

~ SEASIDE ~

KINGSTON, WA

Portion of the Northwest Quarter of the Southeast Quarter Section 26,
Township 27 North, Range 2 East, W.M. in Kitsap County, Washington

Sheet 1 of 5

DEDICATION

THE UNDERSIGNED OWNERS OF THE INTEREST IN THE REAL ESTATE DESCRIBED HEREIN HEREBY DECLARE THIS MAP AND DEDICATE THE SAME FOR A COMMON INTEREST COMMUNITY NAMED SEASIDE KINGSTON, LLC A PLAT COMMUNITY, AS THAT TERM IS DEFINED IN THE WASHINGTON UNIFORM COMMON INTEREST OWNERSHIP ACT, SOLELY TO MEET THE REQUIREMENTS OF THE WASHINGTON UNIFORM COMMON INTEREST OWNERSHIP ACT AND NOT FOR ANY PUBLIC PURPOSE. THIS MAP AND ANY PORTION THEREOF IS RESTRICTED BY LAW AND BY THE DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED UNDER KITSAP COUNTY AUDITOR'S FILE NO. _____

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED, OWNERS IN FEE SIMPLE OF THE LAND HEREBY PLATTED, HEREBY DECLARE THIS PLAT AND GRANT EASEMENTS DEFINED UNDER EASEMENT PROVISIONS ON SHEET 2 OF THIS PLAT AND DEDICATE TO THE USE OF SEASIDE HOMEOWNERS ASSOCIATION FOREVER ALL PRIVATE ROADS, WHATEVER PUBLIC PROPERTY THERE IS SHOWN ON THE PLAT, INCLUDING SPECIFICALLY TRACTS A, B, C, D, E, F & G INCLUSIVE, AND THE USE THEREOF FOR ANY AND ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR ON THIS PLAT IN THE REASONABLE ORIGINAL THE RIGHT TO DRAIN ALL STREETS, ROADS AND EASEMENTS OVER AND ACROSS ANY LOT(S) OR TRACT(S) WHERE WATER MIGHT TAKE A NATURAL COURSE AFTER THE STREETS ARE GRADED. THE OWNERS HEREOF, AND THEIR SUCCESSORS AND ASSIGNS, HEREBY WAIVE ALL CLAIMS FOR DAMAGES AGAINST ANY GOVERNMENTAL AUTHORITY ARISING FROM THE CONSTRUCTION AND MAINTENANCE OF PUBLIC FACILITIES AND PUBLIC PROPERTY WITHIN THIS PLAT.

DIMENSIONS AND USES OF ALL LOTS AND TRACTS OF LAND EMBRACED IN THIS PLAT ARE SUBJECT TO AND SHALL BE IN CONFORMITY WITH KITSAP COUNTY ZONING REGULATIONS.

THE INTERIOR PLAT ROADS IS TRACT G AND SHALL BE CONVEYED TO SEASIDE HOMEOWNERS ASSOCIATION UPON RECORDATION OF THIS PLAT.

OPEN SPACE TRACTS A, B, C, D, E, F, H & I SHALL BE CONVEYED TO SEASIDE HOMEOWNERS ASSOCIATION FOR OWNERSHIP AND MAINTENANCE PURPOSES UPON RECORDATION OF THIS PLAT.

PRIVATE ROADWAY AND UTILITIES TRACT G SHALL BE CONVEYED TO SEASIDE HOMEOWNERS ASSOCIATION FOR OWNERSHIP AND MAINTENANCE PURPOSES UPON RECORDATION OF THIS PLAT.

THIS SUBDIVISION HAS BEEN MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNERS. IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS AND SEALS

SEASIDE KINGSTON, LLC
(MANAGING MEMBER)

PBRELFI, LLC
(MANAGING MEMBER)

ACKNOWLEDGMENTS

STATE OF WASHINGTON)

COUNTY OF _____) ss.

ON THIS _____ DAY OF _____, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED _____ TO ME KNOWN TO BE A MEMBER OF THE ENTITY DESCRIBED HEREIN AND WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED THAT HE SIGNED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE SAID INSTRUMENT.

SIGNED AND SWORN BEFORE ME ON THIS _____ DAY OF _____, 20 ____.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON
RESIDING AT: _____

MY COMMISSION EXPIRES: _____

STATE OF WASHINGTON)

COUNTY OF _____) ss.

ON THIS _____ DAY OF _____, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED _____ TO ME KNOWN TO BE A MEMBER OF THE ENTITY DESCRIBED HEREIN AND WHO EXECUTED THE WITHIN AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED THAT HE SIGNED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED, FOR THE USES AND PURPOSES THEREIN MENTIONED, AND ON OATH STATED THAT HE WAS AUTHORIZED TO EXECUTE SAID INSTRUMENT.

SIGNED AND SWORN BEFORE ME ON THIS _____ DAY OF _____, 20 ____.

NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON
RESIDING AT: _____

MY COMMISSION EXPIRES: _____

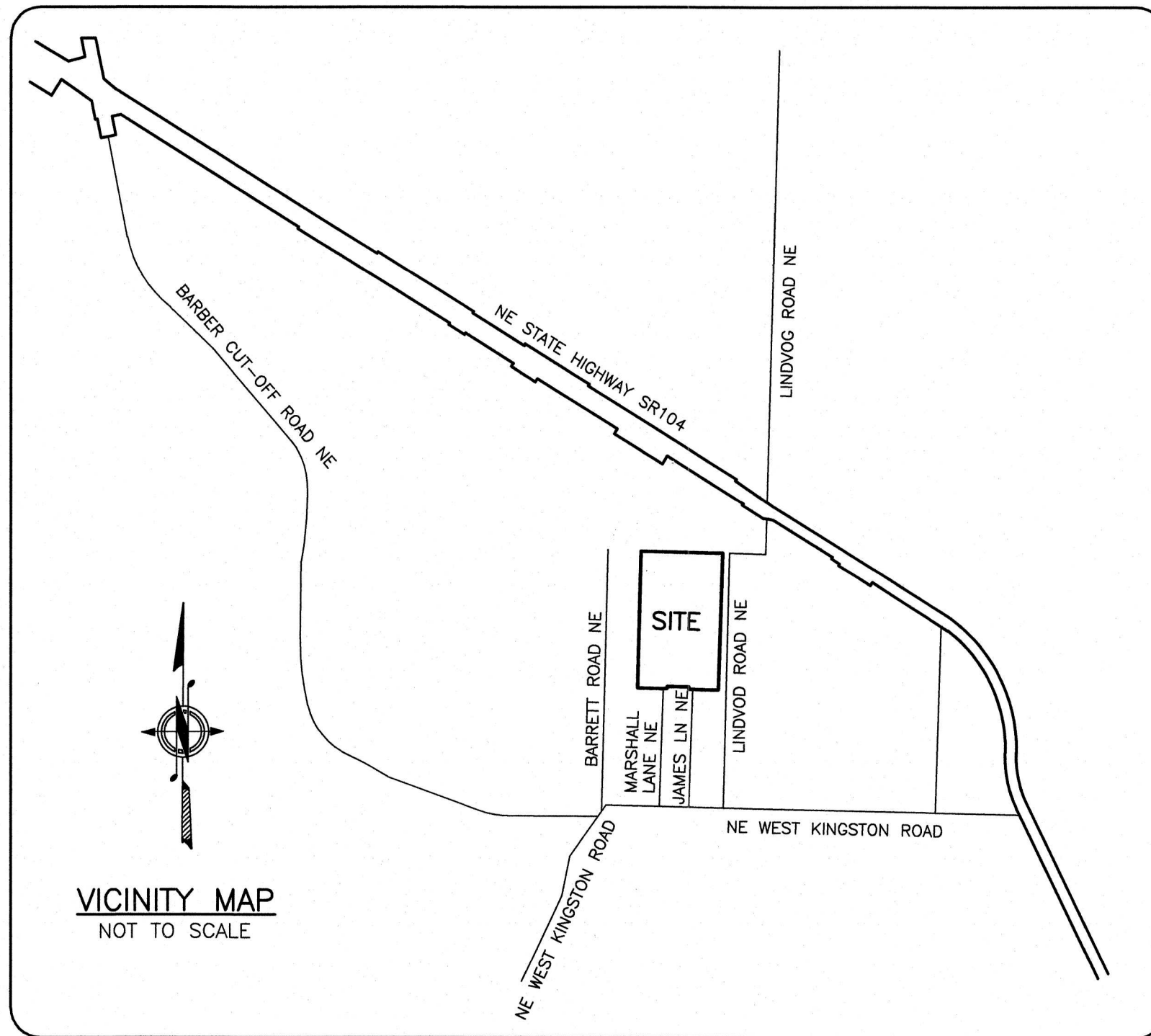
SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF SEASIDE KINGSTON, LLC & PBRELFI, LLC ON _____ (DATE). I HEREBY CERTIFY THAT THIS MAP SEASIDE IS BASED UPON AN ACTUAL SURVEY OF THE PROPERTY HEREIN DESCRIBED; THAT THE BEARINGS AND DISTANCES ARE CORRECTLY SHOWN; THAT ALL INFORMATION REQUIRED BY THE WASHINGTON UNIFORM COMMON INTEREST OWNERSHIP ACT IS SUPPLIED HEREIN; AND THAT ALL HORIZONTAL AND VERTICAL BOUNDARIES OF THE UNITS, (1) TO THE EXTENT DETERMINED BY THE WALLS, FLOORS, OR CEILINGS THEREOF, OR OTHER PHYSICAL MONUMENTS, ARE SUBSTANTIALLY COMPLETED IN ACCORDANCE WITH SAID MAP, OR (2) TO THE EXTENT SUCH BOUNDARIES ARE NOT DEFINED BY PHYSICAL MONUMENTS, SUCH BOUNDARIES ARE SHOWN ON THE MAP.

FREDERICK A. KEGEL, P.L.S. No. 14065

LEGAL DESCRIPTION

LOTS A, B, C, AND D OF SHORT PLAT NO. 7222, AS RECORDED UNDER RECORDING NUMBERS 200306060403 AND 200306060404, BEING A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 27 NORTH, RANGE 2 EAST, W.M. RECORDS OF KITSAP COUNTY AUDITOR.



APPROVALS

APPROVED BY ME THIS _____ DAY OF _____, 20 ____.

KITSAP COUNTY ENGINEER

APPROVED BY THE KITSAP PUBLIC HEALTH DISTRICT THIS _____ DAY OF _____, 20 ____.

DIRECTOR OF KITSAP PUBLIC HEALTH DISTRICT

APPROVED BY THE DIRECTOR OF KITSAP COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT IN CONFORMITY WITH THE COMPREHENSIVE PLAN THIS DAY OF _____, 20 ____.

DIRECTOR, KITSAP COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT

TREASURER'S CERTIFICATE

I, _____, TREASURER OF KITSAP COUNTY, WASHINGTON, HEREBY CERTIFY THAT ALL TAXES ON THE ABOVE DESCRIBED PROPERTY ARE FULLY PAID UP TO AND INCLUDING THE YEAR ____.

KITSAP COUNTY TREASURER

DEPUTY

RECORDING CERTIFICATE

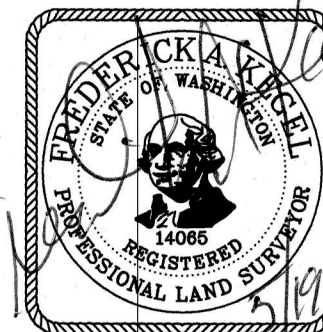
FILED FOR RECORD AT THE REQUEST OF _____ ON THIS _____ DAY OF _____, 20 __, A.D., AT _____ MINUTES PAST _____ O'CLOCK _____ M. AND RECORDED IN VOLUME _____ OF PLATS, PAGES _____, RECORDS OF KITSAP COUNTY, WASHINGTON.

KITSAP COUNTY AUDITOR

DEPUTY

SHEET INDEX

- SHEET 1 - SIGNATURE PAGE (THIS PAGE)
- SHEET 2 - LEGAL DESCRIPTIONS & NOTES & TABLES
- SHEET 3 - LOT DETAILS & TABLE
- SHEET 4 - LOT DETAILS & TABLE
- SHEET 5 - BUILDINGS & ENCROACHMENTS



N.L. Olson & Associates, Inc.

Engineering, Planning and Surveying

(360) 895-2350 or (360) 876-2284

2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

Project # 10554

~ SEASIDE ~

KINGSTON, WA

Portion of the Northwest Quarter of the Southeast Quarter Section 26,
Township 27 North, Range 2 East, W.M. in Kitsap County, Washington

NOTES

1. BASIS OF BEARINGS: THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 27 NORTH, RANGE 2 EAST, W.M. BEARS NORTH 88°45'10" WEST PER SHORT PLAT NO. 7222, RECORDED UNDER AUDITOR'S FILE NUMBER 200306060403, RECORDS OF KITSAP COUNTY, WASHINGTON.

2. REFERENCES: ALL RECORDS OF KITSAP COUNTY AUDITOR
A. SHORT PLAT NO. 7222, NO.7039 AFN 200306060403 AND 200306060404
B. TRUSTEE'S DEED, AFN 201304290270
C. RIGHT OF WAY DEED, AFN 201601250058
D. PACIFIC NORTHWEST TITLE, ORDER NO. 32172673

3. PRACTICE AND PROCEDURES: SP80 GPS AND RANGER 3 DATA COLLECTOR USED FOR GPS TIES TO SURVEY CONTROL. CONVENTIONAL SURVEY WAS PERFORMED BY FIELD TRAVERSE WITH A SPECTRA PRECISION FOCUS 35 TOTAL STATION. FINAL RESULTS MEETING OR EXCEEDING THE CURRENT TRAVERSE STANDARDS CONTAINED IN W.A.C. 332-130-090.

4.TOTAL SITE AREA:	307,399 SF. (7.06 AC.)
TRACT A (OPEN SPACE)	4,081 SF. (0.09 ACRES)
TRACT B (OPEN SPACE)	6,889 SF. (0.15 ACRES)
TRACT C (RECREATION AREA)	25,756 SF. (0.59 ACRES)
TRACT D (RECREATION AREA)	8,996 SF (0.20 ACRES)
TRACT E (OPEN SPACE / WETLAND)	10,950 SF (0.25 ACRES)
TRACT F (OPEN SPACE)	4,055 SF (0.09 ACRES)
TRACT G (PRIVATE ROAD)	97,556 SF (2.24 ACRES)
TRACT H (OPEN SPACE)	20,533 SF (0.47 ACRES)
TRACT I (OPEN SPACE)	4,945 SF (0.11 ACRES)

EASEMENT PROVISIONS

TRACT A, B, C, D, E, F, G, H, I, ARE ALSO BURDENED BY AND SUBJECT TO A PERMANENT MULTI-PURPOSE EASEMENT. THE PURPOSE OF THE MULTI-PURPOSE EASEMENTS ARE TO SERVE THE PLAT WITH SANITARY SEWER, STORM DRAINS, WATER SERVICES FOR DOMESTIC AND FIRE PROTECTION, NATURAL GAS SERVICE, POWER SERVICE, TELEPHONE SERVICE AND CABLE TELEVISION SERVICE. ALL UTILITY AND SERVICE ORGANIZATIONS, INCLUDING KITSAP COUNTY SHALL HAVE THE RIGHT TO ENTER UPON THE EASEMENT AREAS AT ALL TIMES FOR THE PURPOSES HEREIN STATED AND SHALL, TO THE EXTEND REASONABLE AND PRACTICABLE, RESTORE THE EASEMENT AREAS FOLLOWING INSTALLATION, MAINTENANCE OR REPAIR TO THEIR PRE-WORK CONDITION. WITHIN SAID EASEMENT NO STRUCTURE, PLANTING OR OTHER MATERIALS SHALL BE PLACED OR PERMITTED TO REMAIN WHICH MAY DAMAGE EXISTING FACILITIES OR INTERFERE WITH THE PURPOSE STATED HEREIN.

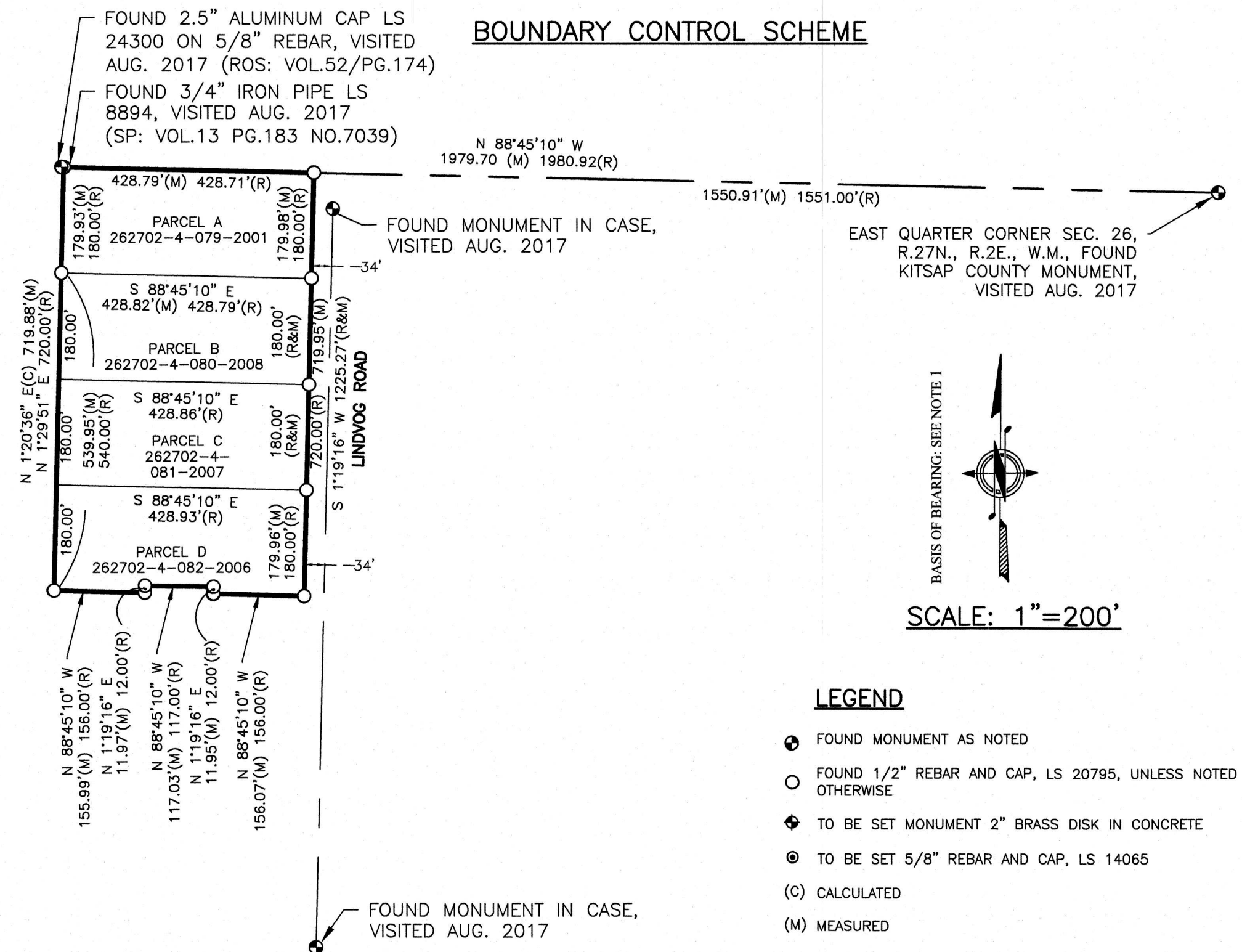
THESE EASEMENTS ENTERED UPON FOR THESE PURPOSES SHALL BE RESTORED AS NEAR AS POSSIBLE TO THEIR ORIGINAL CONDITION. NO LINES OR WIRES FOR TRANSMISSION OF ELECTRIC CURRENT OR FOR TELEPHONE USE OR FIBEROPTIC OR OTHER CABLE SHALL BE PLACED OR PERMITTED TO BE PLACED UPON ANY LOT OR TRACT UNLESS THE SAME SHALL BE UNDERGROUND OR IN CONDUIT ATTACHED TO A BUILDING.

Parcel Line Table			
Line #	Length	Direction	
L1	11.22	N1° 19' 12.00"E	
L2	15.35	N1° 19' 12.00"E	
L4	21.06	S50° 10' 43.40"E	
L5	16.49	S88° 40' 48.00"E	
L6	5.00	N1° 19' 12.00"E	
L7	5.00	N1° 19' 12.00"E	
L8	18.50	N88° 40' 48.00"W	
L9	12.00	N1° 19' 12.00"E	
L10	9.27	N12° 25' 23.57"W	
L11	9.27	N15° 03' 47.57"E	
L12	10.56	S17° 27' 28.92"E	
L13	6.61	N78° 13' 12.33"W	
L14	2.10	S73° 18' 57.02"W	
L15	2.10	N70° 40' 33.02"W	
L16	2.10	S73° 18' 57.02"W	
L17	2.10	N70° 40' 33.02"W	
L18	4.14	N54° 10' 23.93"E	
L19	6.01	S53° 04' 22.71"E	
L20	2.21	N74° 12' 59.89"E	
L21	11.92	S77° 44' 10.07"W	
L22	10.00	S18° 33' 54.59"E	
L23	10.00	N21° 12' 19.08"E	
L24	7.09	S43° 40' 48.00"E	
L25	10.69	S46° 19' 12.00"W	

Parcel Line Table			
Line #	Length	Direction	
L26	10.69	S43° 40' 48.00"E	
L27	10.34	S1° 19' 12.00"W	
L28	39.93	S1° 19' 12.00"W	
L29	18.64	N1° 19' 12.00"E	
L30	10.56	S43° 40' 48.00"E	
L31	10.56	N46° 19' 12.00"E	
L32	18.64	S1° 19' 12.00"W	
L33	37.00	S88° 40' 48.00"E	
L34	18.50	N1° 19' 12.00"E	
L35	2.83	S88° 40' 48.00"E	
L36	18.50	S1° 19' 12.00"W	
L37	25.00	S88° 35' 53.78"E	
L38	10.69	S46° 19' 12.00"W	
L39	12.68	S1° 19' 12.00"W	
L40	10.69	S43° 40' 48.00"E	
L41	11.60	S46° 19' 12.00"W	
L42	18.54	S50° 58' 11.28"E	
L43	18.54	N6° 19' 52.29"W	
L44	3.25	N88° 40' 48.00"W	
L45	18.50	S1° 19' 12.00"W	
L46	18.50	N1° 19' 12.00"E	
L48	18.50	S1° 19' 12.00"W	
L49	17.50	N1° 19' 12.00"E	
L50	2.08	N89° 06' 36.76"W	

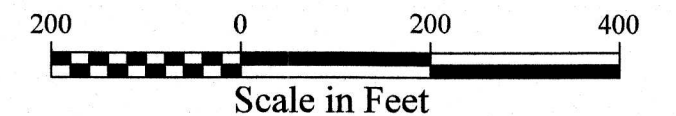
Curve Table				
Curve #	Length	Radius	Delta	
C1	17.45	50.00	20°00'00"	
C2	17.47	50.00	20°01'06"	
C5	20.64	36.38	32°29'57"	
C6	3.93	2.50	90°00'00"	
C7	2.36	1.50	90°00'00"	
C8	2.36	1.50	90°00'00"	
C9	2.36	1.50	90°00'00"	
C10	2.29	1.50	87°33'40"	
C11	2.29	1.50	87°33'40"	
C12	24.77	45.50	31°11'41"	
C13	66.90	59.50	64°25'06"	
C14	34.84	45.50	43°52'31"	
C15	6.93	19.50	20°22'34"	
C16	1.18	1.50	45°00'00"	
C17	1.18	1.50	45°00'00"	
C18	1.18	1.50	45°00'00"	
C19	4.14	45.50	5°12'44"	
C20	1.18	1.50	45°00'00"	
C21	3.53	4.50	45°00'00"	
C22	52.03	65.51	45°30'09"	
C23	2.75	1.17	135°00'00"	
C24	2.75	1.17	135°00'00"	
C25	2.36	1.50	90°00'00"	
C26	2.36	1.50	90°00'00"	

BOUNDARY CONTROL SCHEME



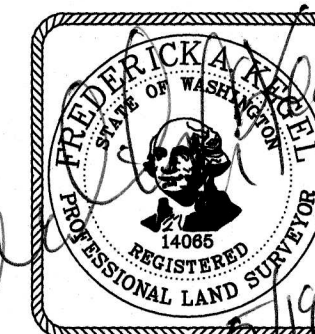
LEGEND

- FOUND MONUMENT AS NOTED
- FOUND 1/2" REBAR AND CAP, LS 20795, UNLESS NOTED OTHERWISE
- ◆ TO BE SET MONUMENT 2" BRASS DISK IN CONCRETE
- ⊙ TO BE SET 5/8" REBAR AND CAP, LS 14065
- (C) CALCULATED
- (M) MEASURED



PLAT NOTES

- ALL BUILDING PERMITS ON THESE LOTS WILL BE SUBJECT TO IMPACT FEES PURSUANT TO KCC.
- PRIOR TO TRANSFERRING TO THE HOME OWNERS ASSOCIATION (HOA), THE DEVELOPER WILL BE RESPONSIBLE FOR IRRIGATION, AND MAINTENANCE OF ALL LANDSCAPING TO ENSURE SURVIVAL UP TO TWO YEARS. THE DEVELOPER OR THE HOA SHOULD MAINTAIN ALL LANDSCAPING CONSISTENT WITH TREE CARE INDUSTRY ASSOCIATION STANDARD PRACTICES.
- KITSAP COUNTY WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO ANY PRIVATE ROADS, TRACTS, AND/OR EASEMENT AREAS THAT MAY OCCUR DURING ROUTINE MAINTENANCE ACTIVITIES AND THAT IN KITSAP COUNTY'S JUDGMENT OCCUR, IN WHOLE OR IN PART, BECAUSE OF ANY CONSTRUCTION MATERIALS OR TECHNIQUES, OR ANY MAINTENANCE MATERIALS OR TECHNIQUES. THIS INCLUDES, BUT IS NOT LIMITED TO, DAMAGE TO PAVEMENT OR VEGETATED AREAS CAUSED BY MAINTENANCE TRUCKS.
- ALL INTERIOR ROADS SHALL REMAIN PRIVATE, AS PROPOSED BY THE APPLICANT. IF AT ANY TIME, THE APPLICANT OR HIS SUCCESSORS OR ASSIGNS CHOOSE TO DEDICATE THESE ROADS TO KITSAP COUNTY, IT SHALL BE SUBJECT TO A FURTHER REVIEW BY KITSAP COUNTY DEVELOPMENT SERVICES AND ENGINEERING AND PUBLIC WORKS. FOR ROADS TO BE DEDICATED TO KITSAP COUNTY, THEY MUST MEET ALL THE REQUIREMENTS OF THE KCC AS ADOPTED AT THE TIME OF DEDICATION. ALL IMPROVEMENTS NECESSARY TO BRING SAID ROADS TO THE THEN CURRENT KITSAP COUNTY STANDARDS SHALL BE DONE AT NO EXPENSE TO THE COUNTY PRIOR TO BEING ACCEPTED INTO THE KITSAP COUNTY ROAD SYSTEM.
- ALL LOTS SHALL ACCESS FROM INTERIOR ROADS.
- THE PROPERTY OWNERS WITHIN THE PLAT SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING WITHIN THE EXISTING AND PROPOSED RIGHT-OF-WAY INCLUDING ANY STRUCTURES OTHER THAN ROADWAY, STORM DRAINAGE FACILITIES, AND TRAFFIC SIGNAGE. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING OF LAWN AREAS.
- A TRAIL CONNECTION EASEMENT FOR A NON-FORMALIZED NEIGHBORHOOD TRAIL SHALL BE RESERVED SOMEWHERE ALONG THE NORTH AND/OR WEST BOUNDARY OF PLAT ONCE FUTURE ESTABLISHED TRAIL IS CONSTRUCTED.
- THE ALLOWABLE IMPERVIOUS SURFACE THAT CAN BE CREATED ON ALL RESIDENTIAL LOTS WITHIN THIS PLAT IS 100%.

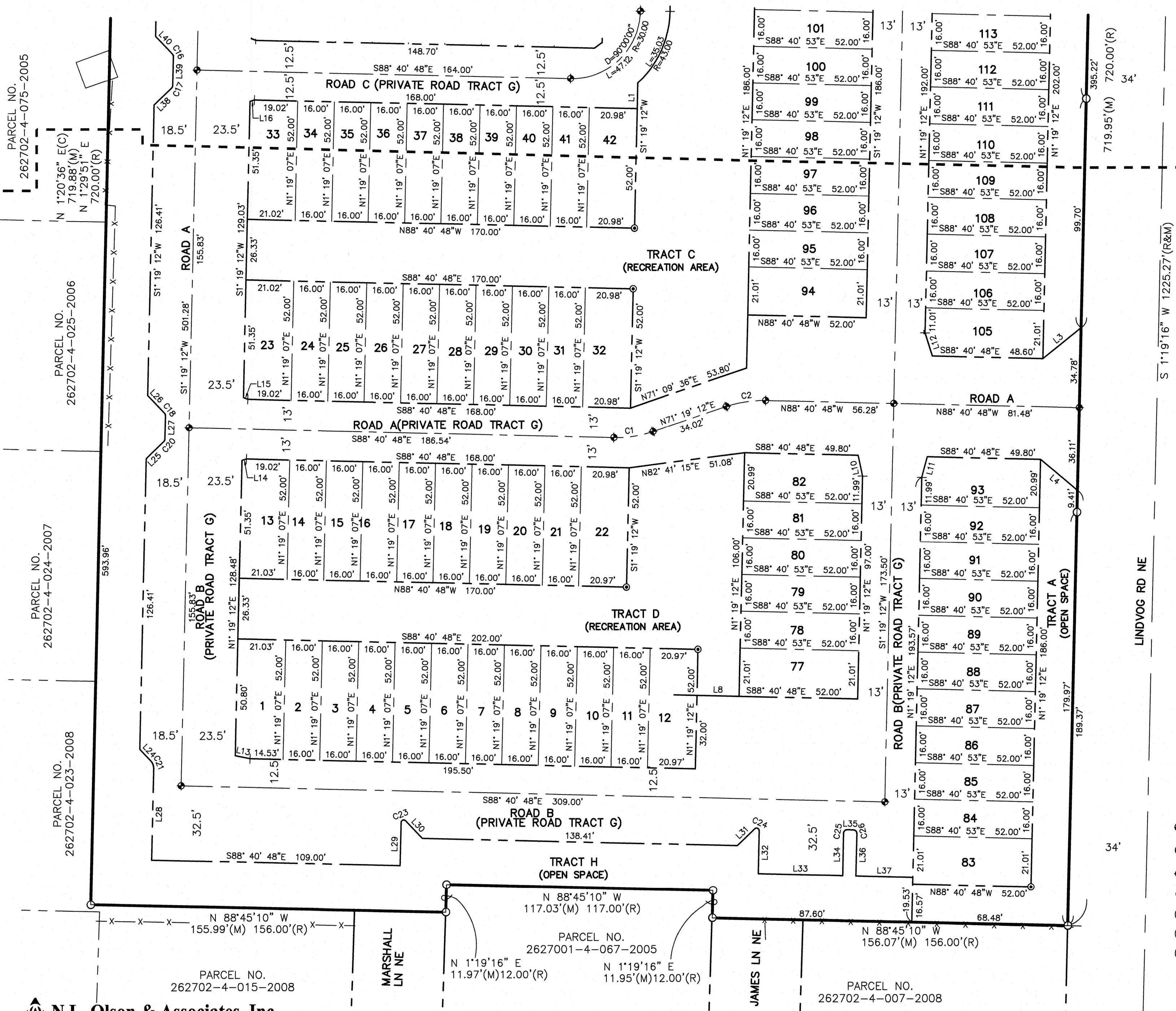


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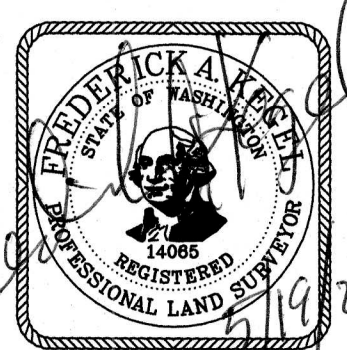


MATCH LINE (Sheet 4)



SCALE: 1" = 30'

Scale in Feet



LEGEND

- FOUND MONUMENT AS NOTED
- FOUND 1/2" REBAR AND CAP, LS 20795, UNLESS NOTED OTHERWISE
- ◆ TO BE SET MONUMENT 2" BRASS DISK IN CONCRETE
- ◎ TO BE SET 5/8" REBAR AND CAP, LS 14065
- (C) CALCULATED
- (M) MEASURED
- (R) RECORD PER SHORT PLAT, VOL. 17, PG. 187

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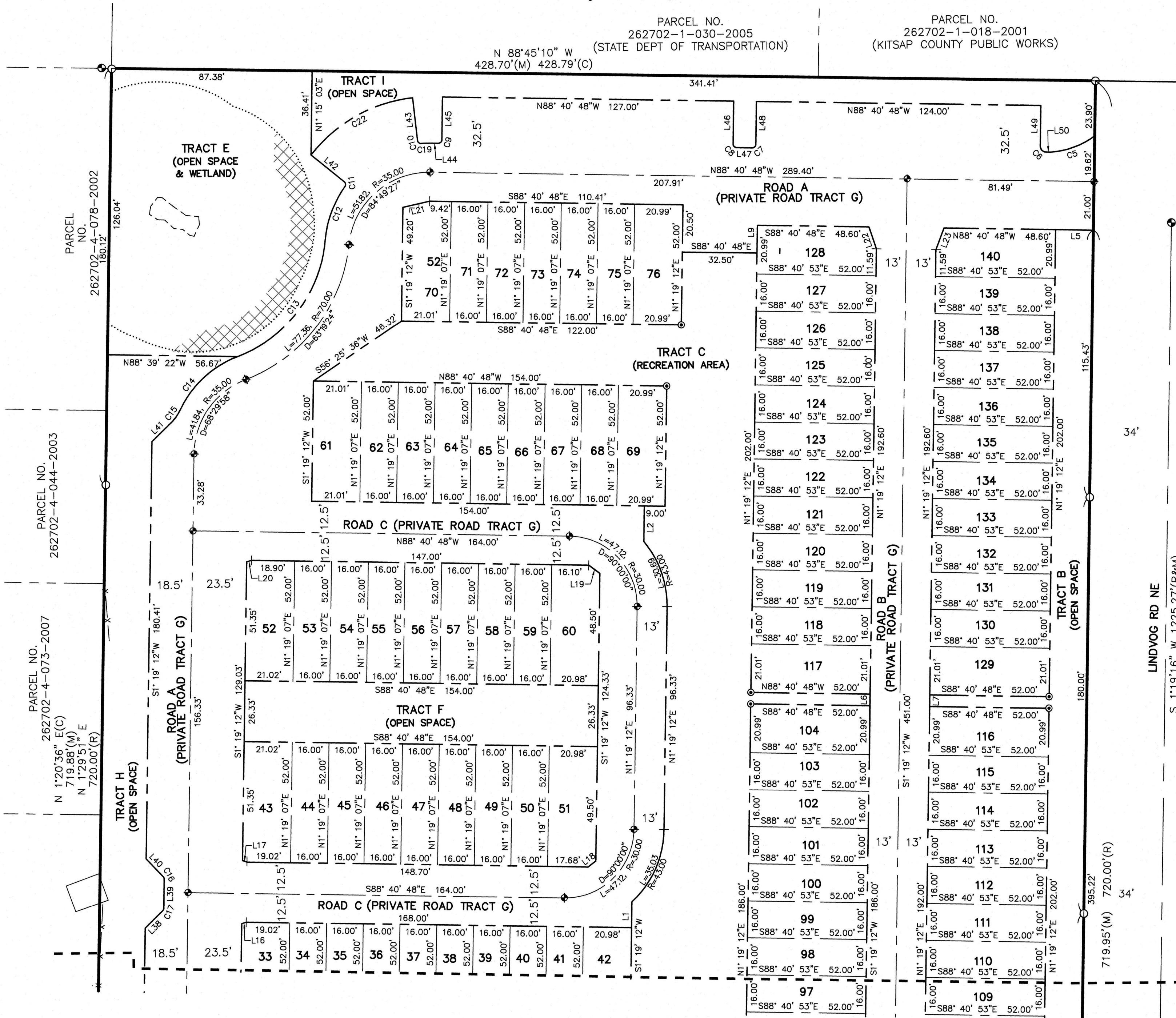
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Portion of the Northwest Quarter of the Southeast Quarter Section 26,
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PARCEL NO.
262702-1-030-2005
(STATE DEPT OF TRANSPORTATION)
N 88°45'10" W
428.70'(M) 428.79'(C)

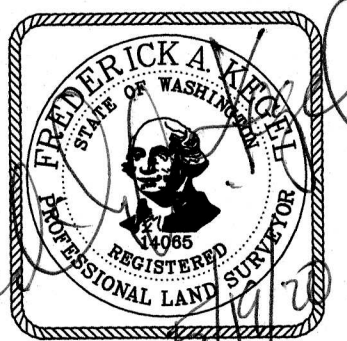
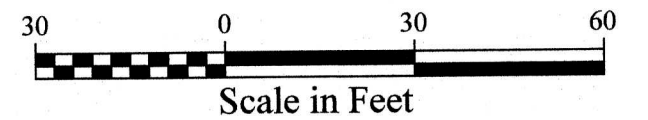
PARCEL NO.
262702-1-018-2001
(KITSAP COUNTY PUBLIC WORKS)



BASIS OF BEARING: SEE SHEET 2



SCALE: 1" = 30'



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-MATCH LINE (Sheet 3)

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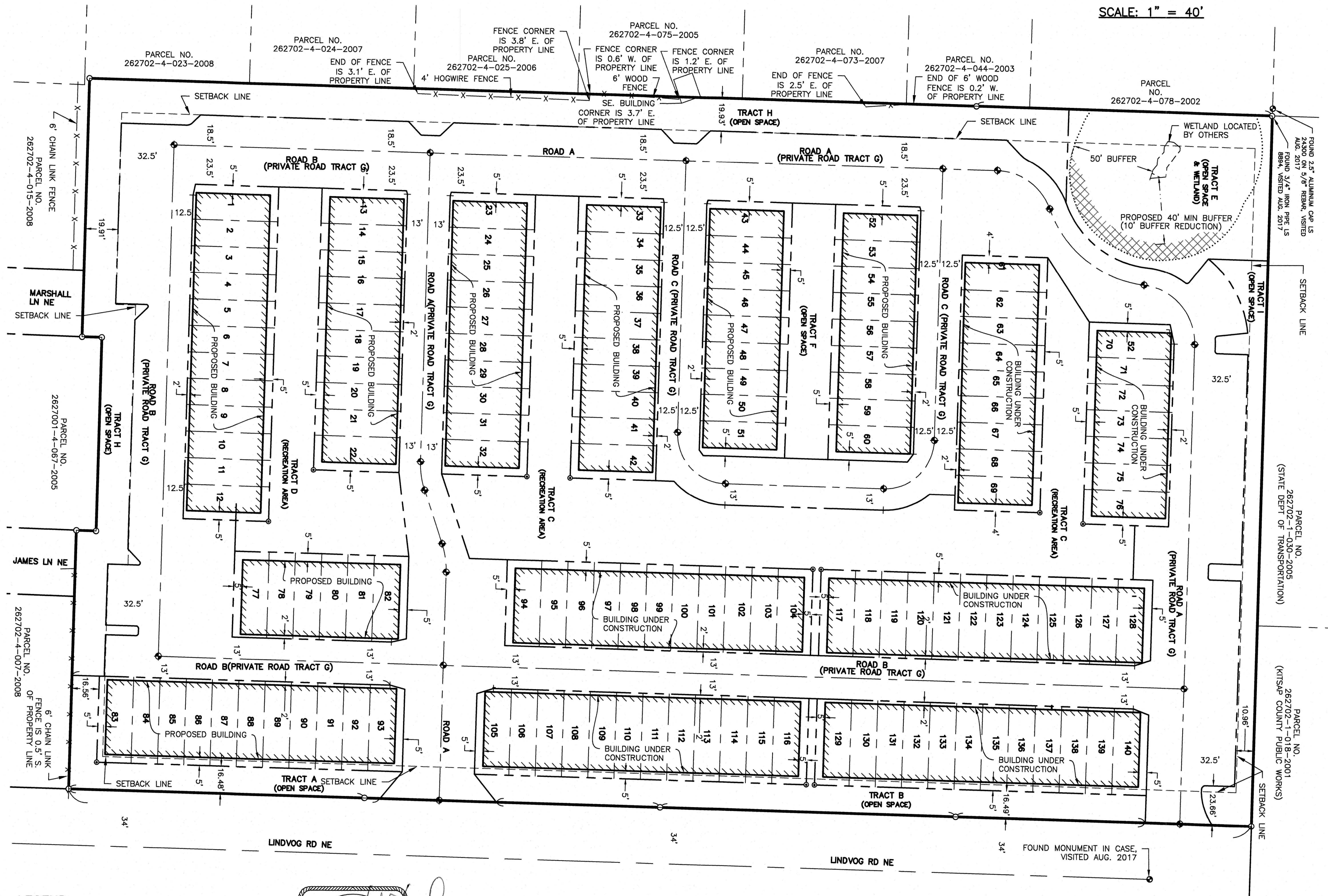
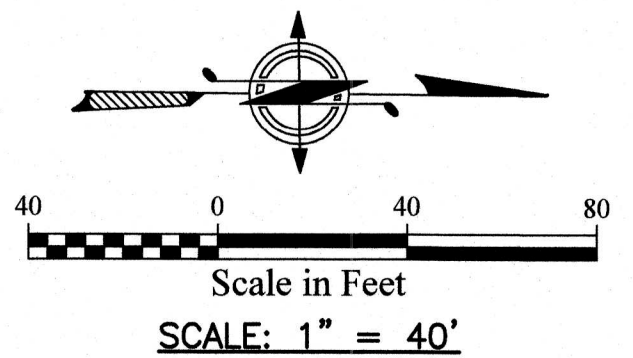
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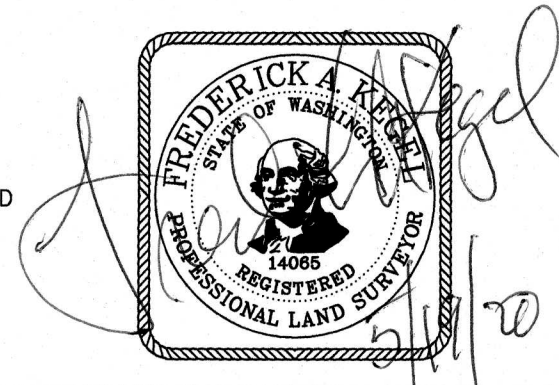
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Sheet 5 of 5



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