

345 6th Street, Suite 300 Bremerton, VVA 98337 360-728-2235

# HEALTH OFFICER DECISION

Application Type: Building Site Application -Alteration Memo #: 45127 Tax ID #: 102501-4-001-2005 RP ACCT ID: 1226158 Expiration: 06/08/2022

## **Property Information**

## 12000 COURTER LN NW Poulsbo WA 98370

#### Contractor Name: Contractor Phone #:

**Contractor of Record** 

Dave's Septic Services (360) 830-9699

## Applicant

COURTER KEVIN EARL & DENISE RENEE 795 NW WALKER RD POULSBO WA 98370

### Health Officer Decision for Onsite Sewage System

Approved	Name of Inspector:	Date: 05/30/2019	
(See Conditions Below)	ERIC EVANS, R.S.		

Processing kitchen is being approved for WSDA food processing only. Food preparation for public events or service to the public will require additional review and approval by the Health Districts Drinking Water, Onsite Sewage and Food Programs.

Waste produced from WSDA processing kitchen may not exceed residential waste strength sewage disposed of into the septic system.

## Health Officer Decision for Water Supply

Approved	Name of Inspector:	Date:
(See Conditions Below)	ERIC EVANS, R.S.	05/28/2019

# **Final Decision: Approved**

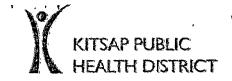


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345 6<sup>TH</sup> STREET, SUITE 300 BREMERTON, WA 98337-1866 (360) 337-5235

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Building S For Onsite			•	,		5	tial <b>NAY</b> 10 2019	Memo 1945127 SSI: VV
A. BUILDING	SITE	NFORMA						
Building Site Address - 795 NW WA	LKER	•	ULSBO 983	370		Lot No.:	3	oposed Sewage Flow (Gallons):
102501-4-00	1-2005	5						10.13 ACRES
B. OWNER/AI	PPLIC	ANT INFO	RMATION					
DENISE COL	JRTEF			Int	Phone #: 265-73	374		ROVED
Owner/Applicant Mailing				98370				
C. APPLICAT		PE SUM	MARY (Chec	k all fields that	apply)		FICE	IVED
Use/System Type		Application	Туре:	Type of S	tructures:			a
Single Family       New         Standard       Re-Design         Alternative       Modification/Expansion         Multi Family       Repair         Standard       Repair/Replacement         Alternative       Other (Describe Below)		ion Gues	Other Other Of Structures with Plumbing (describe below):					
Waiver(s) Pro		·			Processing	K	Itchen) CGARAG	· 1/2 BAHA)
D. WATER SU	PPLY		Attach Water A			6	Id Homestens	Yz BAHA)
Proposed	Pul	] Public		System Name:				System ID:
Private			internet and the second second	Sessor Tax Accoul 1 (Parcel with Well):	nt Nun	bers for Properties Ser Water Connection 2 (Parcel		
E. OWNER, AF	PLIC	ANT OR A			R ACKNOWLEI	DGEM	ENT	
knowledge; (2) the	applicatio	n represents	my intended use	of this property;	accurate to the best and (3) any related t tained in this application	ouildina	Designér/Engi	neer Stamp
I acknowledge and understand that I, along with my contractors, are responsible for adhering to the conditions of approval of this application, and are responsible for conforming to Kitsap County Board of Health regulations for onsite sewage systems (Ordinance 2008A-01) and water supply (Ordinance 1999-6).								
I acknowledge and understand that the design, location, and construction of my onsite sewage system and/or well is/are critical and of a sensitive nature, and I agree to protect these areas required by the regulations.								
I understand that once this application is submitted and/or approved, any changes to, or variations from, the information or conditions related to this plan may require a revised application submittal and/or could result in the revocation, denial, or suspension of this application or a related building permit and that this application will fully expire within 3 (three) years and 30 (thirty) days from the original date of application submittal								
I understand that I have the right to appeal the Health Officer's decision pursuant to the regulations, and that approval of this application does not gu will be issued.				concerning this appl arantee that a building 5-6-	permit	EXPIRES Designer/Engineer Contact Phone 1 360-830	Number:	
Signature: C	Signature: Owner Applicant Agent Date Designer/Engineer E-Mail Address:							
RETURN CORRESPONDENCE (For Incomplete Applications Returned to Designer/Engineer)								
Returned to Designer Date:					Application Re-submittal Dat	te:		



#### 345 6<sup>™</sup> STREET, SUITE 300 BREMERTON, WA 98337-1866 (360) 337-5235

# Onsite Sewage System Specification Sheet For Residential Systems

Tax ID: \_\_\_\_

102501-4-001-2005

Owner/Applicant:

DENISE COURTER

#### G. SOIL EVALUATION PROFILES

Soil Evaluation Date:	Soil Log Numbers Must Correlate With Site Plan - Indicate Total Excavated Depth, Soil Types, Water Table Level & Depth of Restrictive Layer					
Soil Log #1	Soil Log #2	Soil Log #3	Soil Log #4			
- Downslope Side Measurements -	- Downslope Side Measurements -	- Downslope Side Measurements -	- Downslope Side Measurements -			
TYPE 4 SOIL	TYPE 4 SOIL	TYPE 4 SOIL				
0-60" LIGHT BROWN TO GRAY FINE LOAMY SAND	0-60" LIGHT BROWN TO GRAY FINE LOAMY SAND	0-60" LIGHT BROWN TO GRAY FINE LOAMY SAND				
	FOR	APPROVED SEWAGE AND WATER ONL K HE	RECEIVED MAY 10 2000 TSAP PUBLIC LTH DISTRICT			

#### H. DAILY FLOW - TANKAGE - TREATMENT

Design Flow	Tankage			Advanced Treatment	
Total Proposed	Туре	Size (gal)	QTY	Aerobic Treatment Unit	
Sewage Flow/Day: 500 Gallons	🔀 Septic Tank	(NEW) 1000	2	Sand Filter (includes bottomless)	
Minimum Treatment Level	The set was to			Other: Model/Size (Optional):	
Proposed	Trash Tank	<del>'an</del>			
Treatment Level: <u>E</u>	🔲 Pump Tank	<b>.</b>		Mánufacturer (Optional).	

#### I. DISPERSAL COMPONENT CONSTRUCTION

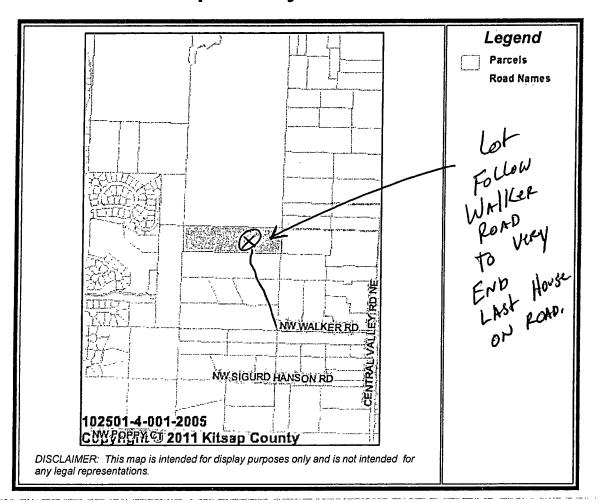
Dispersal Component Sizing		Trench Construction Profile
Hydraulic Loading Rate of Dispersal Area:6	A. Slope in Printlo-18 %	A.Percent Slope In Primary: 10-18 Precent
Area (Sq. Ft.) In Primary:	36 inches B. Maximum	B. Maximum Trench Depth: 24 inches
Minimum Linear Feet or Dimensions: 200 New Distribution	TREACH Dispersal Component 24 inches - Infiltrative Surface.	C. Vertical Separation: <u>36</u> inches
Gravity Distribution	©. Vertical Separation	D.Trench Width: <u>36</u> inches
	Restrictive Leaver	E. Additional Cover Required: inches
Other:	INSERINGING REGISTION (111111111111111111111111111111111111	

#### J. SITE WATER MITIGATION

Curtain Drain Designated

#### Storm Water Control Designated

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# **Kitsap County Parcel Search**

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### Easements, Buffers and Open Spaces

Indicate the location and dimensions of all easements. buffers and open spaces in relation to property lines, structures and OSS components.

### SHOW ALL PROPOSED PROPERTY **IMPROVEMENTS**

#### Structures and/or Building Envelopes

Indicate the location, dimensions, and clearing limits of all proposed structures and/or building envelopes in relation to property lines, other structures, easements, wells, and OSS components. Include all required setbacks from property lines and other structures.

#### Wells and 100' Well Radii

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Indicate the location of all proposed wells and their respective 100' well radii. Include all primary and reserve drainfield areas on adjacent properties within the 100' well radius.

#### **On-Site Sewage System (OSS) Components**

Indicate the location and dimensions of all proposed OSS components, including septic tanks, pump tanks, pre-treatment units, primary drainfields and reserve drainfields. Indicate the direction and degree of slopes of the primary and reserve drainfield areas, and identify the 10-foot "no-build" zones surrounding them include at least two reference distances to property lines.

#### Storm/Surfacewater Drainage Systems

Indicate the location and dimensions of all proposed infiltration systems, stormwater ponds, drainage ditches, below grade pipes and easements.

#### Roads, Driveways, Parking Areas and Sidewalks

Indicate the location, dimensions, surfacing materials, and clearing limits of all proposed roads, driveways, parking areas, sidewalks and easements.

#### Water and Utility Lines

Indicate the location of all proposed water lines, sewer lines, and utility lines.

#### QUESTIONS?

If you have any questions regarding these Site Plan Requirements, please contact the Kitsap County Department of Community Development, at

(360) 337-5777; or

The Kitsap Public Health District at (360) 337-5285.

Kitsap County Department of Community Development 614 Division Street, MS-36 Port Orchard, WA 98366-4682 www.kitsapgov.com/dcc Revision Date: 4/19/2012

Figure 1: Site Plan Requirements Checklist All site plans shall be clearly and accurately drawn to 1"=20', 30', 40' or 50' scale on paper no larger than 11" x 17" and must indicate all of the following information. For each item below, mark either "Shown" or "N/A" as appropriate for your project. This checklist must be completed and included on all site plans. Any site plan without this checklist will be rejected and returned to the applicant for correction. Parcel Shown 102501-4-001-2005 Number N/A ł 🗚 **Conoral Property Information** 

A	A General Property Information:				
₫		Tax ID Number and Property Address			
¢⊄		Property lines and dimensions			
фЯ́		Elevations of property and the direction of natural drainage			
Ŕ		Slopes that exceed 15%, including any cut banks greater than 4' in height			
M		North arrow and site plan scale			
Ŕ		Marine waters, lakes and ponds and their associated high water lines			
¥		Streams, creeks & wetlands and their associated buffer areas			
в	Existi	ng Property Improvements:			
Ø		Location of all existing structures, including the locations of existing structures on adjacent waterfront properties			
¢ <b>x</b> /		Location of all existing wells and their well radii, including those wells on adjacent properties within 100' of property lines			
Ø		Location of all existing drainfields, including the 10' "No Build Zone" as well as the locations of existing drainfields on adjacent properties within 100' of any well			
	ø	Location of existing drainage facilities, including all sub-surface infiltration systems			
ø		Location of all existing and abutting roadways, driveways, easements, buffers and required open spaces			
t\$∕		Location of all existing water, sewer and utility lines.			
С	Propo	sed Property Improvements:			
×		Location and dimensions of all proposed structures or building envelopes in relation to property lines, other structures, etc.			
	Ø	Location of all proposed wells, including their 100' well radii and all water lines			
Å		Location of all proposed septic tanks, pump tanks, pre-treatment units, and drainfields, including the 10' "no build" zone			
	¢¥/	Location and dimensions of all proposed drainage and infiltration systems (I-Pits)			
¢		Location, dimensions, surfacing materials, and clearing limits of all proposed parking areas, driveways, sidewalks, & road appr's.			
đ		Location of all proposed water, sewer and utility lines.			
		RECEIVED			

KITSAP PUBLICEmail: Kitsap1@co.kitsap.wa.us HEALTH DISTRICT

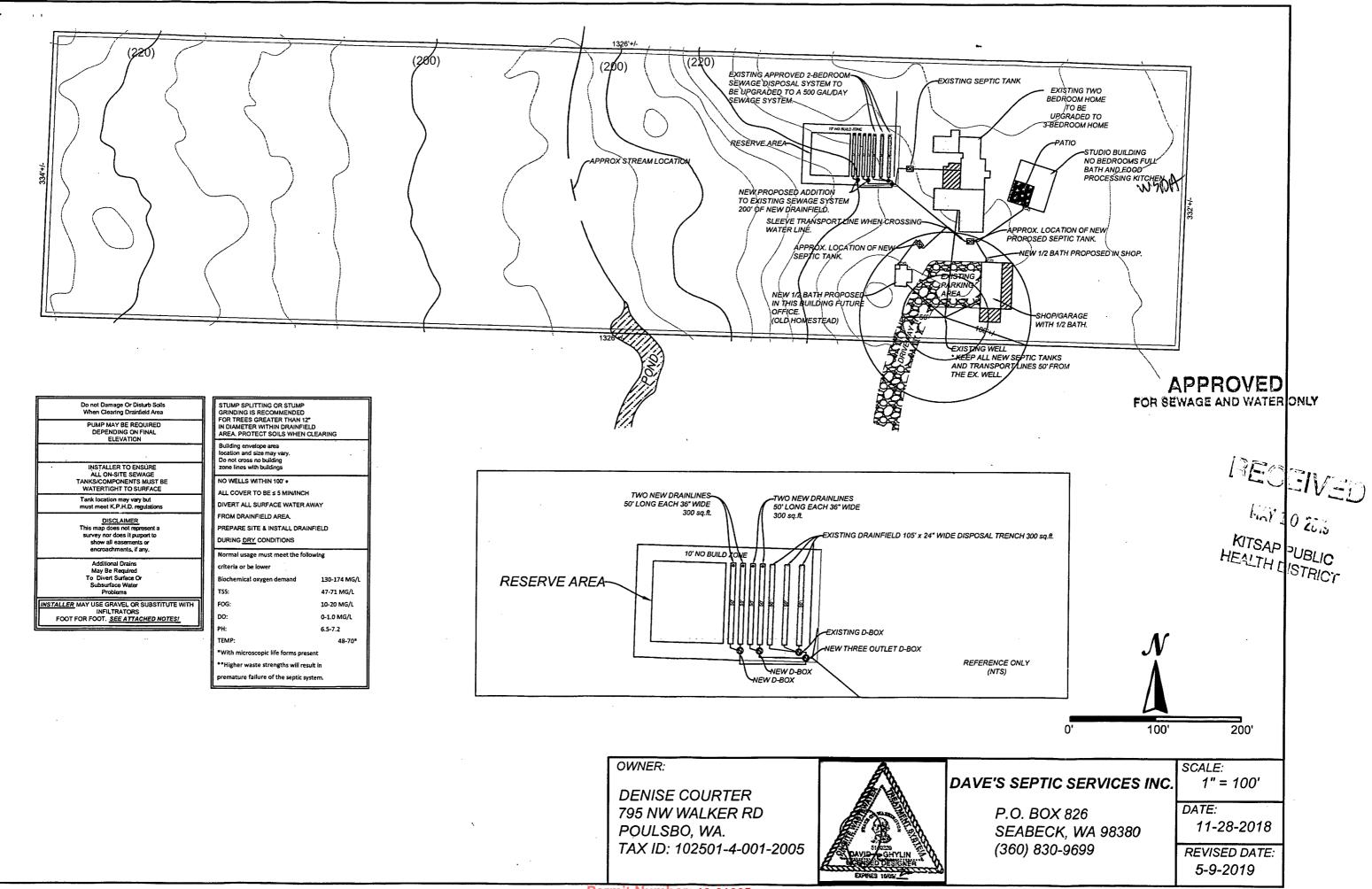
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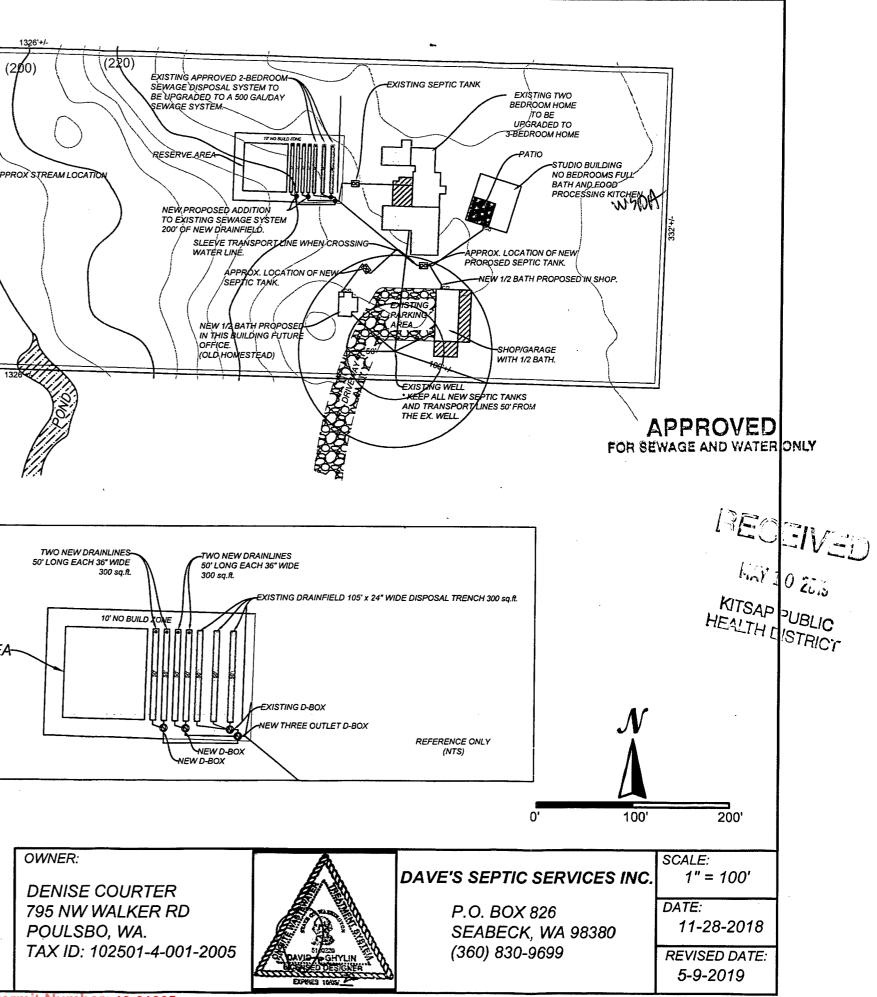
- Phone: (360) 337-5777

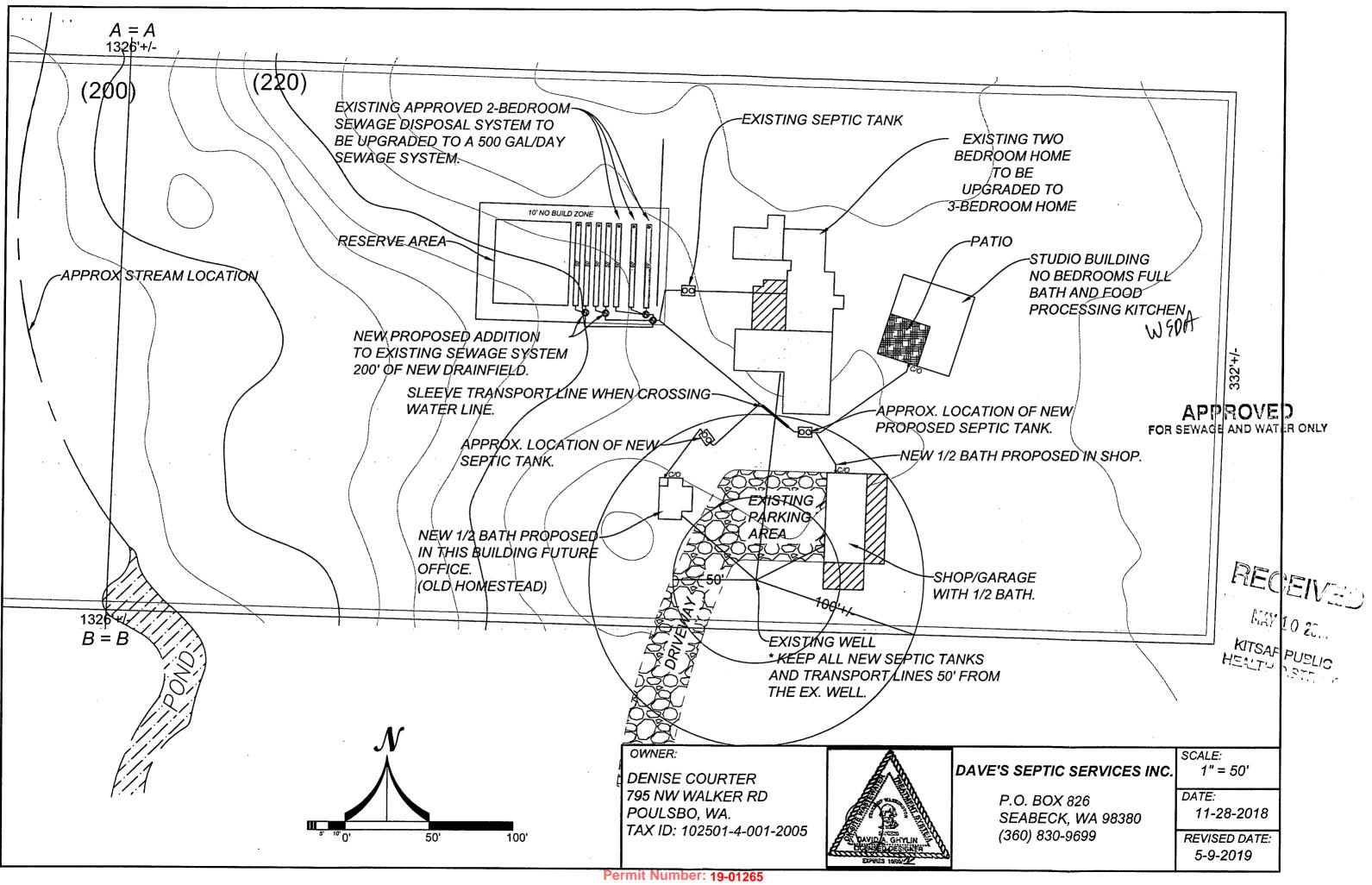
Fax: (360) 337-4925

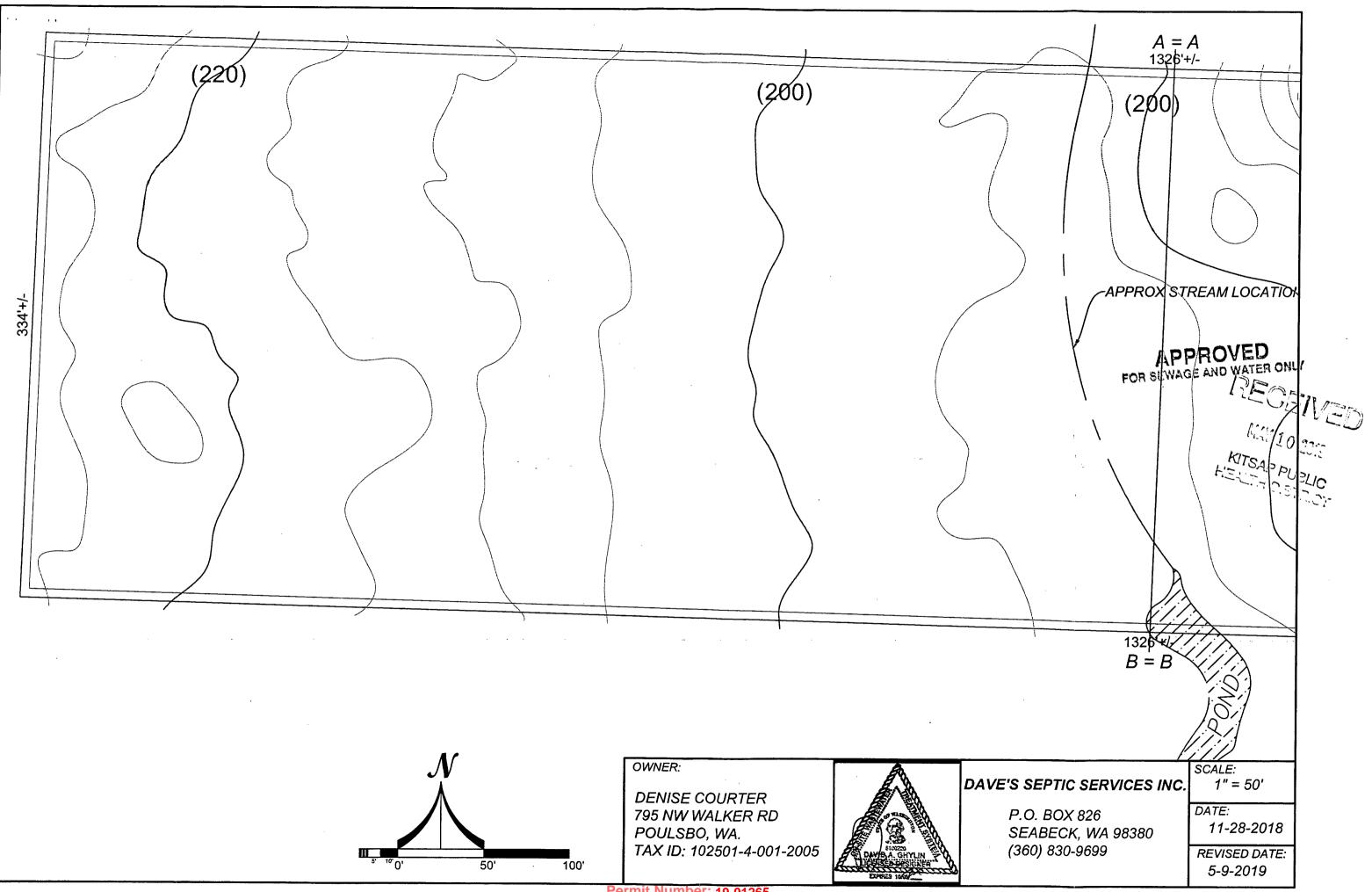
Form Number: 2102B

Page 2 of 3









#### General Designer Notes

Ref: Denise Walker 795 NW Walker Road Tax# 102501-4-001-2005

KOTSAD Di AITSAD #1- Soil logs have been dug on this site and are the responsibility of the property owner.or agent to have these soil logs buried after the inspection process has been completed. #2- If during the construction process, soil conditions are found that may lead to premature failure of the system, construction shall stop immediately and the designer shall be notified. Such soil conditions may include but not limited to ground water, surface water, fill material, clay soil, bedrock, or excessively permeable gravels.

#3- Any substitutions or deviations from these plans shall be approved by the health department and the designer prior to construction. All changes of the system components shall be documented by the designer on the final as-built drawing.

#4-Peak design flow is 500 g.p.d., recommended daily flow should not exceed g.p.d. or premature failure may occur. 400

#5- Backfill sewage disposal system immediately after final inspection process, cover soils should be loamy sand or better. Seed final cover with grass or shallow rooting ground cover.

#6-Keep all maintenance access lids and ports accessible to ground surface.

#7- Installer should rake the finished grade smooth and slope it to divert all surface water runoff away from tank and drainfield areas.

#8- Setbacks from house foundation to drainfields and reserve areas are 10', septic tanks 5' and transport lines 2' unless otherwise stated within the design.

#9- Driveways and parking areas must stay 5' from drainfield areas .Tanks may be located within parking areas and driveways if approved for this application.

#10- Sewage waste strength should meet the following criteria or be lower Bod-5 = 130-174 mg/l, TSS = 47-71 mg/l, FOG = 10-20 mg/l, PH = 6.5-7.2 with microscopic life forms present.

#11- Installer must adhere to all manufacturer installation requirements for all products used.

#12- The attached septic design does not represent a survey nor does it purport to show all easements or encroachments, if any. Designer recommends property lines be located prior to any final installation occurs. Surveys may be required to accomplish this.

#13- Property lines and corners have been represented by owner or owners agent, the designer is not responsible for errors due to inaccurate measurements from property lines or corners that are inaccurate.

#14- If a curtain drain is required with this design it must meet all health department installation requirements.

#15- Developers, homeowners and installers, installations of on-site sewage disposal systems should always be installed in dry weather conditions. Irreparable soil damage may occur if systems are installed in wet conditions. Planning the installation of system is very important and should be done as early in the building development stage as possible. Wet weather conditions have caused delays in final approval dates.

#16- Maintenance is required with all sewage disposal systems. Owners will receive details of this in the designer manual with the final approval of the application.

#17- Adhere to all designer notes located on design layout page.

#18- If development exceeds 10,000 square feet of impervious surface a engineered drainage plan may need to be submitted. Options are available to reduce square footage requirements, such as wagon wheel driveways, contact DCD for further details. Owners are responsible for any fees for redesigns or revisions that may be needed after BSA submittal not due to designer error. #19- Low flow water fixtures are recommended within the home to help lower the hydraulic load to the system.

#20- Watertight components are a must for all onsite sewage systems. Installers are required to ensure all components are watertight, extreme care should be used during backfilling of these components to prevent settling and or water intrusion issues. If leaking components are not fixed in a timely manor the designers warranty may be void.

#19- Installation of this design must meet all health department regulations and all adopted policies by the Health Department that may apply. Installer is required to be versed in these regulations if any questions contact designer.

#20- All components used must be on state department of health approved products list for use with residential waste.

#21- Installer must inspect all tanks used at time of delivery and any tanks with defects must be rejected and not used. When using any existing tank the installer must due a 24 hour leak test to ensure all tanks used are watertight.

#22- All plumbing must be routed into the new sewage system that has been designed. It is the property owners responsibility to show the designer all plumbing stub outs and all gray and black water discharge points. A plumber may be needed on old homes to ensure that all stub out locations are connected to the new proposed sewage disposal system. An inside pump basin may be needed in some cases where plumbing is located in basements and elevations for a gravity discharge cannot be maintained.

#23- Do not use low profile chambers or the system will be red tagged. All lateral lines must be a minimum of 6" off the infiltrative surface. Lateral ends must be secured at thé cleanout and must be in the center of the port.

#24- Gravel trenches are recommended, but Arc 36" chambers are allowed.

Specific Designer Notes :

ITSAS PUE #1- This application is for an existing home with existing out buildings that are going to be upgraded or change of use as described below.

#2- The existing two bedroom home will be upgraded to a three bedroom home. Stay tied into the existing sewage system as shown on site plan. #3- The utility building will contain a full bath , no bedrooms and a food processing kitchen. Will

tie into new sewage system and a new septic tank required for this building.

#4- A outdoor wash station is proposed to wash raw just out of the garden produce. (rinsing off dirt only) not to tie into sewage system.

#5- The old homestead will have no bedrooms, no kitchen but will have 1/2 bath. Will have to tie into new sewage system as shown on site plan. A new septic tank is required.

#6- The existing garage will have  $\frac{1}{2}$  bath only.

#7- A notice to document title will be required with this application for use of the structures proposed.

#8- The existing two bedroom sewage system is being upgraded to handle the new proposed flow. 200' of new 36" wide disposal trench is required. This must be broken into a three zone sewage disposal system by the use of a d-box. The new sewage system will be two 100'x 36" wide

disposal trenches, 300 square feet each. The existing three 50' laterals that are 24" wide equal 300 square feet in disposal trench. A minimum total of 900 square feet of disposal trench is required. Additional disposal trench can be installed but must be done in equal lengths.

#9- All existing tanks used must be certified for use and have risers to grade.

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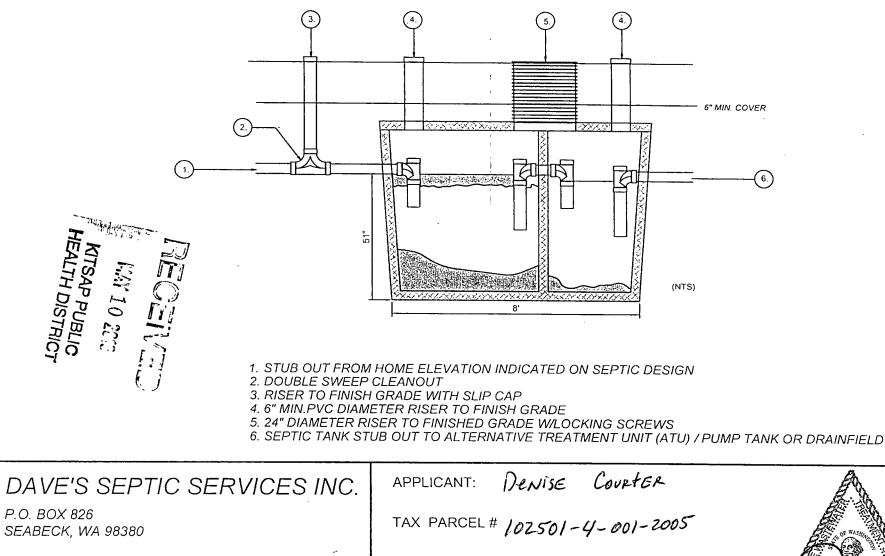
#10- All sewer line and water line crossings must be sleeved per the health district requirements. #11- A new reserve area is proposed.





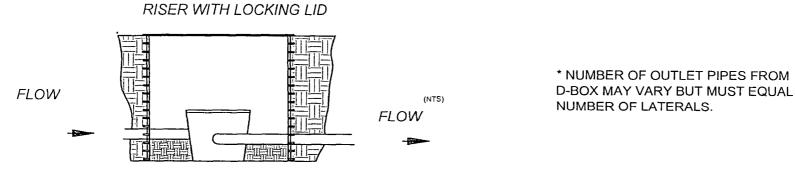
# GRAVITY ON-SITE SEWAGE SYSTEM WORKSHEET TYPICAL TWO CHAMBER SEPTIC TANK MINIMUM TANK SIZE FOR PROJECT 1000 minimum GA

GALLONS



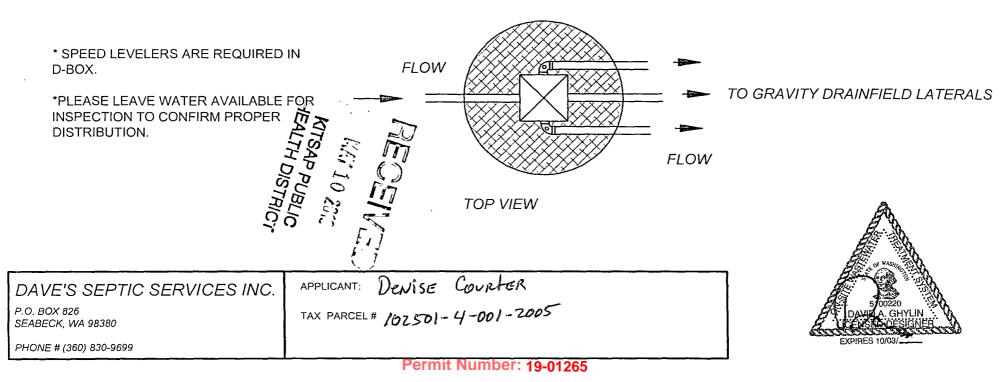
PHONE # (360) 830-9699

# **TYPICAL GRAVITY DISTRIBUTION BOX WITH RISER**



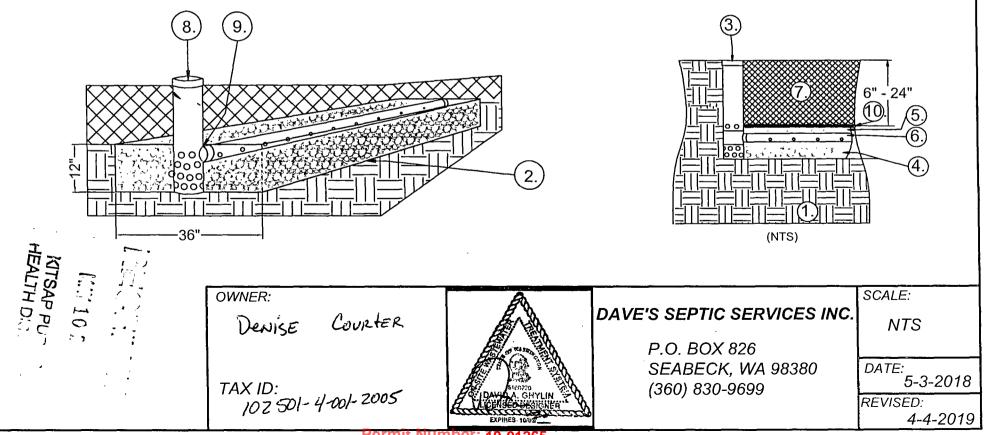
SIDE VIEW

#### TRANSPORTATION PIPE FROM SEPTIC TANK, ATU OR PUMP CHAMBER



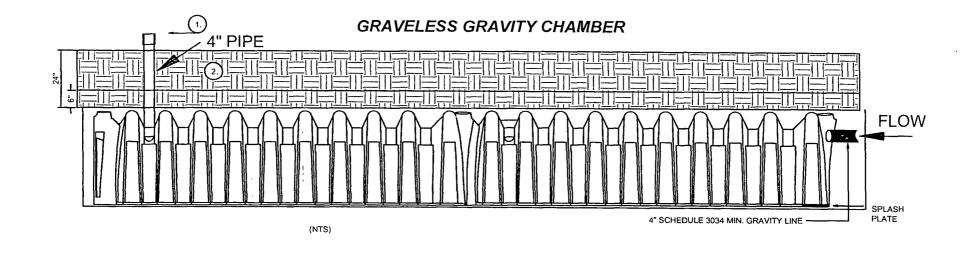
# **GRAVEL TRENCH DRAINFIELD**

- 1. UNDISTURBED SOIL
- 2. INFILTRATIVE SURFACE
- 3. 4" PVC WITH DRAIN HOLES; EXTENDED TO THE BOTTOM OF GRAVEL TO MONITOR PONDING
- 4. DRAINROCK; 6 " MIN. BELOW PIPE
- 5. DRAIN ROCK; 2" MIN. ABOVE PIPE
- 6. DRAIN TILE (PVC) 4" 3034.
- 7. COVER SOIL AS SPECIFIED ON DESIGN (Min. 6" Max. 24")
- 8. INSPECTION PORT MIN. 4"
- 9. PVC 4 INCH "T".
- 10. FILTER FABRIC.
- 11. SEE DESIGN FOR LATERAL LENGTHS.



Permit Number: 19-01265

# **GRAVELESS GRAVITY CHAMBER**



- 1. OBSERVATION PORT 4"
- 2. BACKFILL SEE DESIGN FOR DEPTH OF COVER
- 3. COVER SOIL
- 4. NATIVE SOIL

P.O. BOX 826

SEABECK, WA 98380

PHONE # (360) 830-9699



4. 4. 36"

3.

BACKFIELD MATERIAL

DAVE'S SEPTIC SERVICES INC. APPLICANT: DEN

APPLICANT: DENISE COURTER TAX PARCEL# 102501-4-001-2005

DAVIDA. GHYL

Permit Number: 19-01265

EXPIRES 10/03/

# 12000 COURTER LN NW Poulsbo

# CHRONOLOGICAL CONTROL SHEET Building Site Application - Alteration

Memo: 45127

BP: N/A

DCD-LU: N/A

#### Parcel Notes

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\*Parcel Alert Island Lake aquifer area - well drilling restrictions Jul 18 2018 3:00PM

### Applicant: COURTER KEVIN EARL & DENISE RENEE Tax ID: 102501-4-001-2005 Contractor: Dave's Septic Services

RECEIVED ON	INITIALS	ACTION TAKEN/COMMENTS	ROUTETO	DATE
05/10/2019	NG	Received OTC - records attached.	1h	05/10/2019
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5/16/19	RB	Site wit u/ appeicunt no sort		_
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