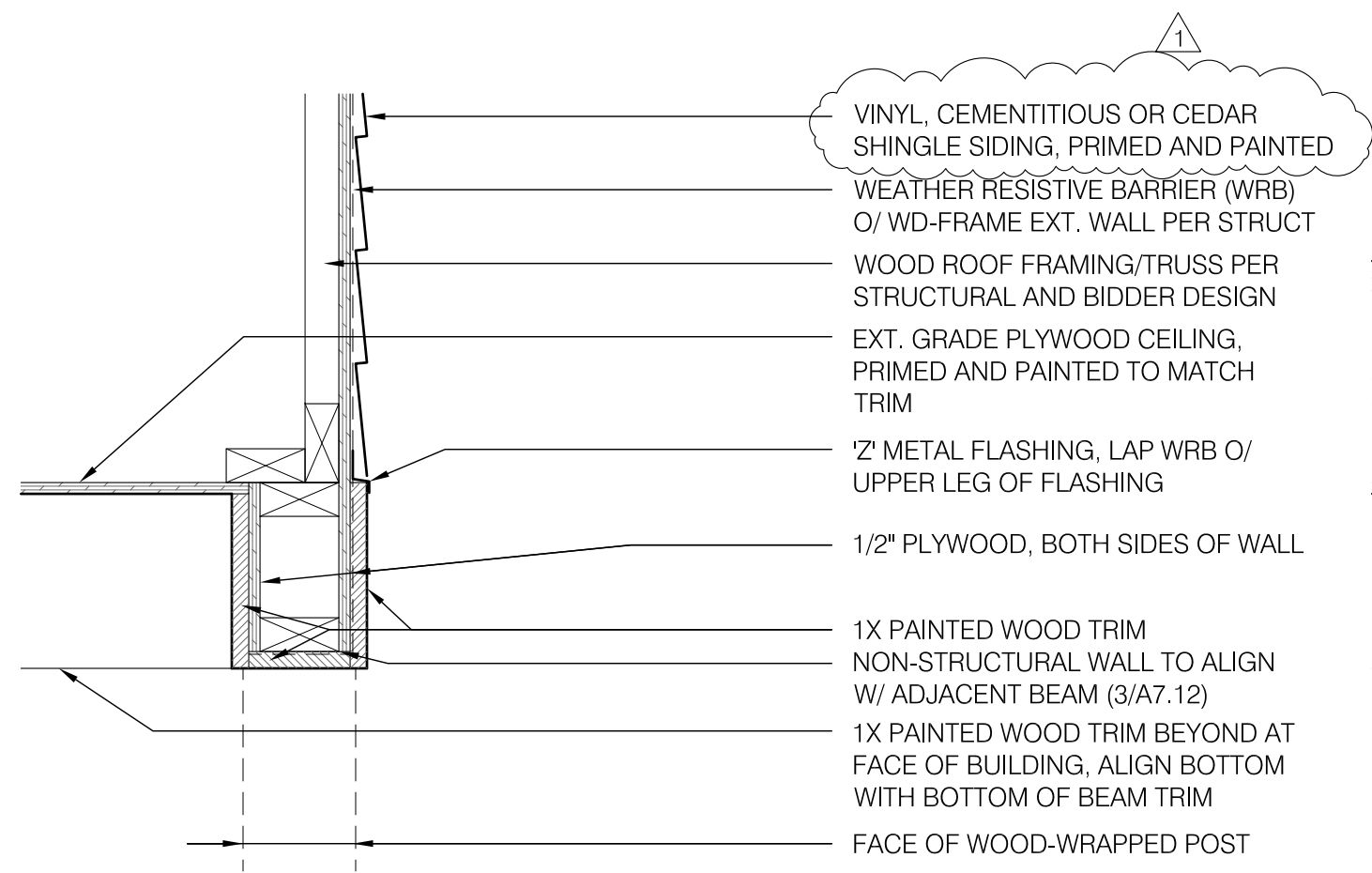
EXTERIOR DETAILS

SHEET NUMBER:

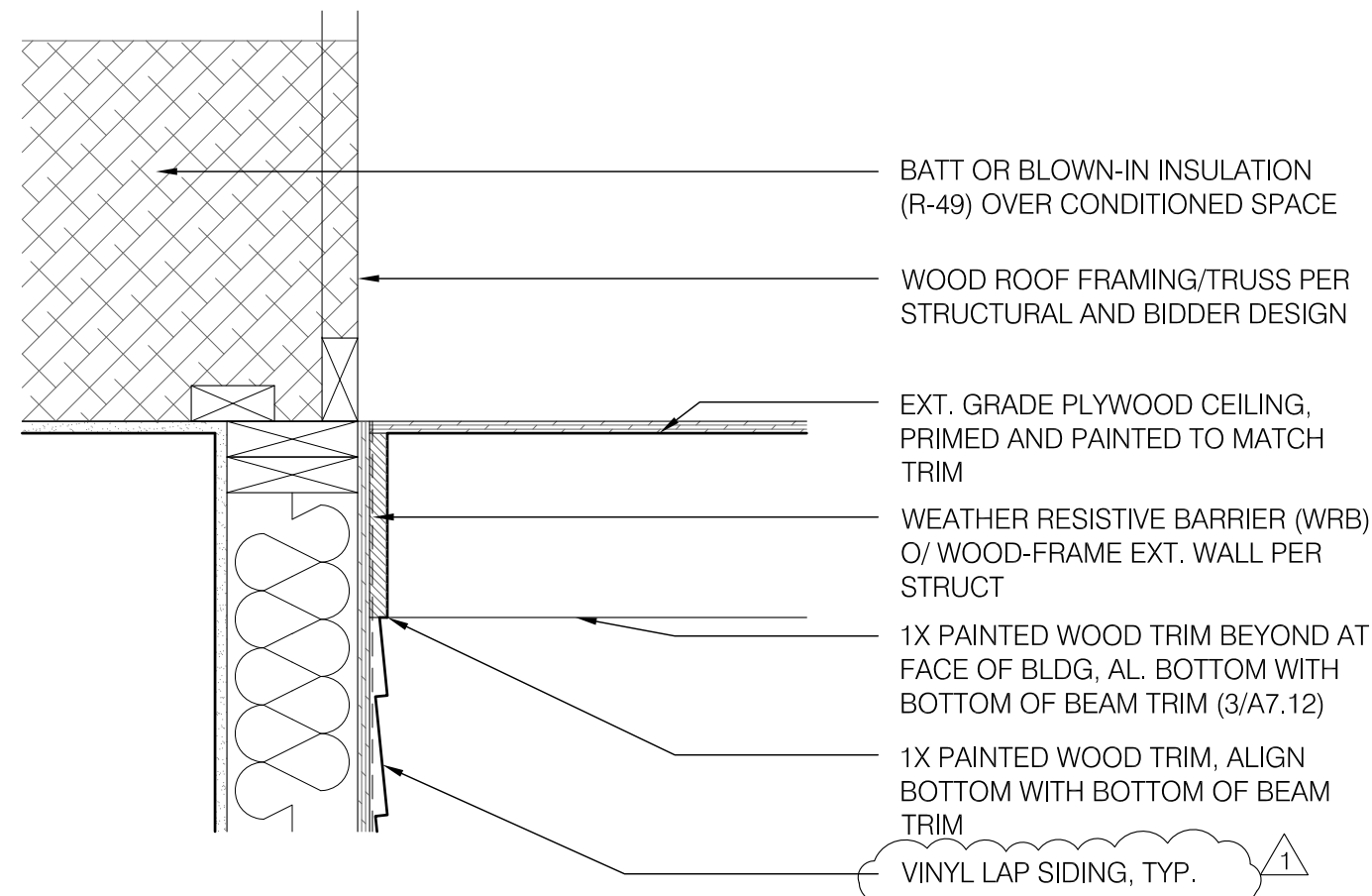
A7.1

BLDG. PERMIT APPLIC.

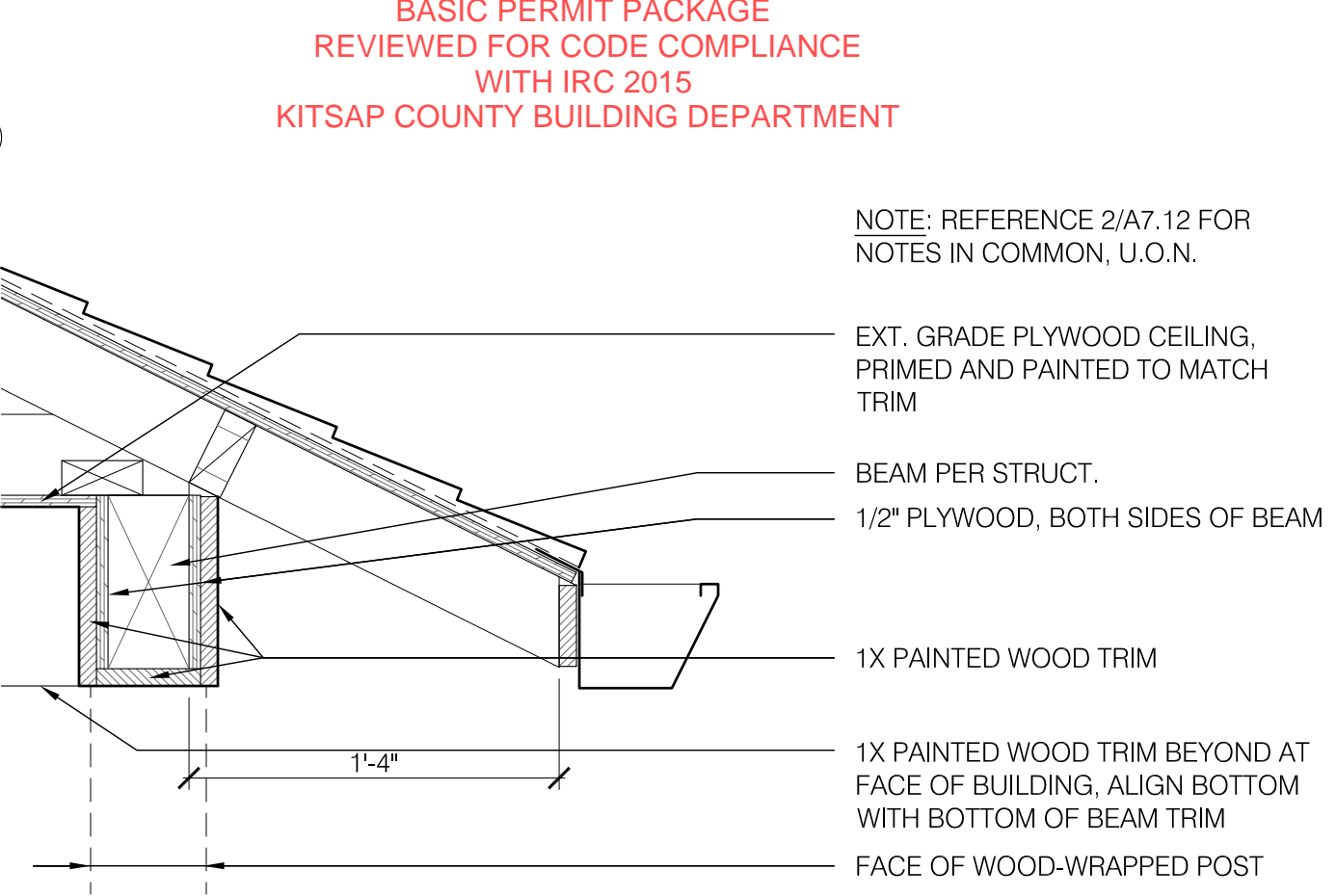




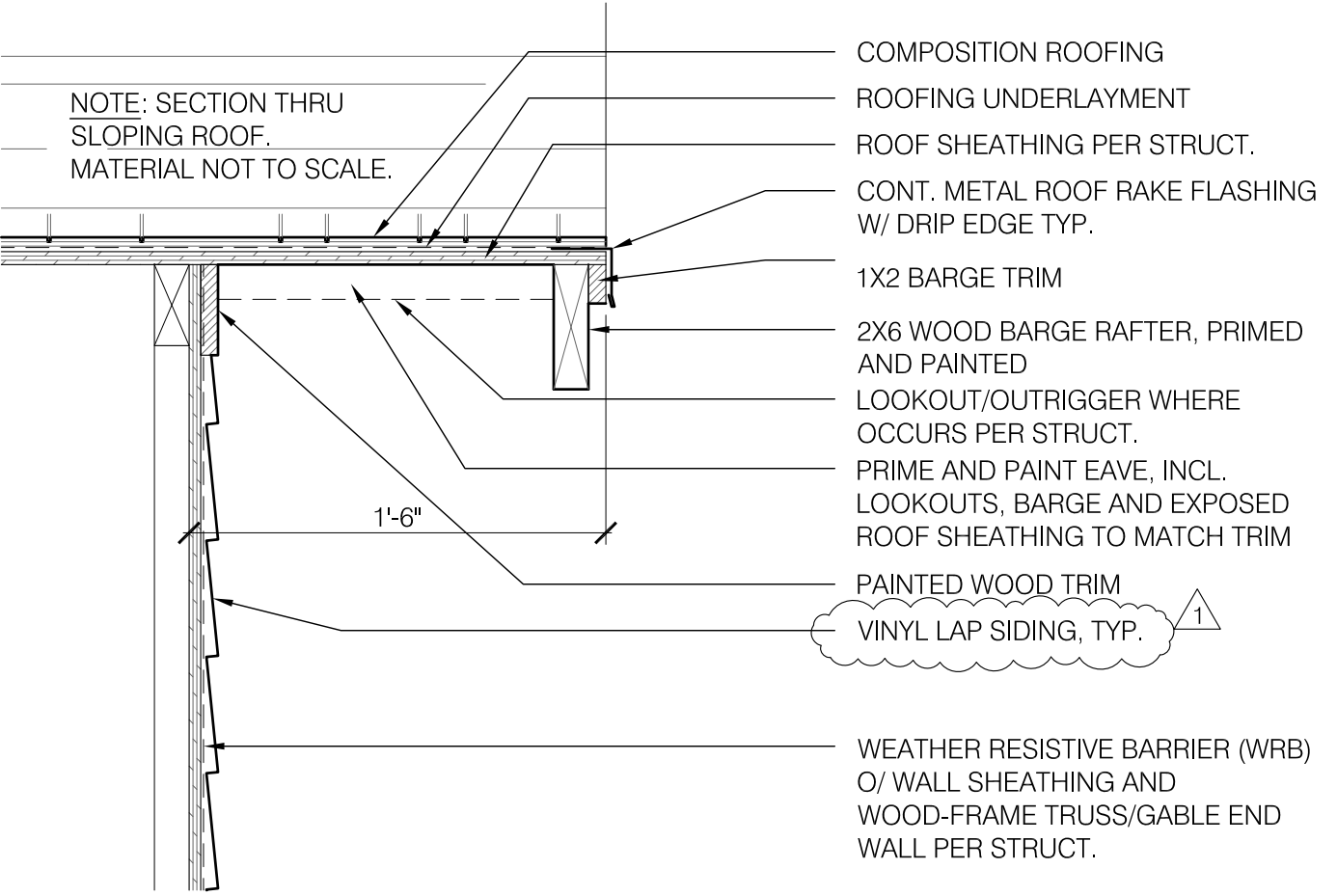
4 DETAIL - GABLE END AT PORCH CEILING  
1 1/2" = 1'-0"



8 DETAIL  
1 1/2" = 1'-0"

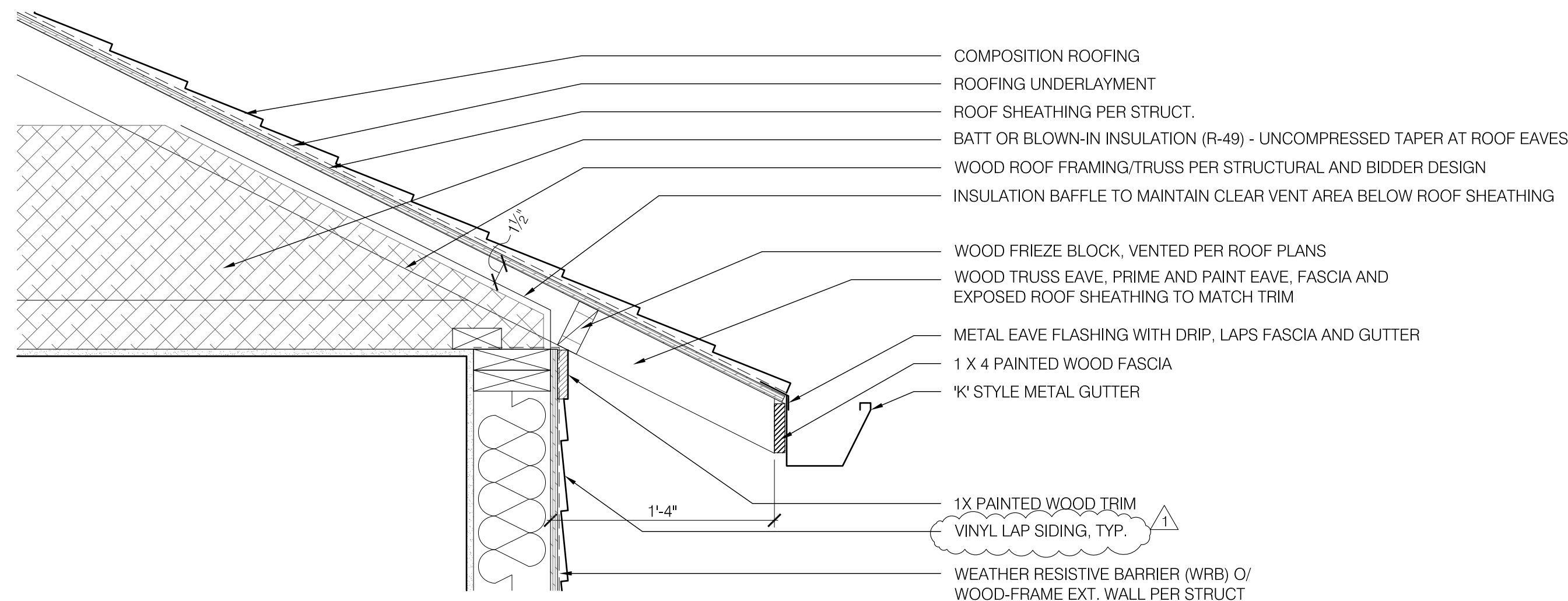


3 DETAIL - ROOF EAVE AT PORCH  
1 1/2" = 1'-0"

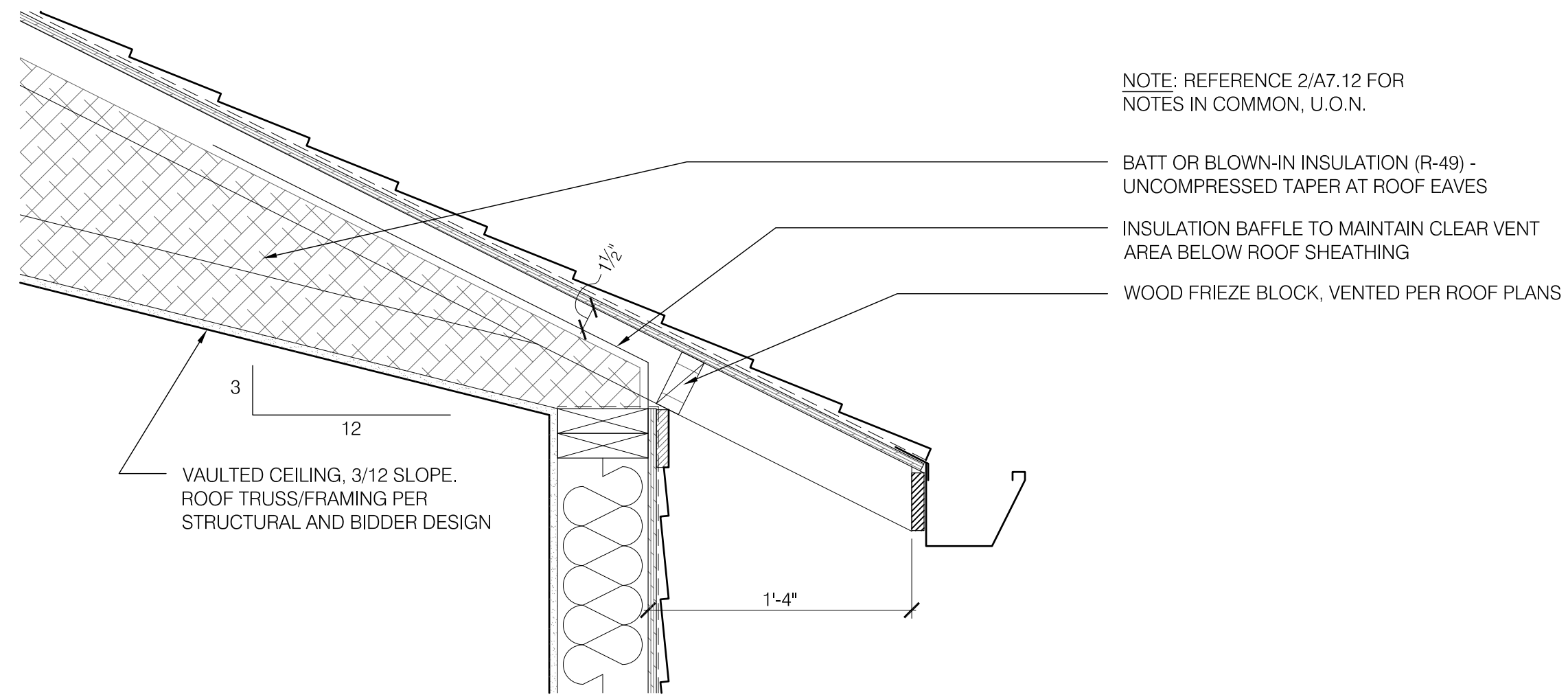


7 DETAIL - TRUSS/GABLE END WALL RAKE EAVE TYP.  
1 1/2" = 1'-0"

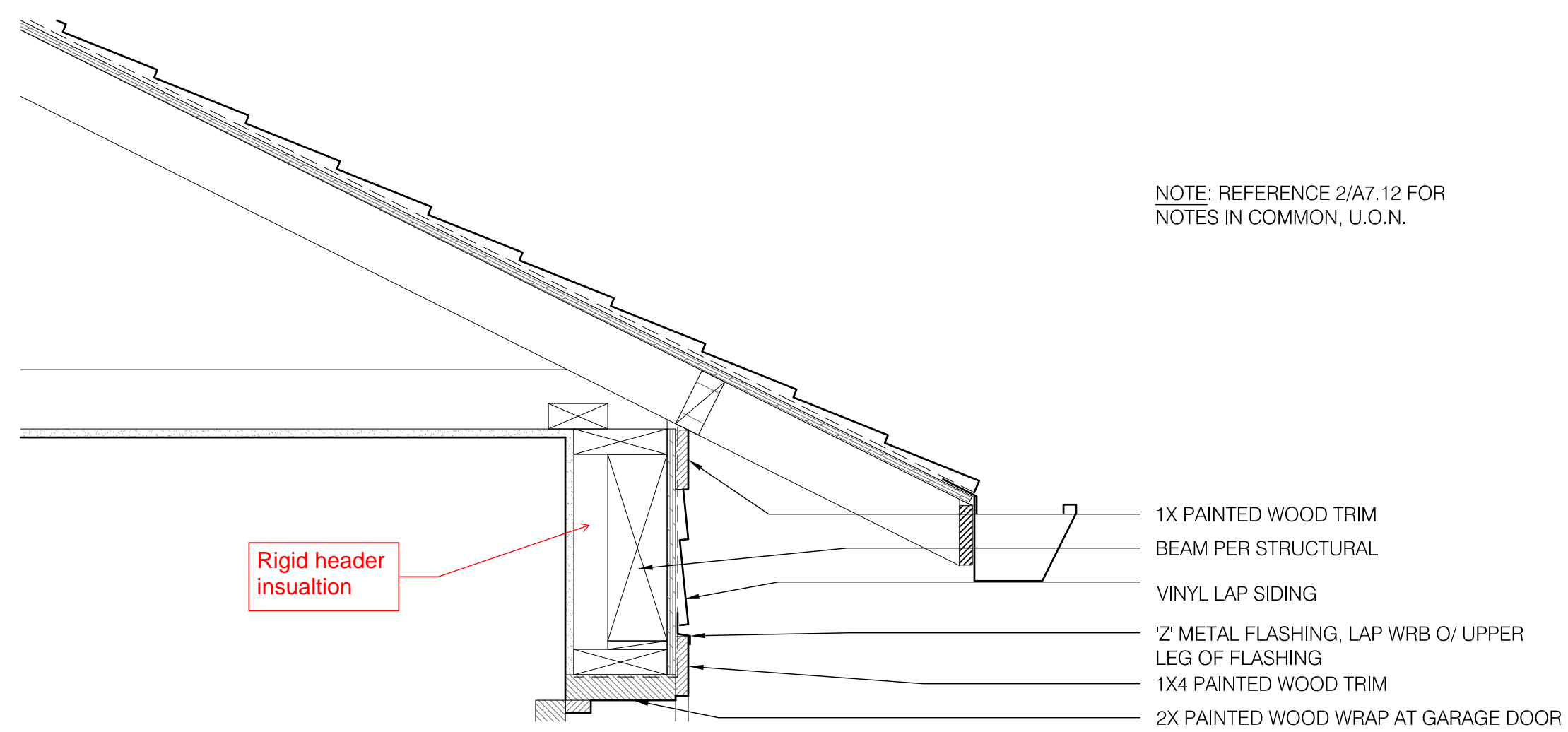
NOTE:  
REFERENCE STRUCTURAL  
DRAWINGS FOR ALL STRUCTURAL  
INFORMATION, TYP.



2 DETAIL - ROOF EAVE TYP.  
1 1/2" = 1'-0"



6 DETAIL - ROOF EAVE AT VAULTED CEILING  
1 1/2" = 1'-0"



10 DETAIL - ROOF EAVE AT GARAGE DOOR HEAD  
1 1/2" = 1'-0"

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

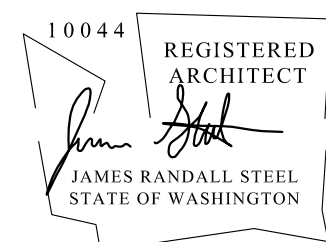
Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR DETAILS

SHEET NUMBER:

A7.2

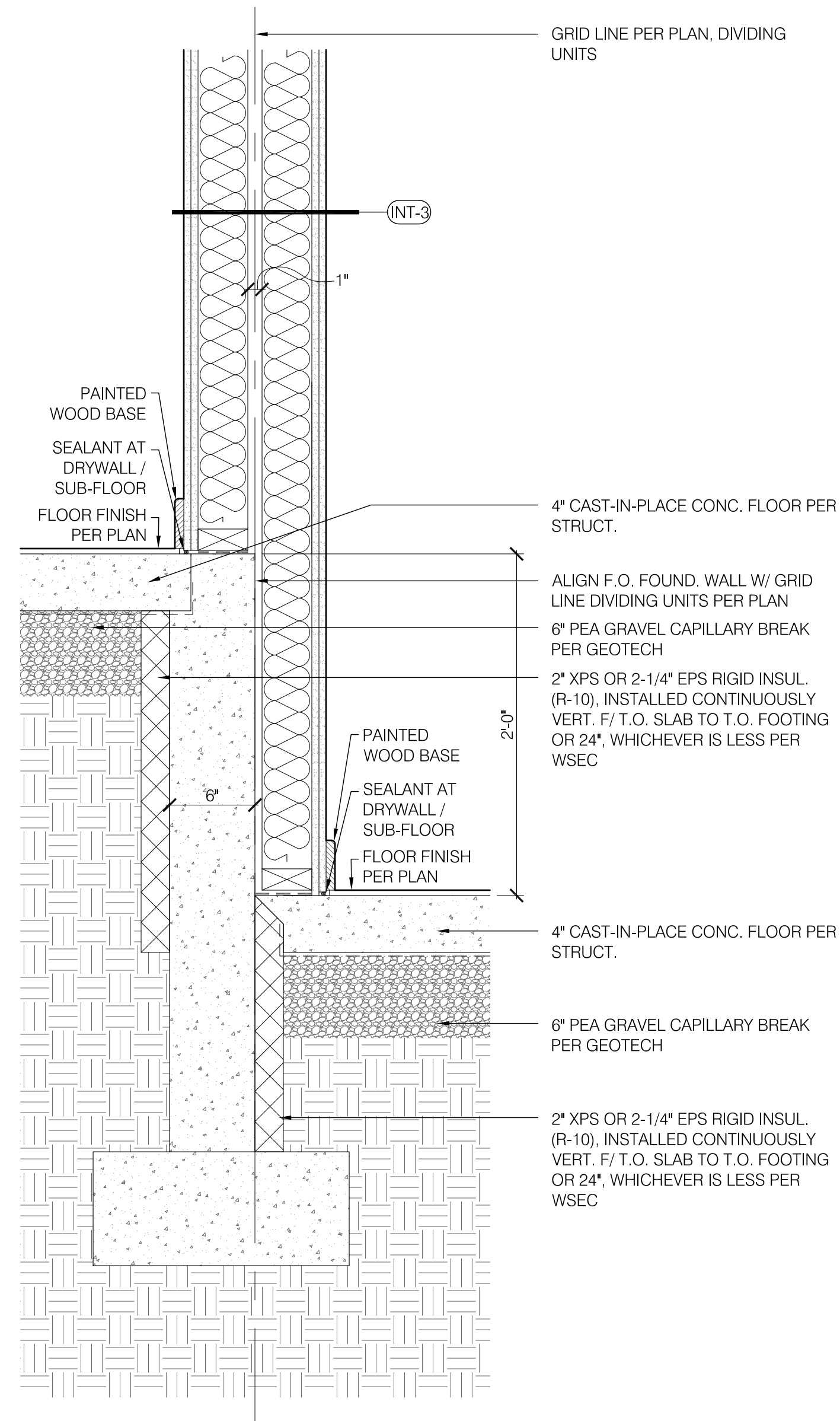
BLDG. PERMIT APPLIC.



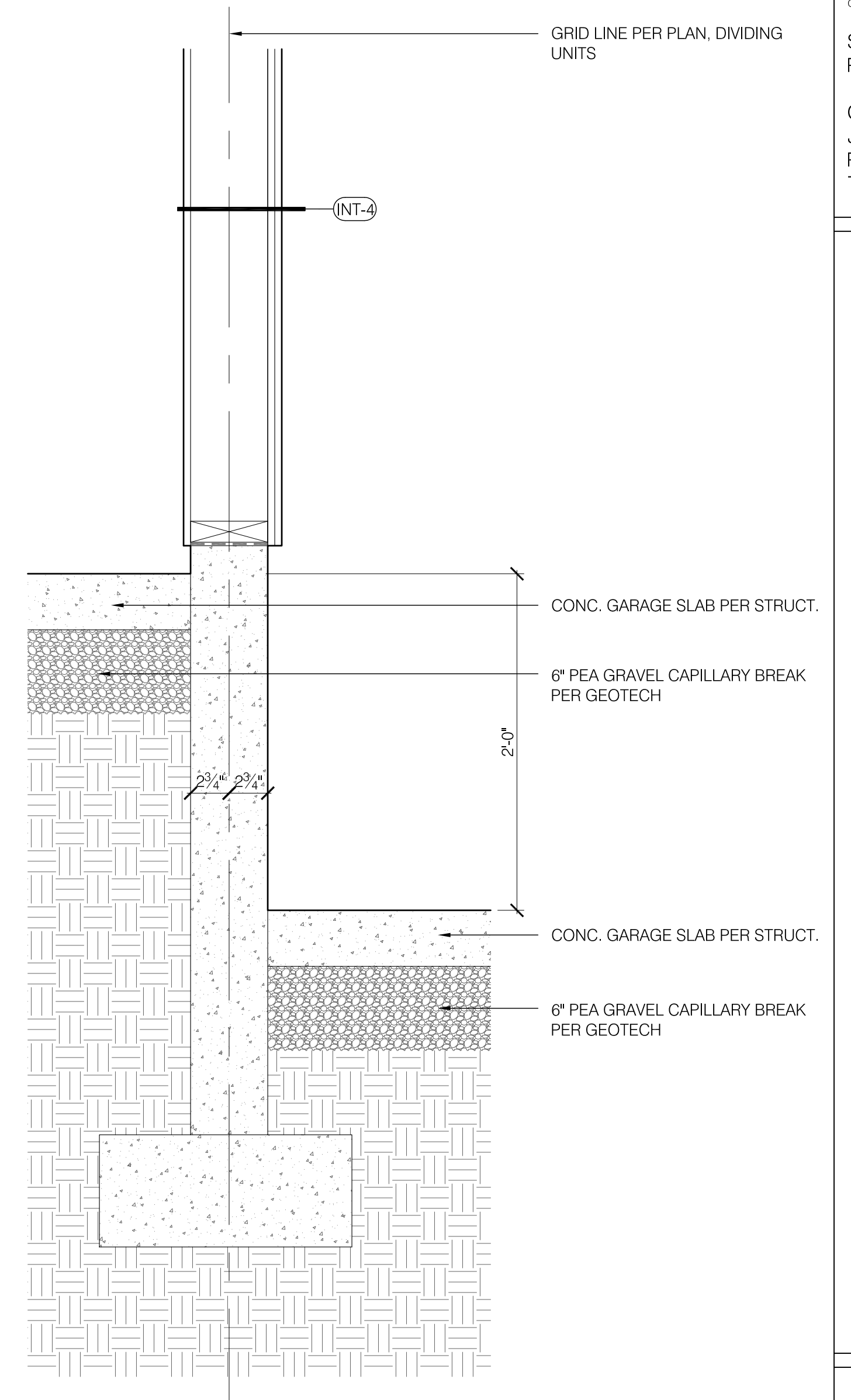
BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020



5 DETAIL - STEPPED FOUNDATION WALL AT PARTY WALL  
1 1/2" = 1'-0"



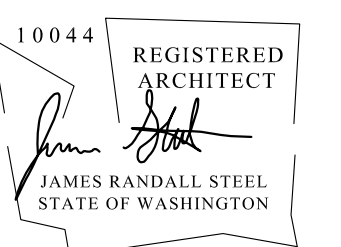
1 DETAIL - STEPPED FOUNDATION WALL AT GARAGE PARTY WALL  
1 1/2" = 1'-0"

NOTE:  
REFERENCE STRUCTURAL  
DRAWINGS FOR ALL STRUCTURAL  
INFORMATION, TYP.

STEEL ARCHITECTS  
LLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
ACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

2 X 34 =	FULL SIZE
X 17 =	HALF SIZE

DRAWING TITLE:

## EXTERIOR DETAILS

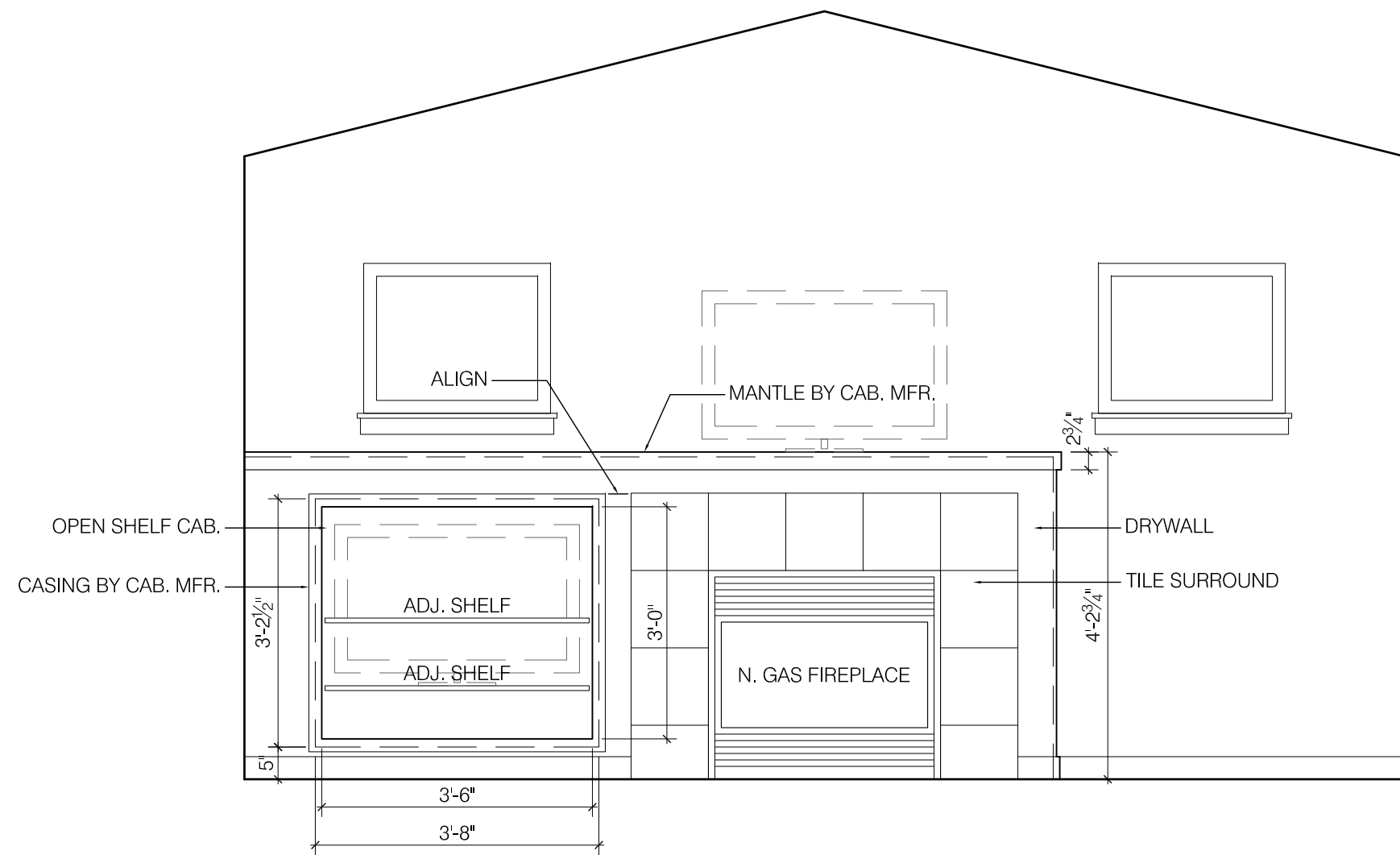
SHEET NUMBER:

### A7.3

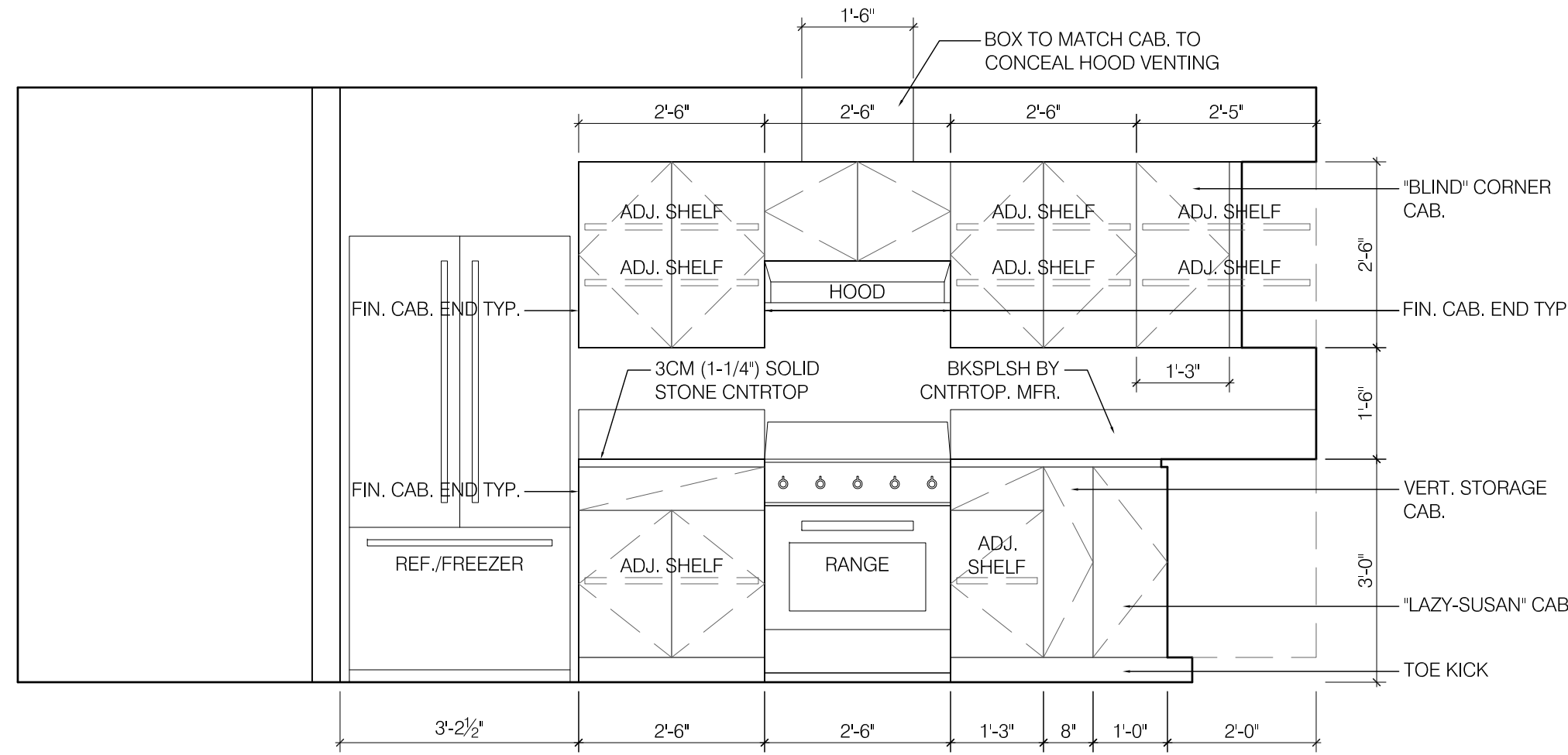
BLDG. PERMIT APPLIC.

## See Engineered Plans

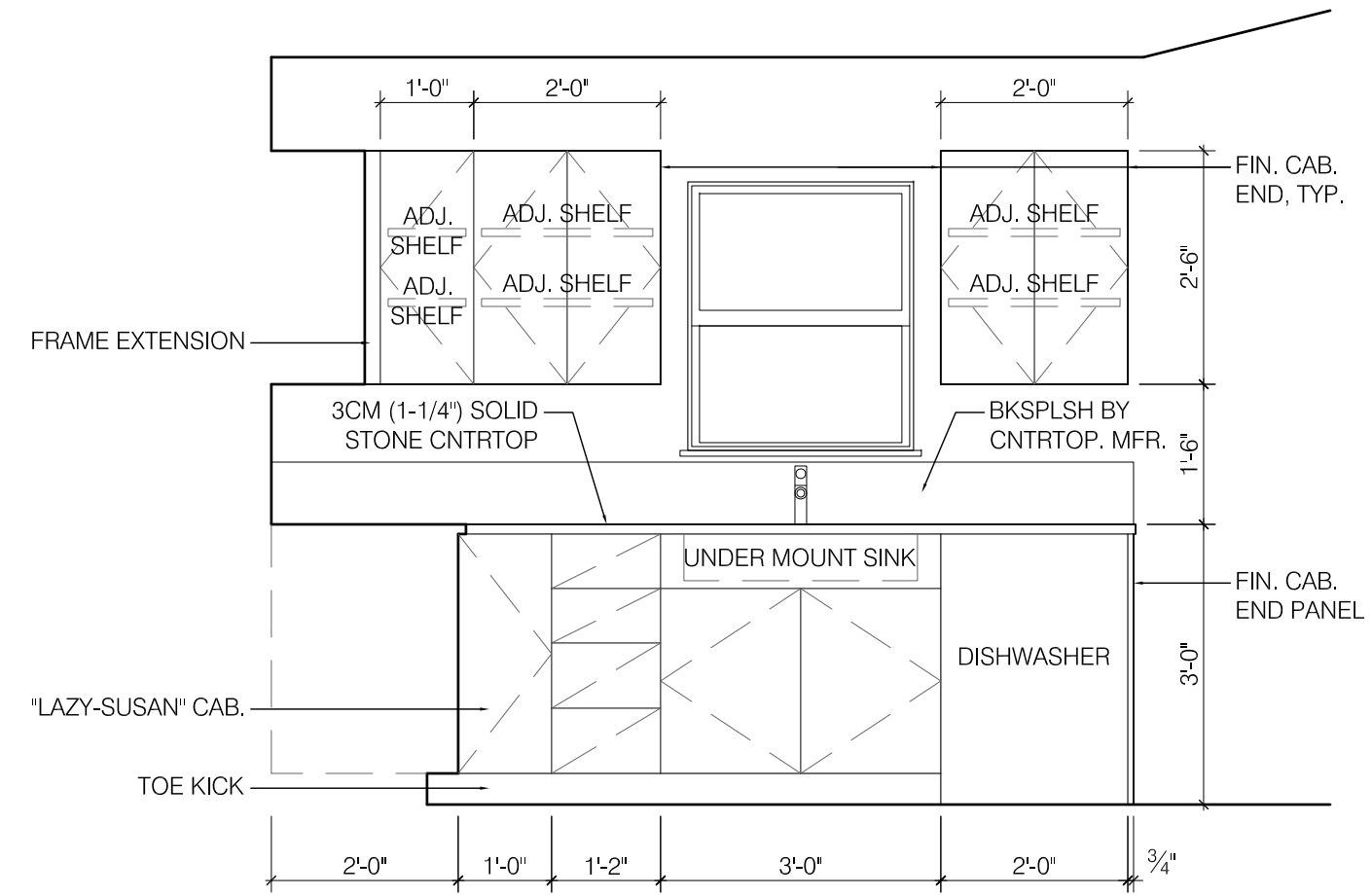




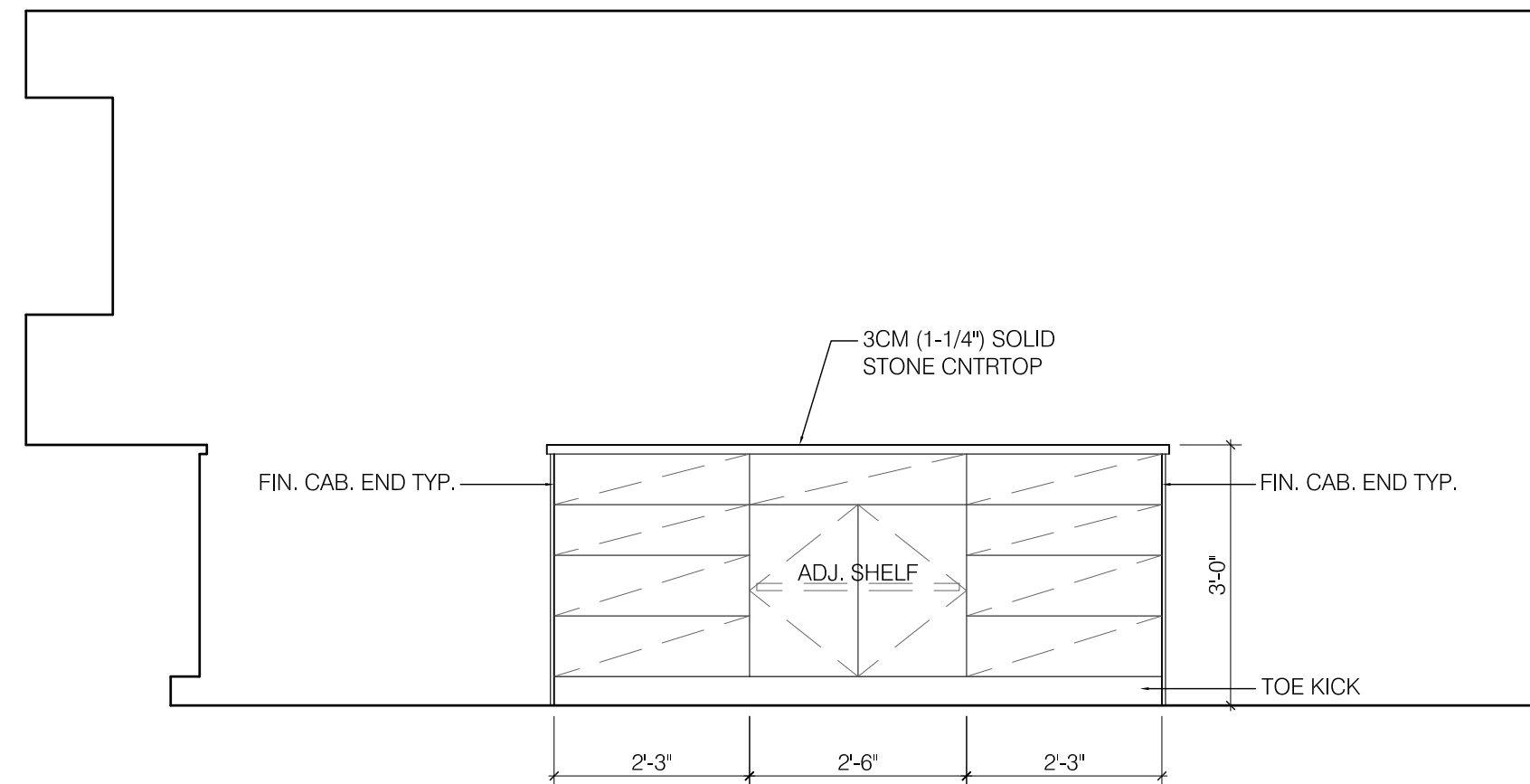
1 LIVING RM (06) ELEV.  
1/2" = 1'-0"



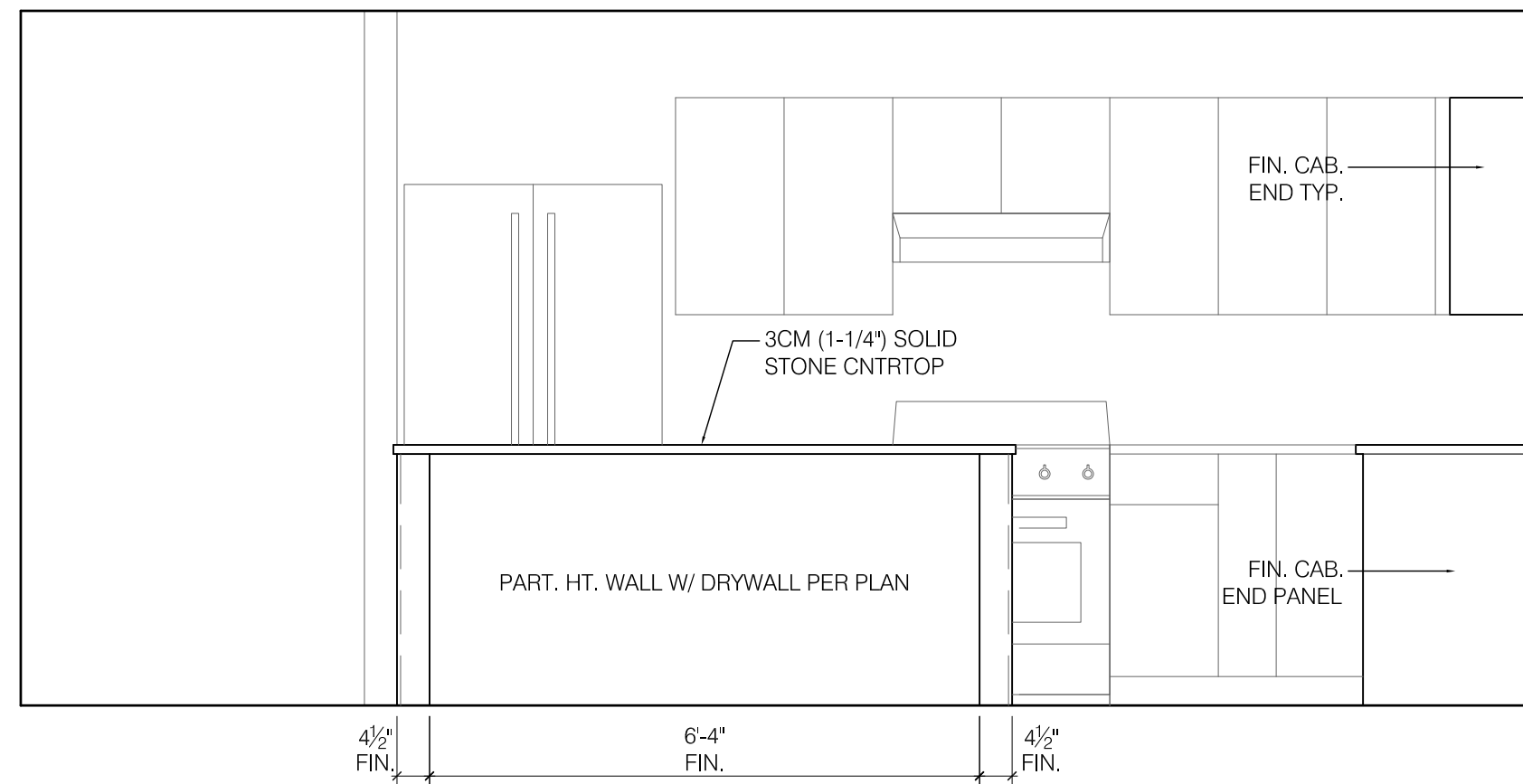
2 KITCHEN (05) ELEV.  
1/2" = 1'-0"



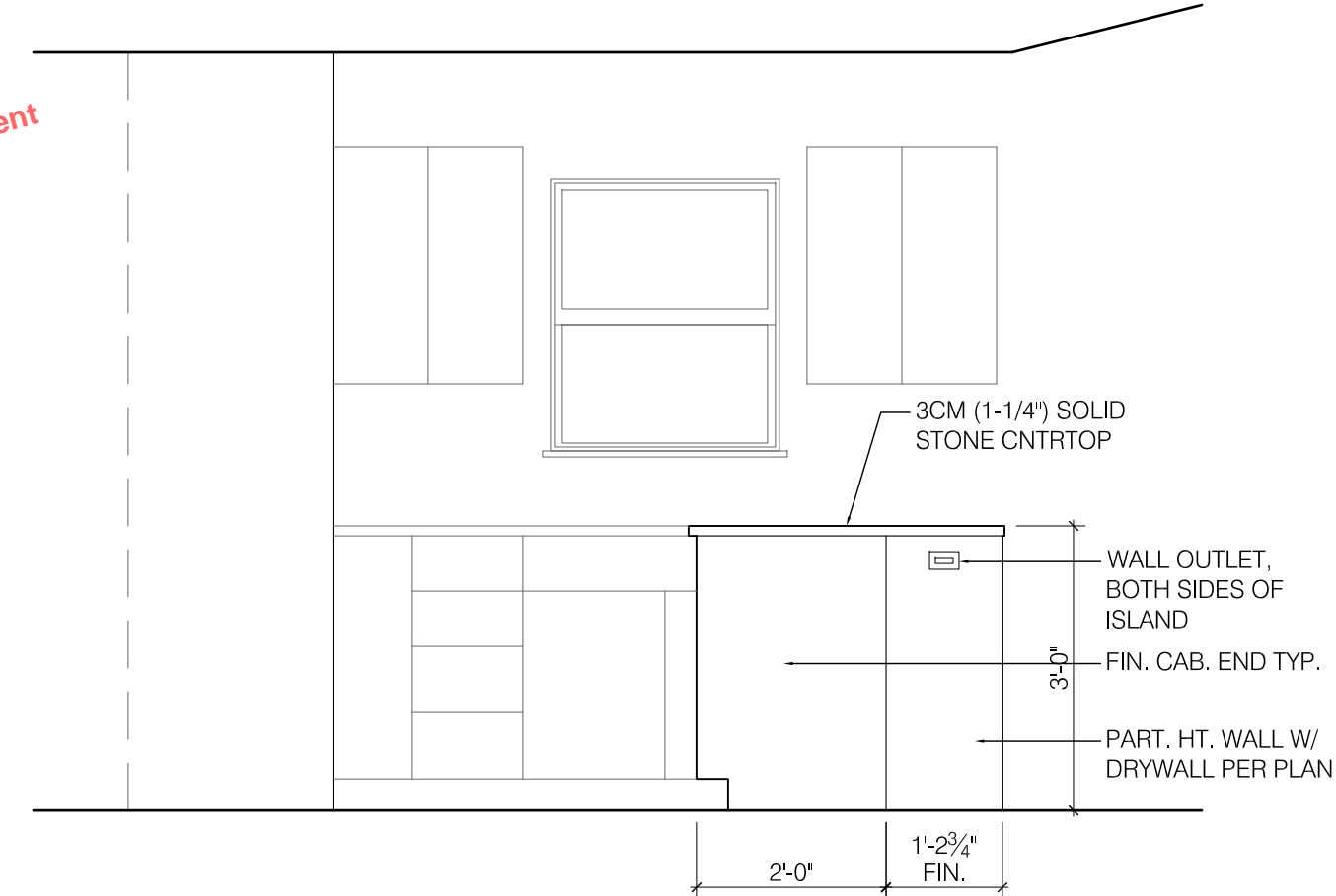
3 KITCHEN (05) ELEV.  
1/2" = 1'-0"



4 KITCHEN (05) ELEV.  
1/2" = 1'-0"

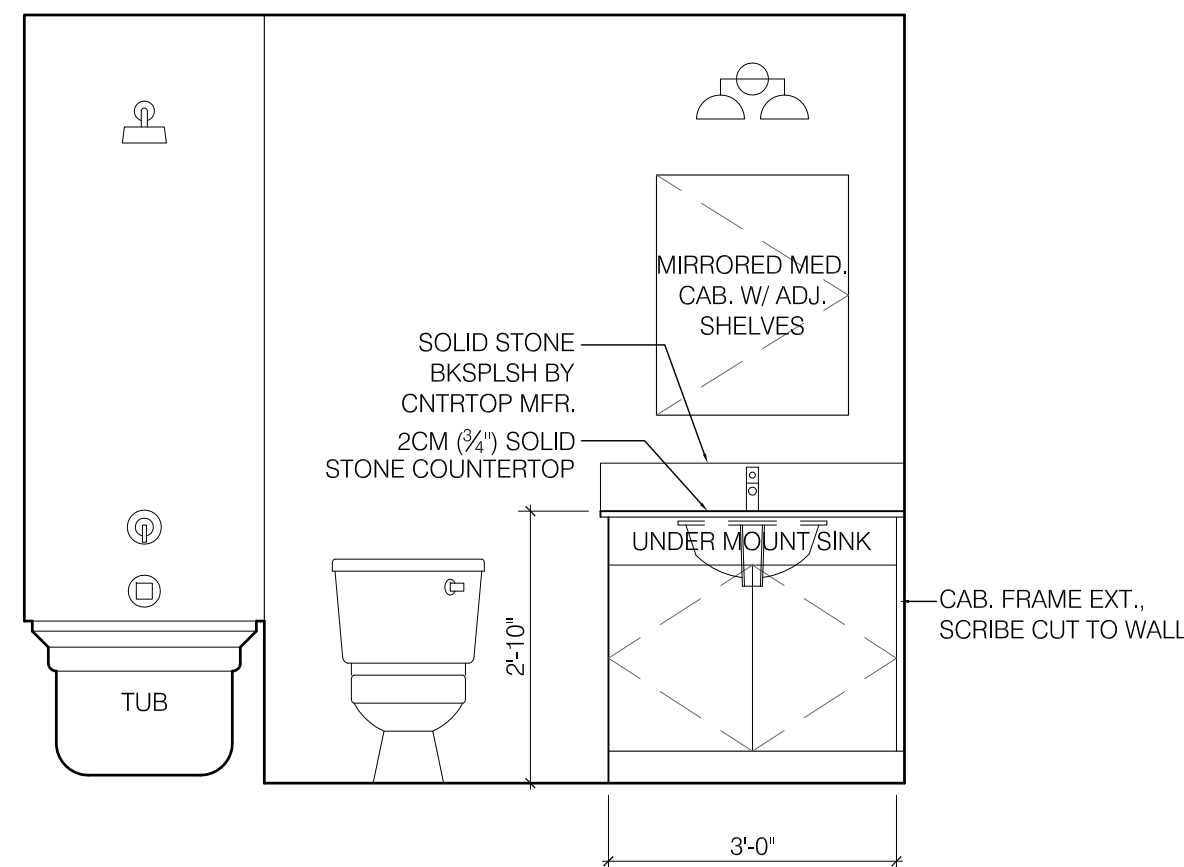


5 KITCHEN (05) ELEV.  
1/2" = 1'-0"

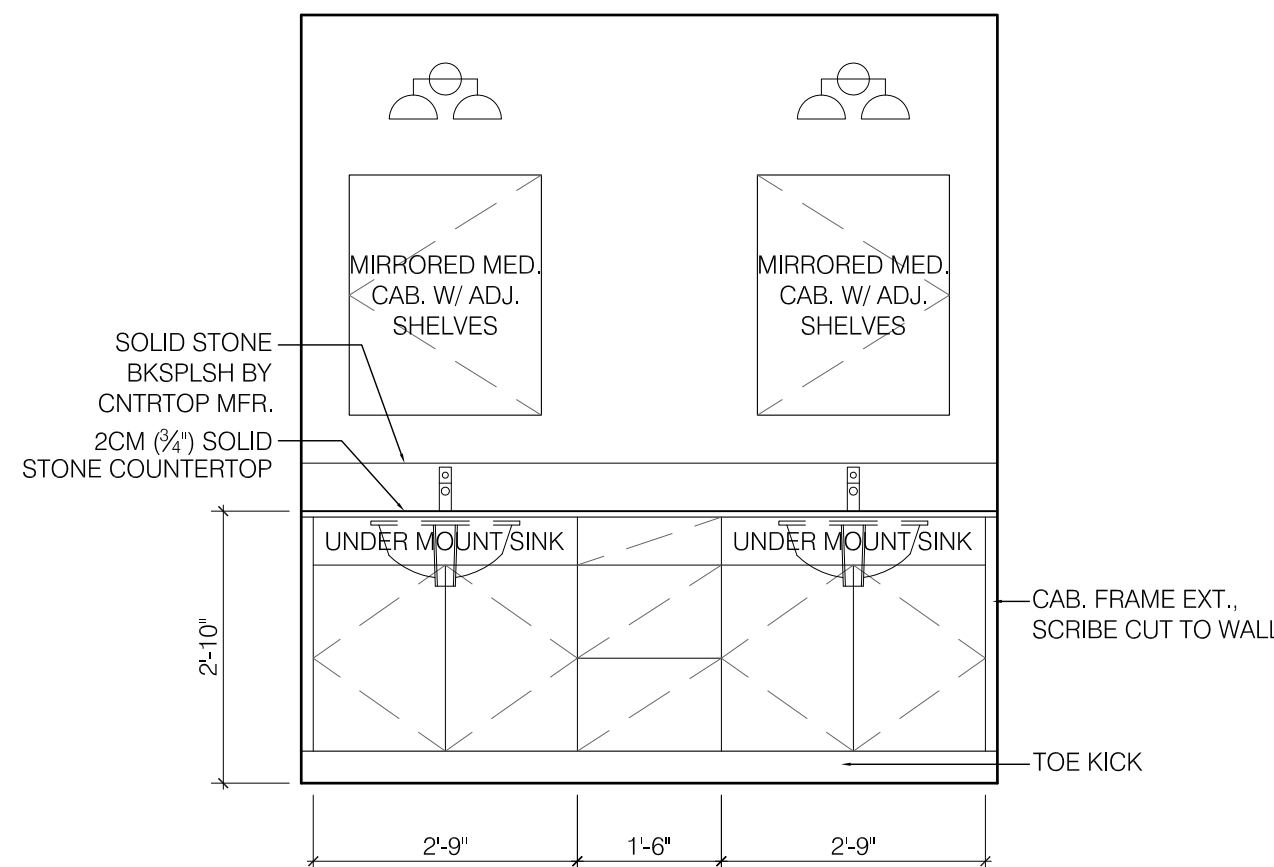


6 KITCHEN (05) ELEV.  
1/2" = 1'-0"

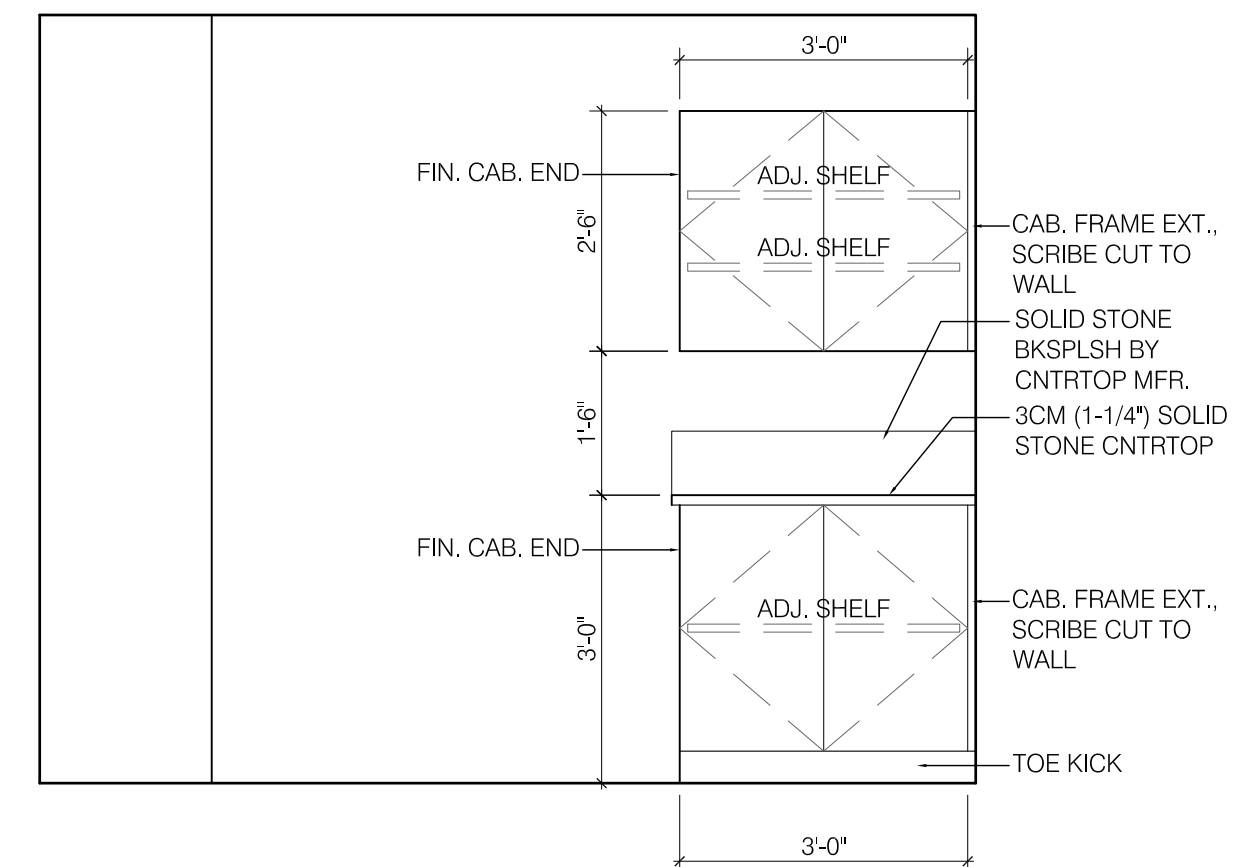
NOTE:  
ELEVATIONS SHOWN REFLECT UNIT 'A'  
CONFIGURATION. UNIT 'B' ELEVATIONS  
ARE SIMILAR BUT MIRRORED.



7 G. BATHROOM (04) ELEV.  
1/2" = 1'-0"



8 M. BATHROOM (12) ELEV.  
1/2" = 1'-0"



9 UTILITY ROOM (08) ELEV.  
1/2" = 1'-0"

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
05/01/2020

COPYRIGHT 2018

STEEL ARCHITECTS  
PLLC

CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

INTERIOR ELEVATIONS -  
BUILDING TYPE Y

SHEET NUMBER:

A8.1

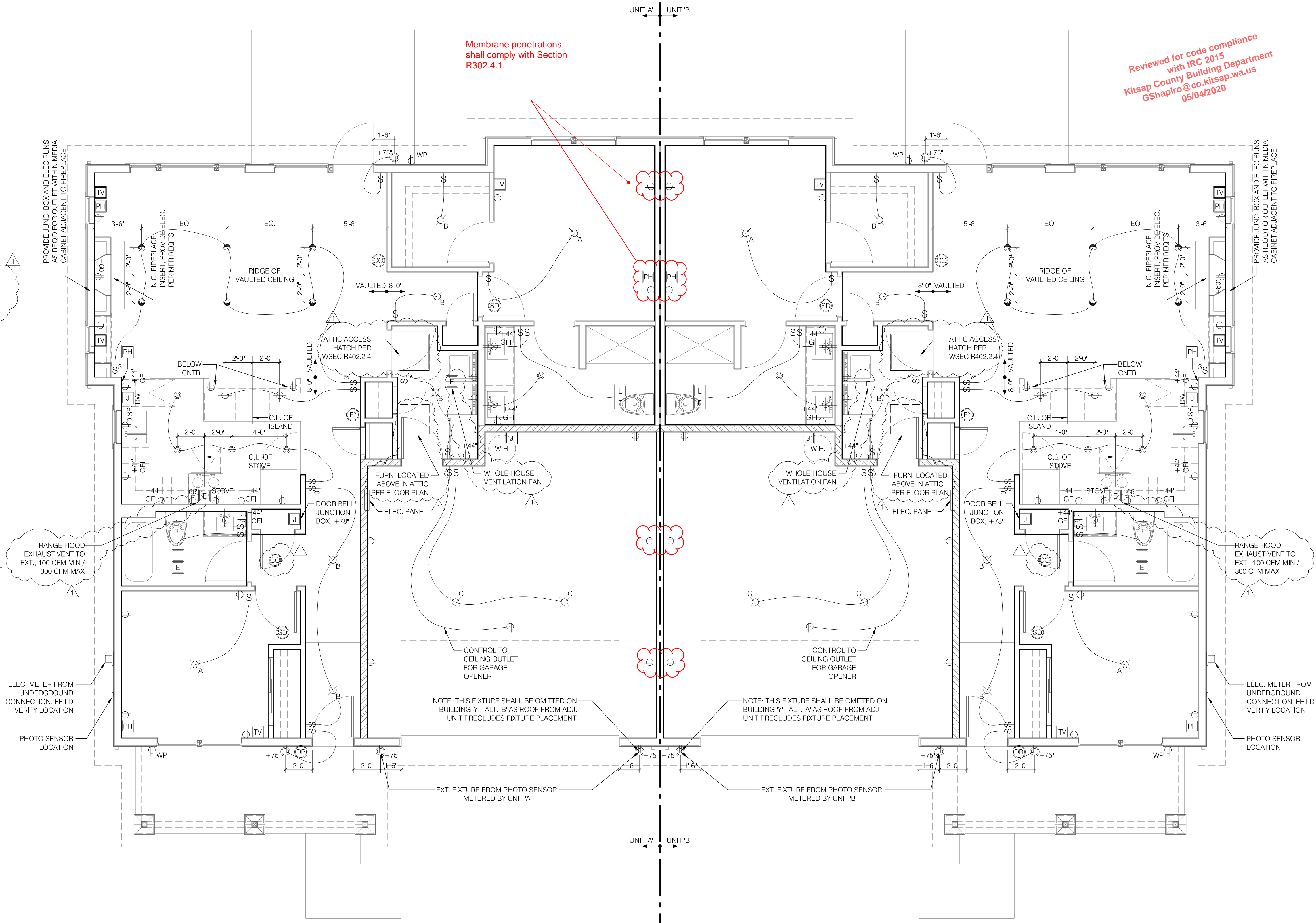
BLDG. PERMIT APPLIC.



SYMBOLS LEGEND AND NOTES - ALL BUILDINGS

- EXTERIOR WALL MOUNTED FIXTURE  
WALL MOUNTED VANITY FIXTURE  
CEILING MOUNTED PENDANT  
CEILING MOUNTED FIXTURE  
CEILING MOUNTED GARAGE FIXTURE  
RECESSED CAN  
'EYE BALL' RECESSED CAN  
OUTLET  
OUTLET - 240 V  
SWITCH  
3-WAY SWITCH  
CARBON MONOXIDE (CO) & SMOKE DETECTOR COMBINATION  
SMOKE DETECTOR  
DOOR BELL BUTTON  
WALL MOUNTED THERMOSTAT  
50 CFM HIGH EFFIC. (MIN. 1.4 CFM/WATT) EXHAUST FAN  
50 CFM HIGH EFFIC. (MIN. 1.4 CFM/WATT) EXHAUST FAN AND LIGHT ON TIMER  
JUNCTION BOX  
CABLE TELEVISION CONNECTION  
TELEPHONE CONNECTION

- NOTES:  
1. ELEC. CONTRACTOR TO VERIFY OUTLET & SWITCH LOCATIONS AND PROVIDE FOR ADDITIONAL OUTLETS/SWITCHES AS REQ'D BY CODE.  
2. ELEC. CONTRACTOR TO CONFIRM AND PROVIDE FOR APPLIANCE AND MECH. UNIT LOCATION/ELEC. SUPPLY PER MFR.  
3. EXTERIOR LIGHT FIXTURES TO BE INSTALLED PER EXT. ELEVATIONS.  
4. GFI OUTLETS ARE TO BE USED IN ALL WET AREAS.  
5. SMOKE DETECTORS ARE TO BE HARDWIRED WITH BATTERY BACKUP. ONE CARBON MONOXIDE DETECTOR TO BE INSTALLED IN EACH RESIDENTIAL UNIT.  
6. WHOLE HOUSE VENTILATION SHALL BE MET WITH ONE HIGH EFFICIENCY FAN (MAX 0.35 WATTS/SFM) INSTALLED IN LAUNDRY ROOM OF EACH RESIDENTIAL UNIT PER WSEC TABLE 406.2/CREDIT 2.A AND IRC M1507.3.



BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQiriar@co.kitsap.wa.us  
05/01/2020

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
GShapiro@co.kitsap.wa.us  
05/04/2020

STEEL ARCHITECTS  
PLLC  
CONTACT:  
JAMES STEEL  
PO BOX 7600  
TACOMA WA 98417

COTTAGES ON THE RIDGE  
12000 RIDGETOP BLVD NW  
SILVERDALE, WA 98383

10044 REGISTERED  
ARCHITECT  
JAMES RANDALL STEEL  
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE  
11 X 17 = HALF SIZE

DRAWING TITLE:

ELECTRICAL / REFLECTED  
CEILING PLAN -  
BUILDING TYPE Y

SHEET NUMBER:

E1.1

BLDG. PERMIT APPLIC.

1 ELECTRICAL / REFLECTED CEILING PLAN - BUILDING TYPE Y  
1/4" = 1'-0"