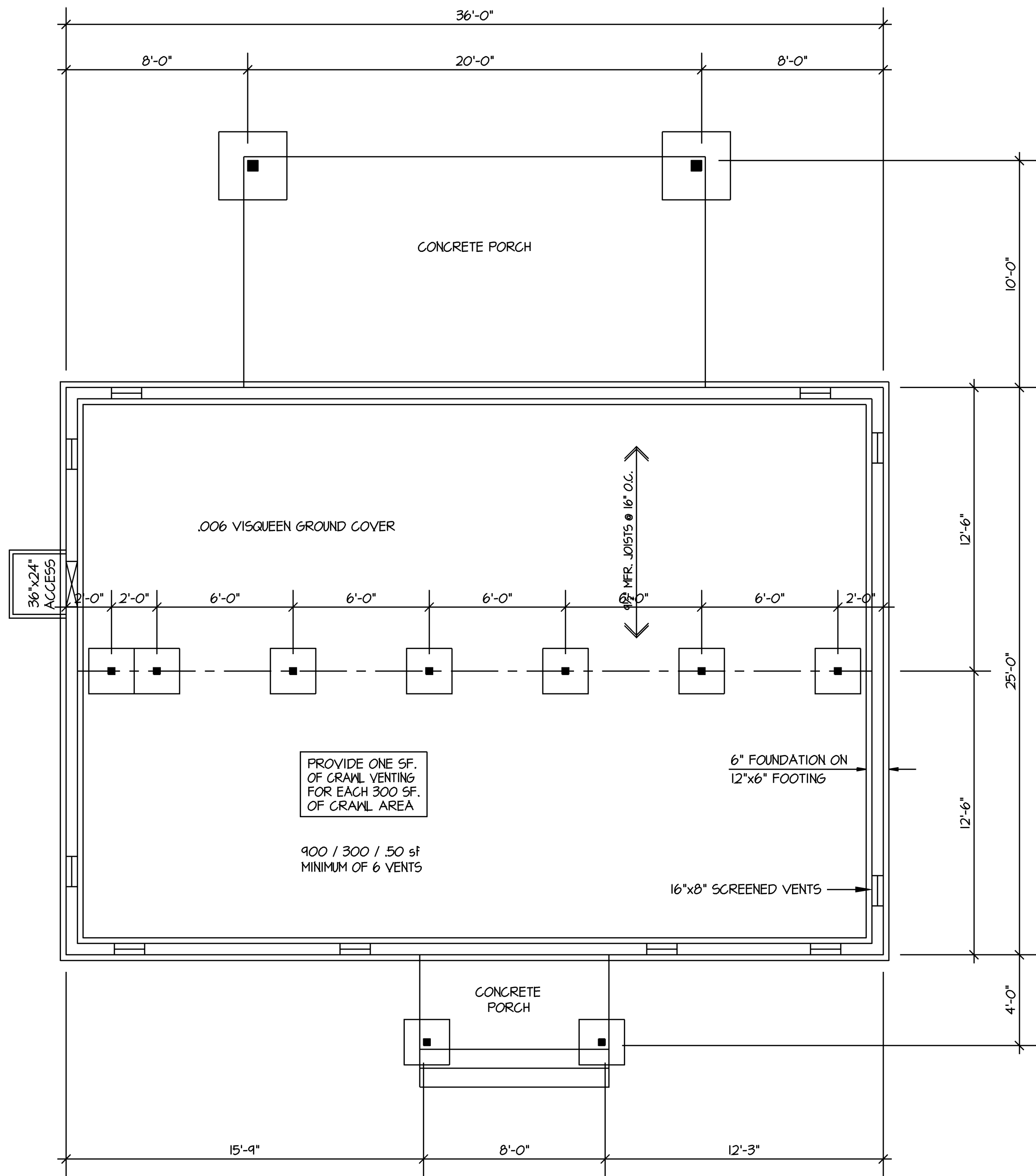


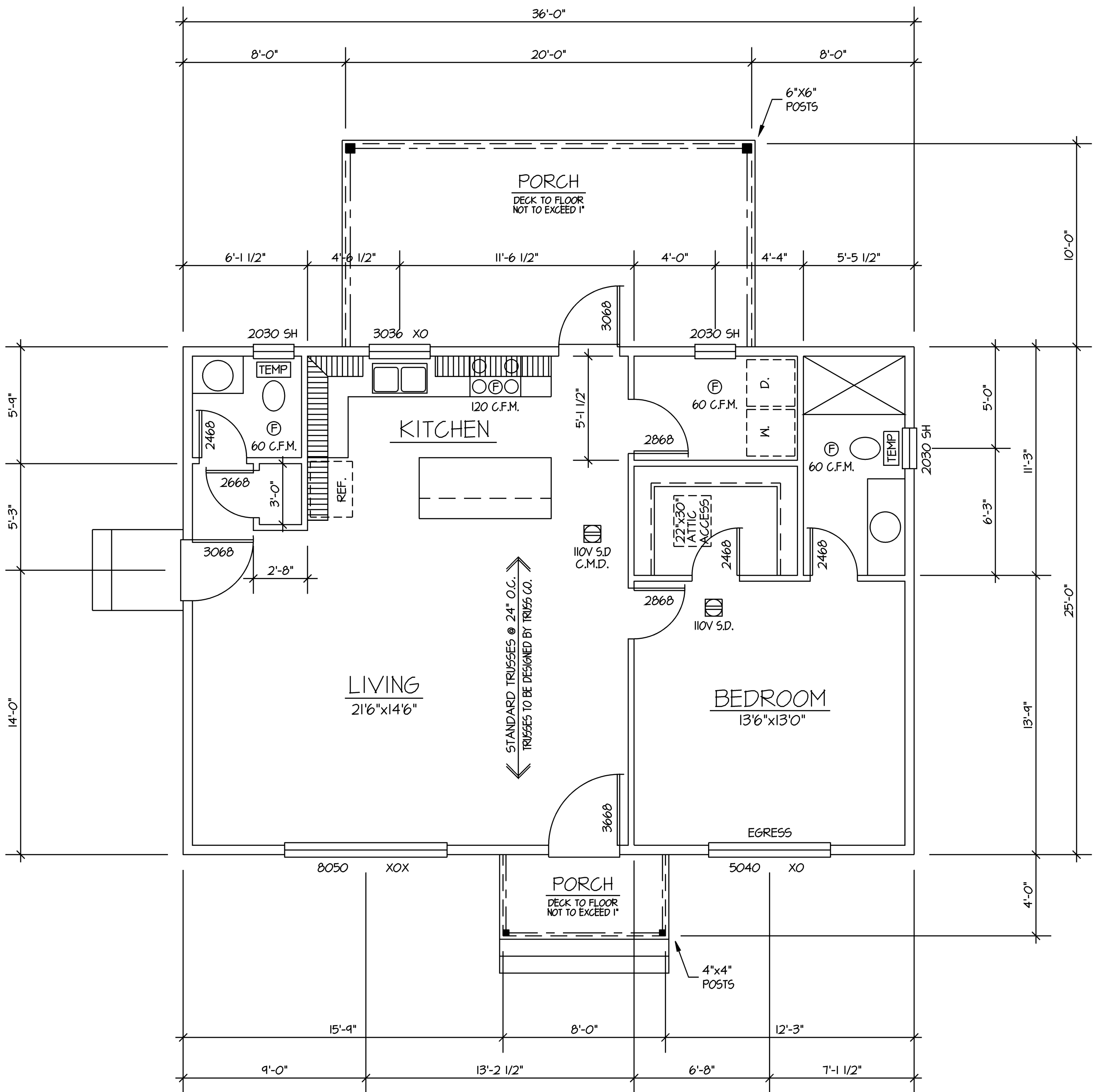
Subject To Field Inspection



See Engineered Plans

FOUNDATION PLAN

1/4" = 1'-0"



ENERGY NOTES:

LAVATORY FAUCETS = 1 G.P.M.

SHOWER HEADS

TUB AND KITCHEN SINK = 1.75 G.P.M.

SEE ENGINEERING FOR MORE INFORMATION IF THERE IS A CONFLICT THE ENGINEERING PLANS TAKE PRECEDENCE

PLAN IS DRAWN:  
2015 I.R.C. CODE, WAC 51-15 (CHAPTERS 1-10, 12-24 APPENDIX G & R)  
2015 WASHINGTON ENERGY CODE, WAC 51-11  
2015 UNIFORM PLUMBING CODE, WAC 51-56 AND 51-57  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL FUEL CODE, WAC 51-52

Smoke & carbon monoxide detectors required. Smoke and carbon monoxide detectors must be installed throughout the building in all locations required by the IRC as amended by WAC.

FLOOR PLAN

1/4" = 1'-0"

900 SQ. FT.

200 SQ. FT.

32 SQ. FT.

CHANGES  
MUST Be Approved Prior  
To Performing Work

Validity of permit. The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the International Codes or any other ordinance of Kitsap County. Permits presuming to give authority to violate or cancel the provisions of the International Codes and ordinances of Kitsap County shall not be valid. IBC & IRC 105

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
06/03/2020

Must Comply With  
All Washington  
State Codes

SKD

P.O. Box 230 Olympia, WA 98539 • 360-876-6242

STEALIE KRANK DESIGN

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE, 2015 WASHINGTON ENERGY CODE, 2015 UNIFORM PLUMBING CODE, 2015 INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FUEL CODE, AND ALL APPLICABLE ORDINANCES. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OR PROPER EXECUTION OF THE WORK SHOWN ON THESE DRAWINGS.  
2. VERIFY ANY EXISTING CONDITIONS AND DIMENSIONS ON SITE. CALLED OFF DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS ARE TO BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

REVISIONS

Henderson Residence

Date: MAY 2019

Scale: 1/4" = 1'-0"

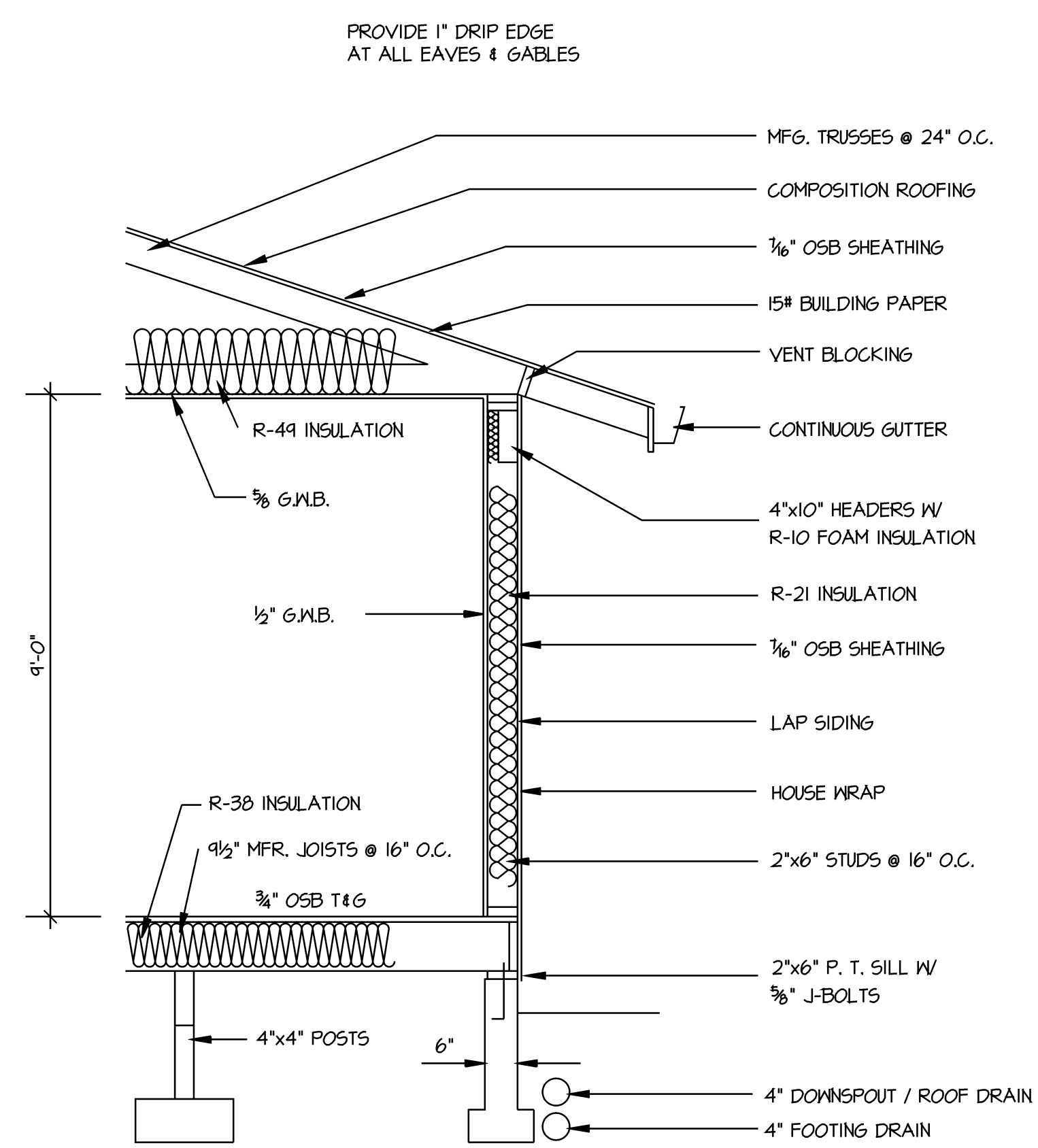
Drawn:

Job:

SHEET

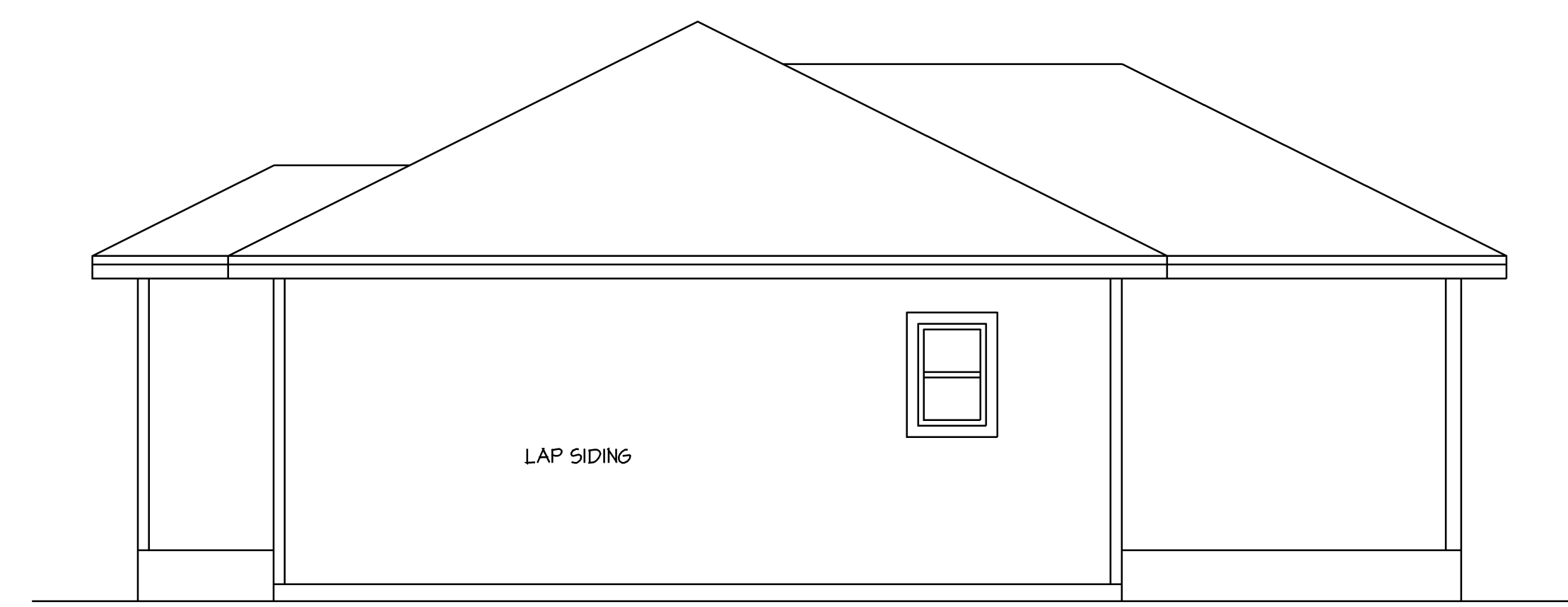
ONE

Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
PQuiriar@co.kitsap.wa.us  
06/03/2020

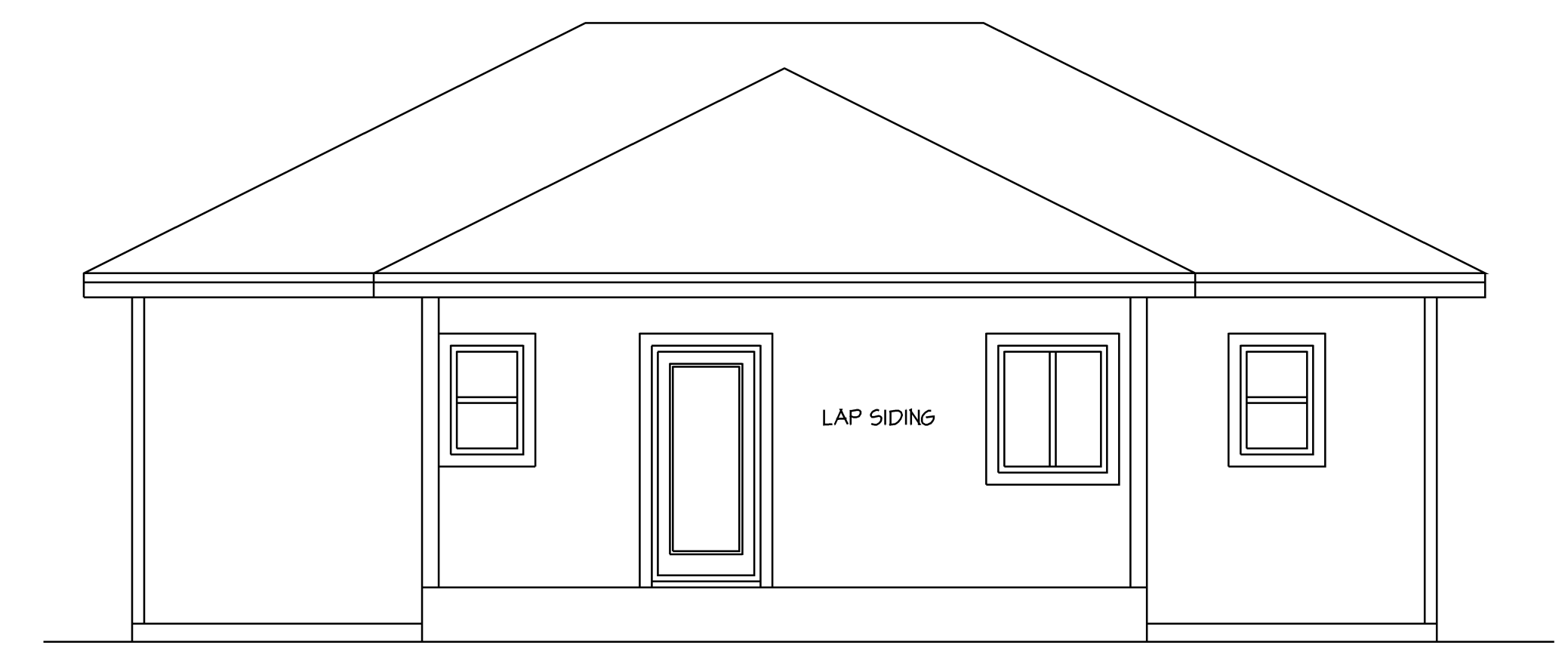


SEE ENGINEERING  
FOR MORE INFORMATION  
IF THERE IS A CONFLICT THE  
ENGINEERING PLANS TAKE PRECEDENCE

CROSSECTION  
1/2" = 1'-0"



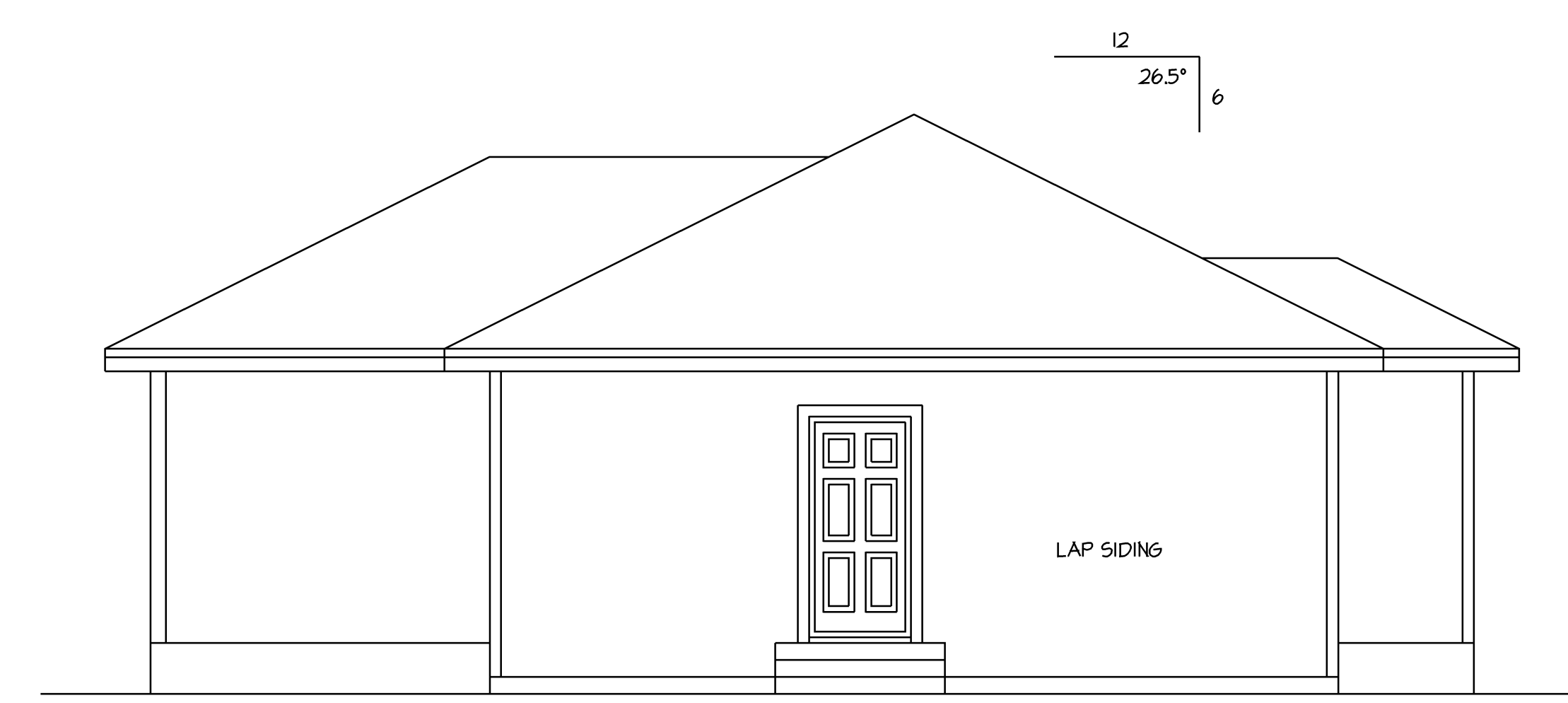
RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"

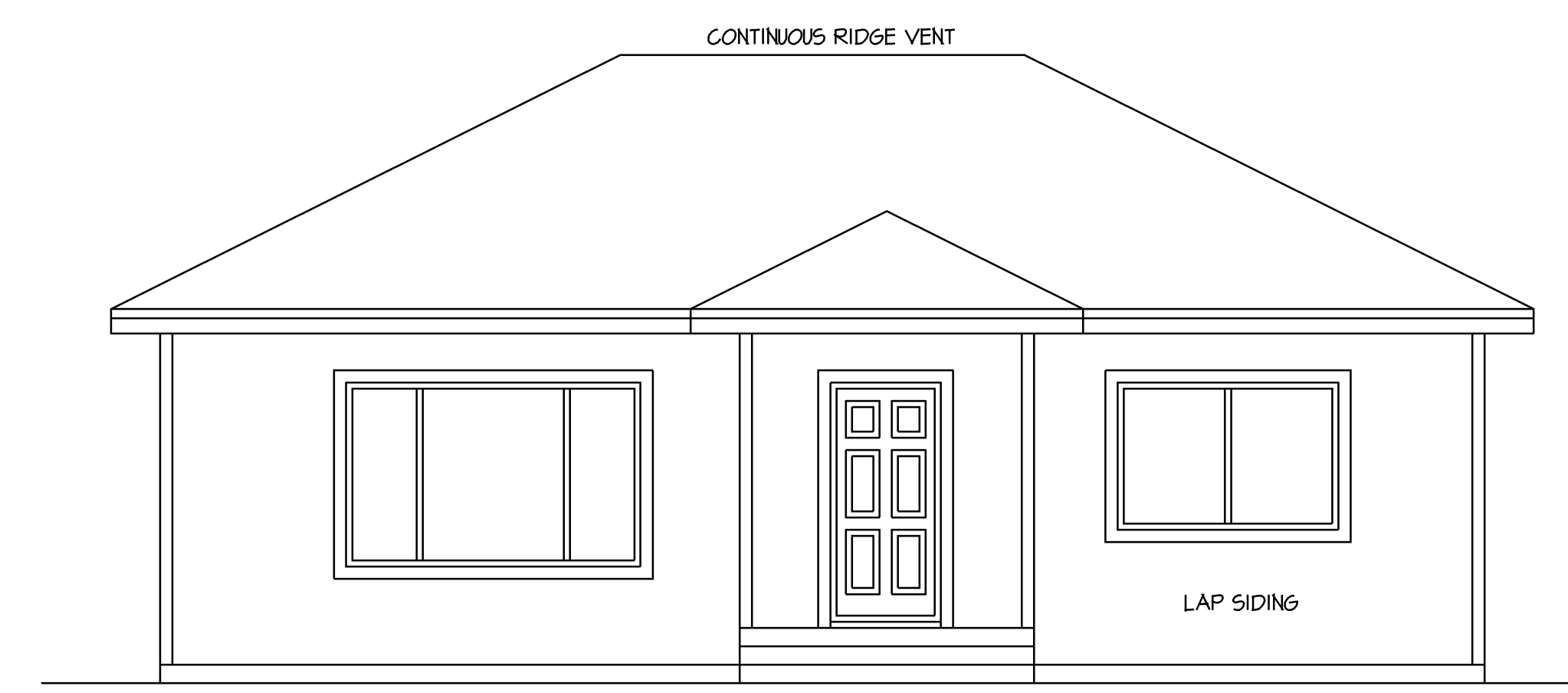
Gutters and downspouts are required.  
All roof and yard drains shall be directed to splash blocks at a minimum,  
or to an infiltration system if required. All surface drainage shall have a  
minimum 2% grade away from the foundation.

ATTIC VENTING:  
1132 sf / 300  
MINIMUM OF 3.8 sf REQUIRED  
HALF AT TOP AND HALF AT BOTTOM



LEFT ELEVATION  
1/4" = 1'-0"

PROVIDE 1" DRIP EDGE  
AT ALL EAVES & GABLES



FRONT ELEVATION  
1/4" = 1'-0"