

Reviewed for code compliance
with IRC 2015
Kitsap County Building Department
GShapiro@co.kitsap.wa.us
04/03/2020

Validity of permit. The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the International Codes or any other ordinance of Kitsap County. Permits presuming to give authority to violate or cancel the provisions of the International Codes and ordinances of Kitsap County shall not be valid. IRC & IRC 105

CHANGES
MUST Be Approved Prior
To Performing Work

Subject To Field Inspection

Must Comply With
All Washington
State Codes

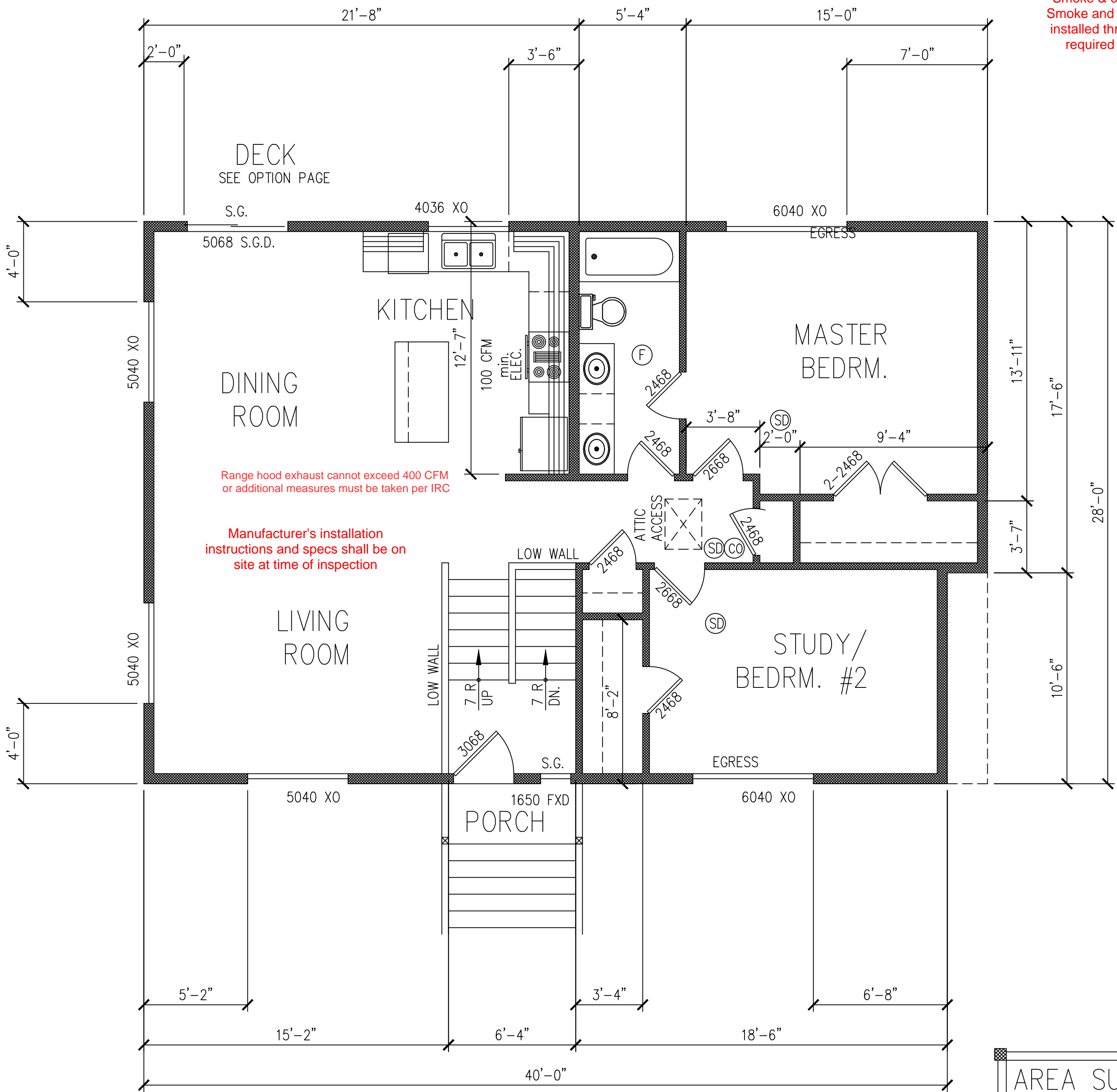
BUILDING CODE DESIGN DATA

2015 IRC, WAC 51-51
2015 IFC, WAC 51-54A
2015 WSEC, WAC 51-11
2015 UPC, WAC 51-56 & 51-57
2015 IMC, WAC 51-52
2012 IFGC, WAC 51-52

GROUND SNOW LOAD: 30 lbs
HOUSE FLOOR LOAD: 40 lbs
DECK FLOOR LOAD: 60 lbs
(FLOOR DEAD LOAD: 15 lbs)
WIND SPEED: 110 mph / 85 mph
WIND EXPOSURE B
SEISMIC: D2
FROST LINE: 12"

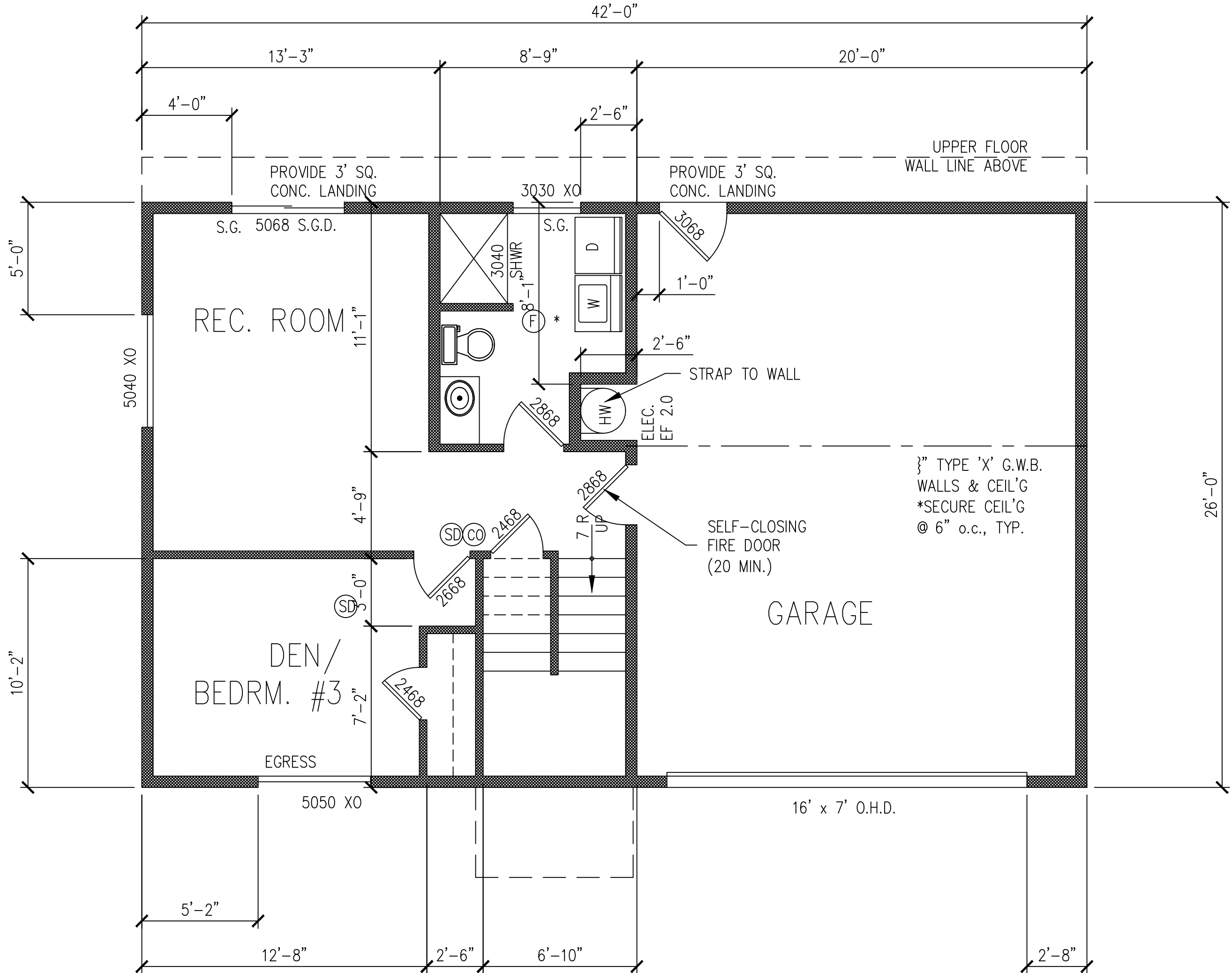
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A1 FLOOR PLANS
A2 ELEVATIONS
S1 FOUNDATION & FRAMING PLANS
D1 STRUCTURAL DETAILS



MAIN FLOOR PLAN SCALE : 1" = 1'

Smoke & carbon monoxide detectors required.
Smoke and carbon monoxide detectors must be
installed throughout the building in all locations
required by the IRC as amended by WAC.



LOWER FLOOR PLAN SCALE : 1" = 1'

AREA SUMMARY	
LOWER FLOOR AREA:	566 SF
MAIN FLOOR AREA:	1090 SF
UPPER FLOOR AREA:	0 SF
TOTAL FLOOR AREA:	1656 SF
GARAGE FLOOR AREA:	526 SF
PORCH FLOOR AREA:	28 SF
DECK FLOOR AREA:	144 SF

SMOKE ALARM SCHEDULE	
(SD) (CO)SD	SMOKE ALARMS FOR EACH SLEEPING ROOM AND COMBO SMOKE / CARBON MONOXIDE ALARM AT EACH STORY (IN THE VICINITY OF BEDROOMS)
EXHAUST FAN SCHEDULE	
(F)	INTERMITTENTLY OPERATING (UTILITY & BATH) 90 cfm
(F) *	WHOLE HOUSE FAN, AUTO TIMER FOR 8 HOURS PER DAY (VERIFY cfm PER HOUSE FLOOR AREA & BEDROOMS)

SMOKE ALARM NOTE:
- INSTALL SMOKE ALARM +10' FROM OVEN.
ALARMS LESS THAN 20' FROM OVEN SHALL
HAVE SILENCING BUTTON OR
PHOTOELECTRIC TYPE

HIGH EFFICIENCY HVAC EQUIPMENT 3d:
DUCTLESS SPLIT SYSTEM HEAT PUMPS, ZONAL CONTROL:
In homes where the primary space heating system is zonal electric heating, a ductless heat pump system shall be installed and provide heating to at least one zone of the housing unit.

EFFICIENCY BUILDING ENVELOPE 1a:
Prescriptive compliance is based on Table R402.1.1

- Fenestration- U-Factor= 0.28
- Skylight- U-Factor = .50
- Ceiling, Flat- R-Value= 49
- Ceiling, Sloped- R-Value= 38
- Wood Frame Wall- R-Value= 21 int
- Mass Wall R-Value= R-value= 21/21
- Floor- R-Value= 38
- Slab- on grade R-10 perimeter and entire slab
- Below grade slab- R-10, perimeter and under entire slab

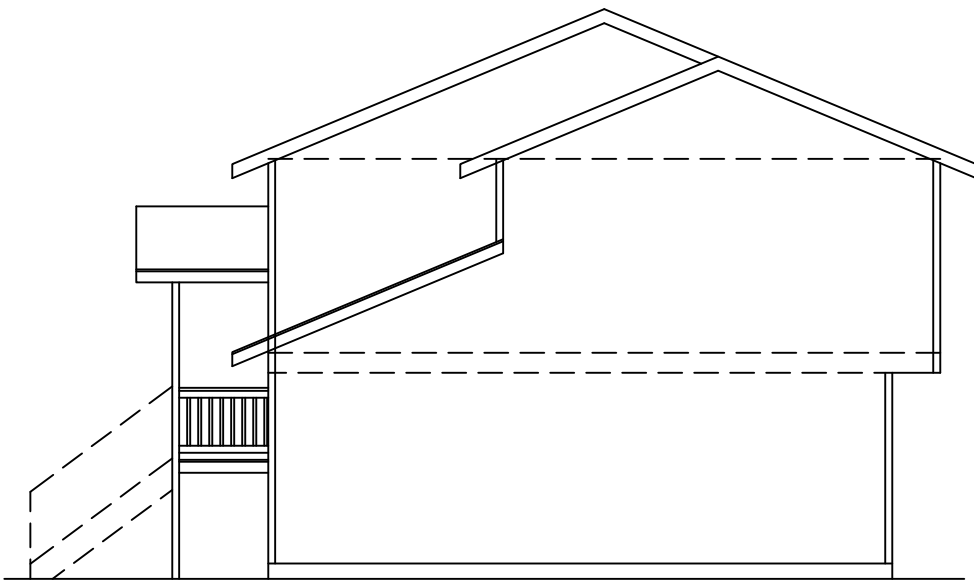
EFFICIENT WATER HEATING 5a:
All showerhead and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated at 1.0 GPM or less.

EFFICIENT WATER HEATING 5c:
Electric heat pump water heater with a minimum EF of 2.0 and meeting the standards of NEES's Northern Climate Specifications for Heat Pump Water Heaters.

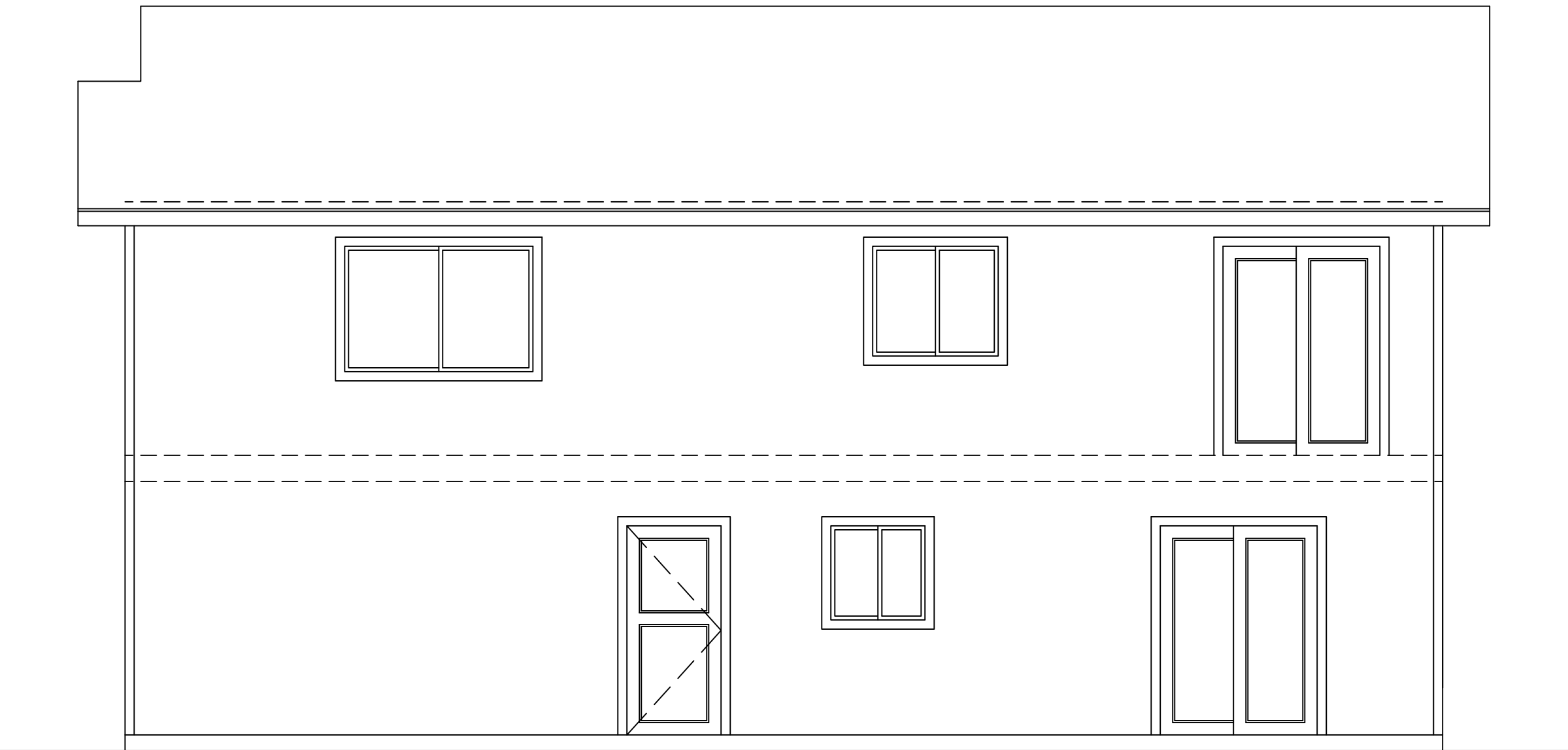
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Gutters and downspouts are required.
All roof and yard drains shall be directed to splash blocks at a minimum,
or to an infiltration system if required. All surface drainage shall have a
minimum 2% grade away from the foundation.



RIGHT ELEVATION SCALE : 1/8" = 1'



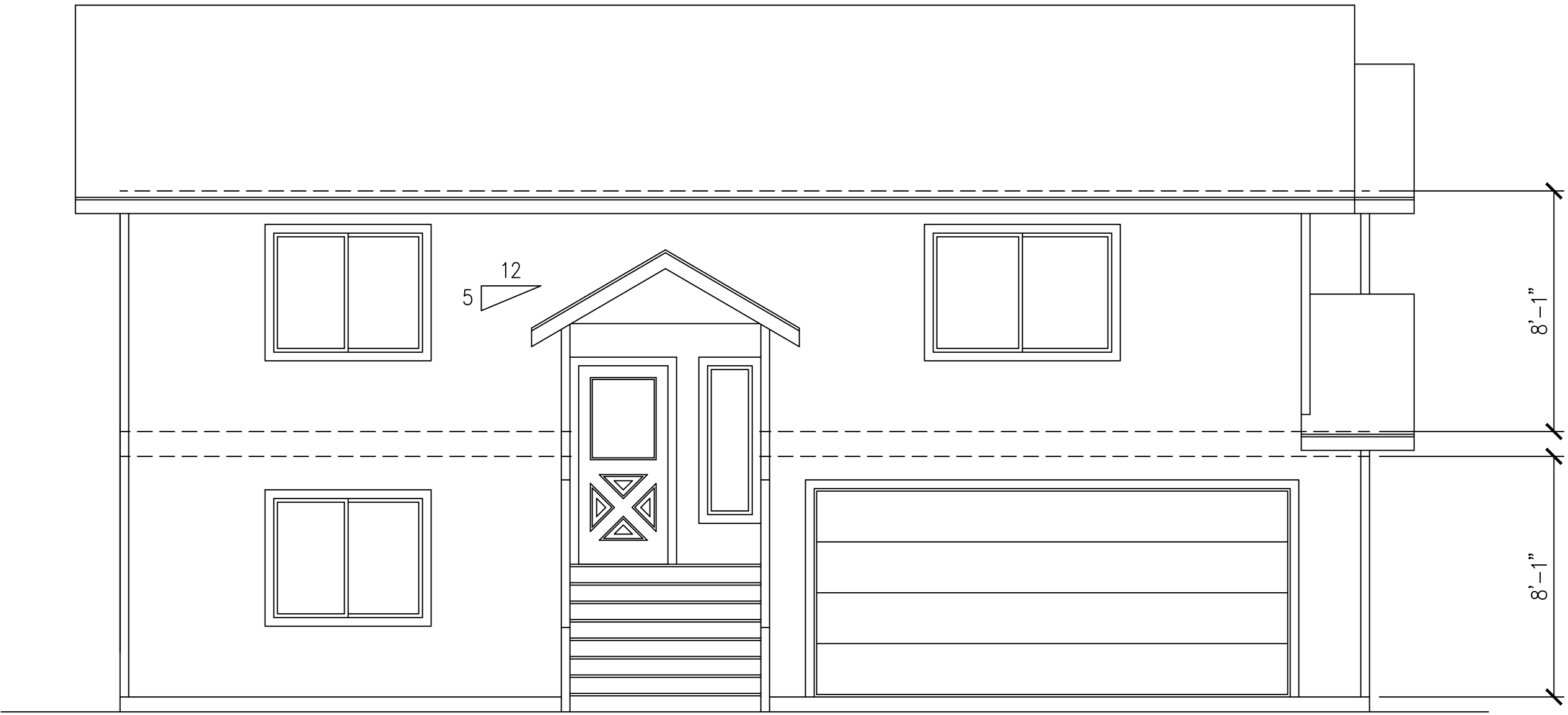
REAR ELEVATION SCALE : 1/8" = 1'

ALL DECKS, BALCONIES OR PORCHES, OPEN
SIDES OF LANDING AND STAIRS WHICH ARE
MORE THAN 30" ABOVE GRADE OR A FLOOR
BELOW MUST BE PROTECTED BY A
GUARDRAIL NOT LESS THAN 36" HIGH.

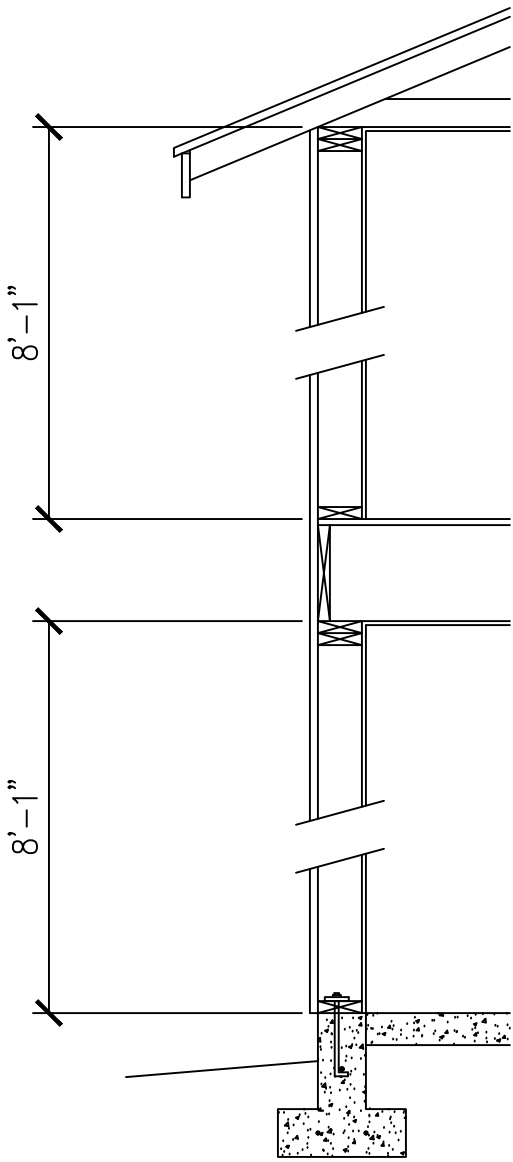
OPEN GUARDRAILS AND STAIR RAILINGS
REQUIRE INTERMEDIATE RAILS OR AN
ORNAMENTAL PATTERN SUCH THAT A BALL
4" IN DIAMETER CANNOT PASS THROUGH.



LEFT ELEVATION SCALE : 1/8" = 1'



FRONT ELEVATION SCALE : 1/8" = 1'



TYP. WALL SECTION SCALE : 1/8" = 1'

CONC. SLAB FLOOR:
-4" CONCRETE SLAB
-R-10 INSUL. (IF HEATED)
-4" GRAVEL BASE
-COMPACTED SOIL

WOOD JOIST FLOOR:
-FINISH FLOORING
-[1" O.S.B. SUB-FLOOR
-JOIST SYSTEM @ 16" o.c.
-R-38 INSUL. (IF UNHEATED BELOW)

STUD WALL:
-LAP SIDING
-HOUSE WRAP
-7/16" O.S.B. SHEATHING
-2x6 STUDS @ 16" o.c.
-R-21 INSULATION
-1/2" G.W.B.

WOOD ROOF:
-COMP. ROOFING
-15# FELT
-7/16" O.S.B. SHEATHING
-MFR. TRUSSES @ 24" o.c.
-R-49 INSULATION
-1/2" G.W.B.

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Specifications for Heat Pump Water Heaters.

HIGH EFFICIENCY HVAC EQUIPMENT 3d:
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In homes where the primary space heating system is zonal
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□ Slab- on grade R-10 perimeter and entire slab
□ Below grade slab- R-10, perimeter and under entire slab

LOT / OWNER
ROD FORSBERG
360-271-4808 c

MAILING:
8078 WENATCHEE PL NW
SILVERDALE, WA 98383
TAX ID#

DRAWN BY
SCOTT SHELTON

PLANSBUY@
OUTLOOK.COM
(360) 620-8883 c

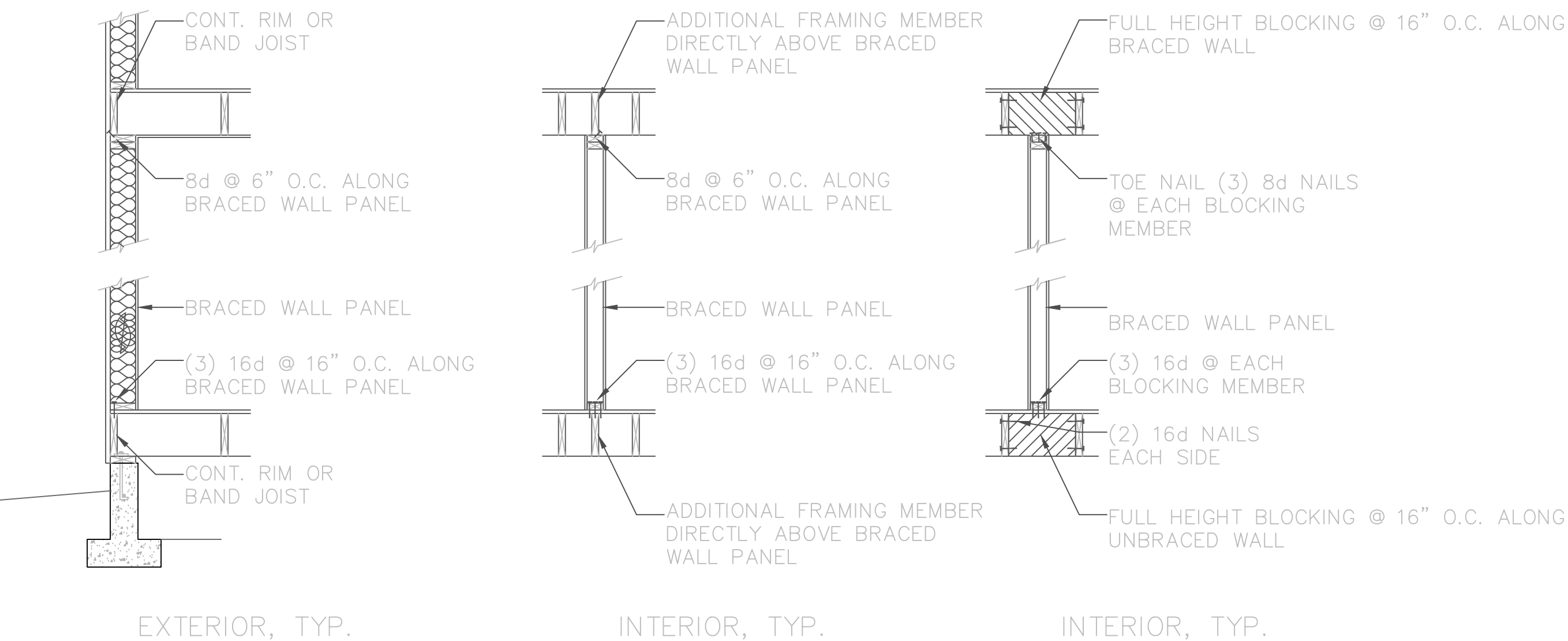
DATE
12/17/19

REVISED
02/04/20 SS

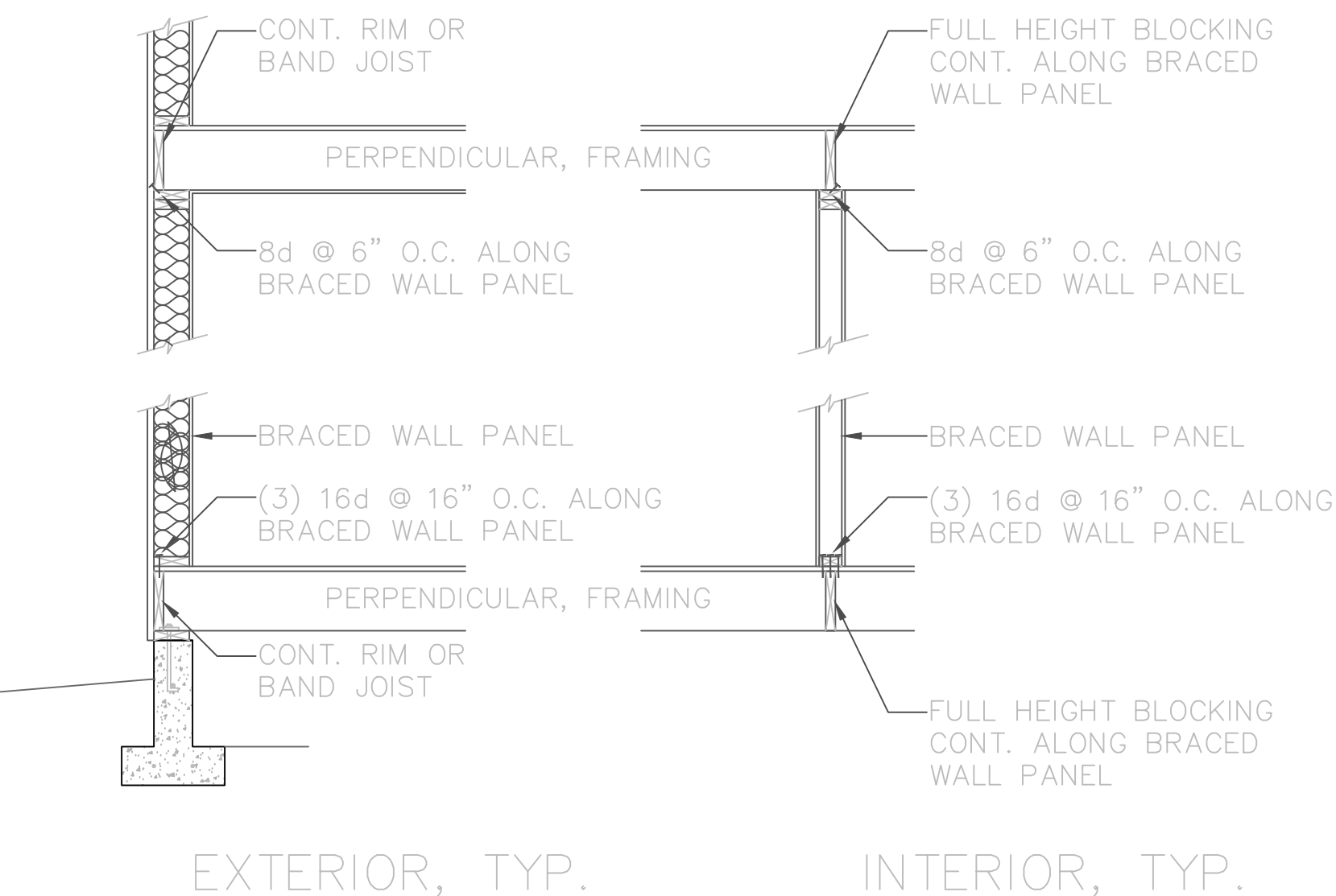
DRAWING:
ELEVATIONS

A2
of 4

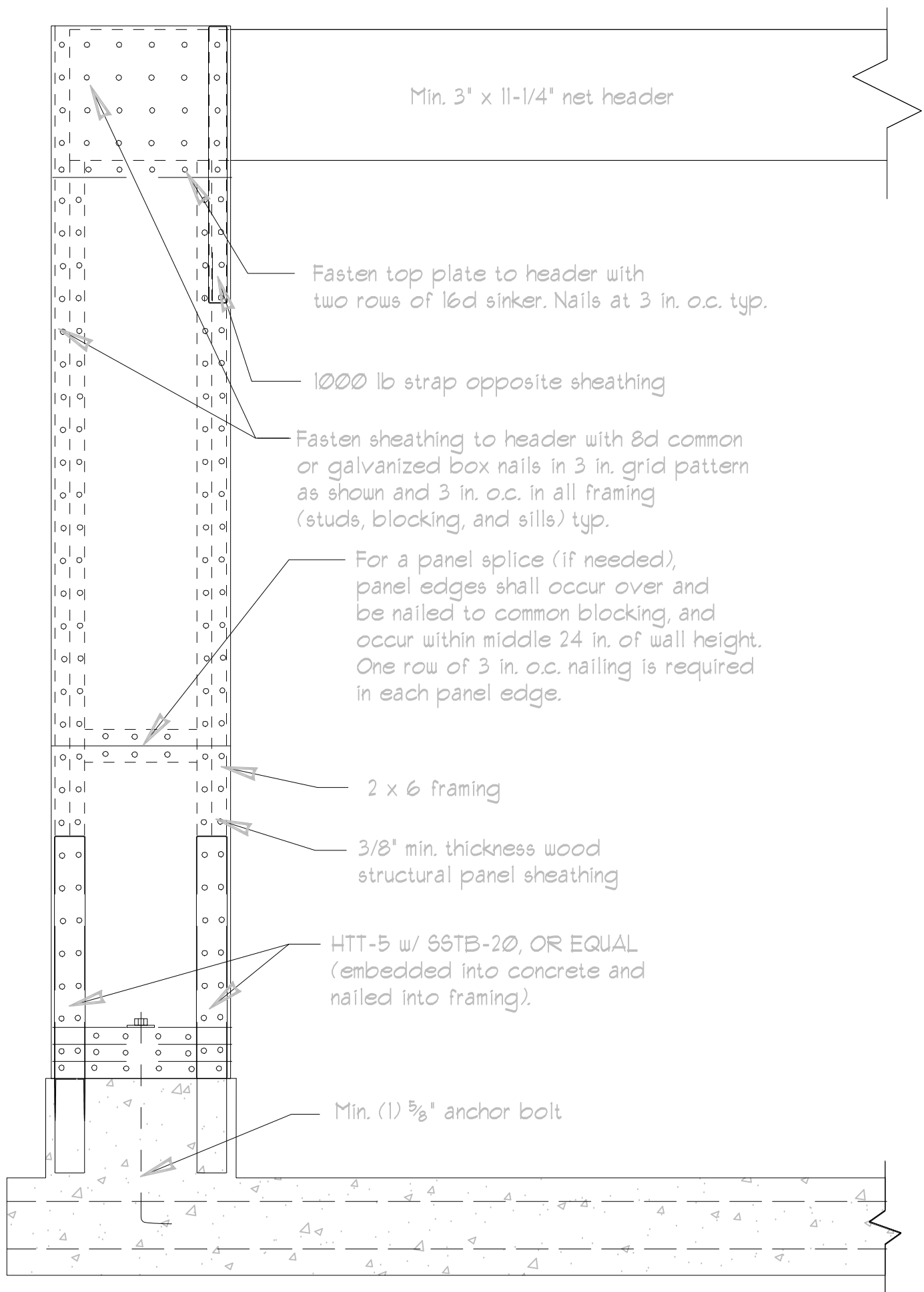
Subject To Field Inspection



① BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

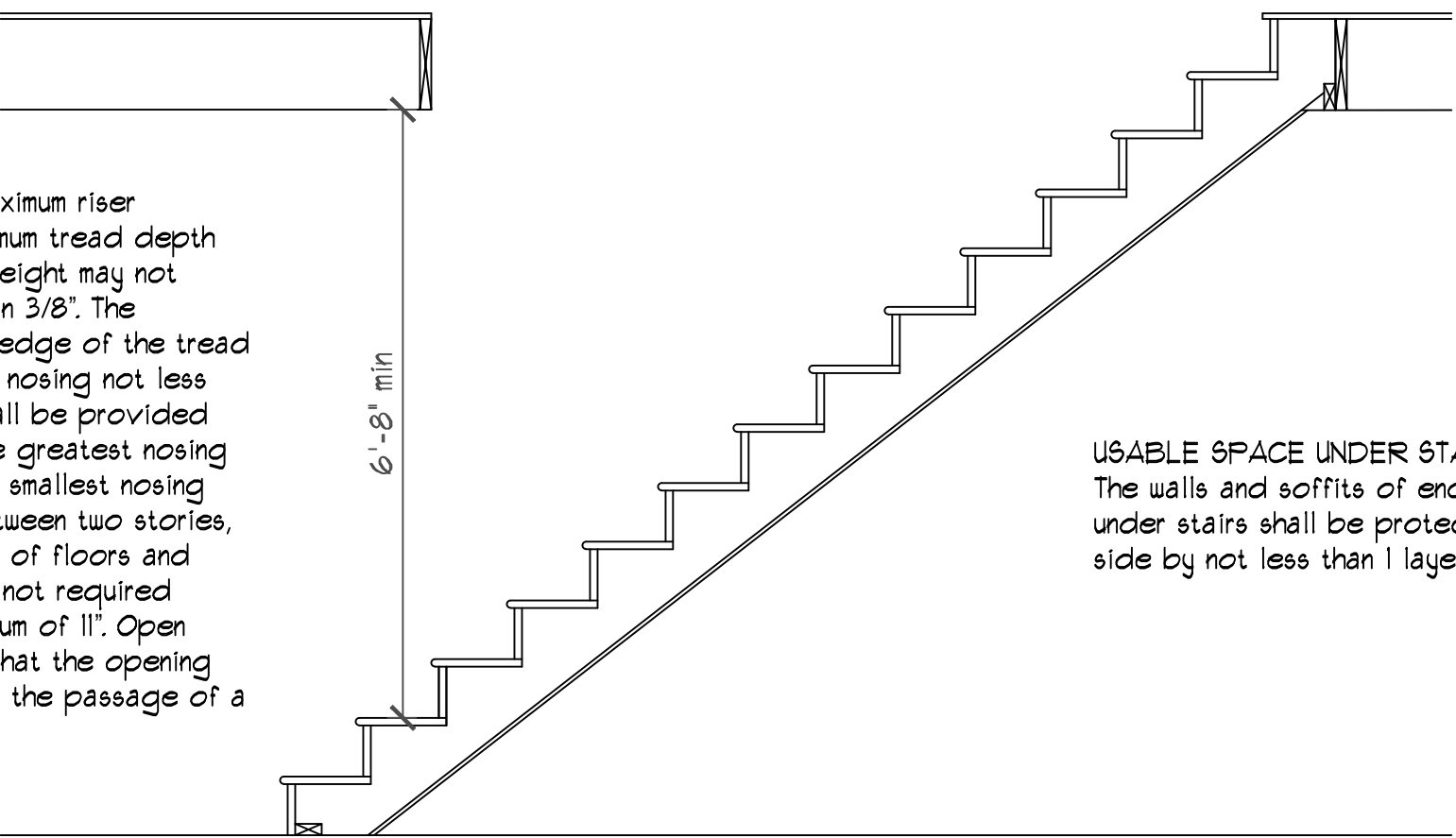


② BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING



TYP. PFG DETAIL SCALE : 1" = 1'

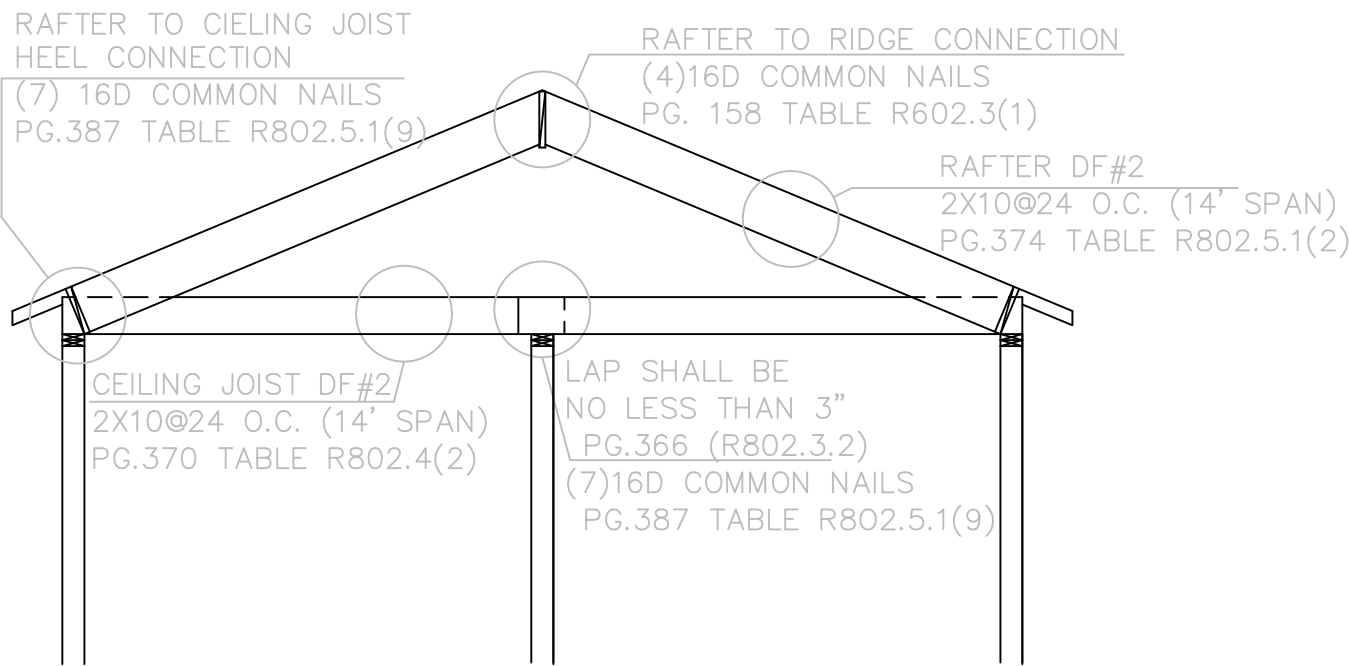
STAIR RISE & RUN: IRC R311.1 Maximum riser height shall be 1-1/4" and the minimum tread depth shall be 10". The greatest riser height may not exceed the smallest by more than 3/8". The radius curvature at the leading edge of the tread shall be no greater than 9/16". A nosing not less than 1/2" but not more than 1-1/2" shall be provided on stairways with solid risers. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8" between two stories, including the nosing at the level of floors and landings. Exception: A nosing is not required where the tread depth is a minimum of 11". Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.



USABLE SPACE UNDER STAIRS: IRC R302.1 The walls and soffits of enclosed usable space under stairs shall be protected on the enclosed side by not less than 1 layer of 1/2" gypsum board.

STAIRWAYS: IRC R311.1 Private dwelling stairways shall not be less than 36" in width and shall have a headroom clearance of not less than 6'-8" measured vertically from the sloped plane adjoining the tread nosings, or landing surfaces.

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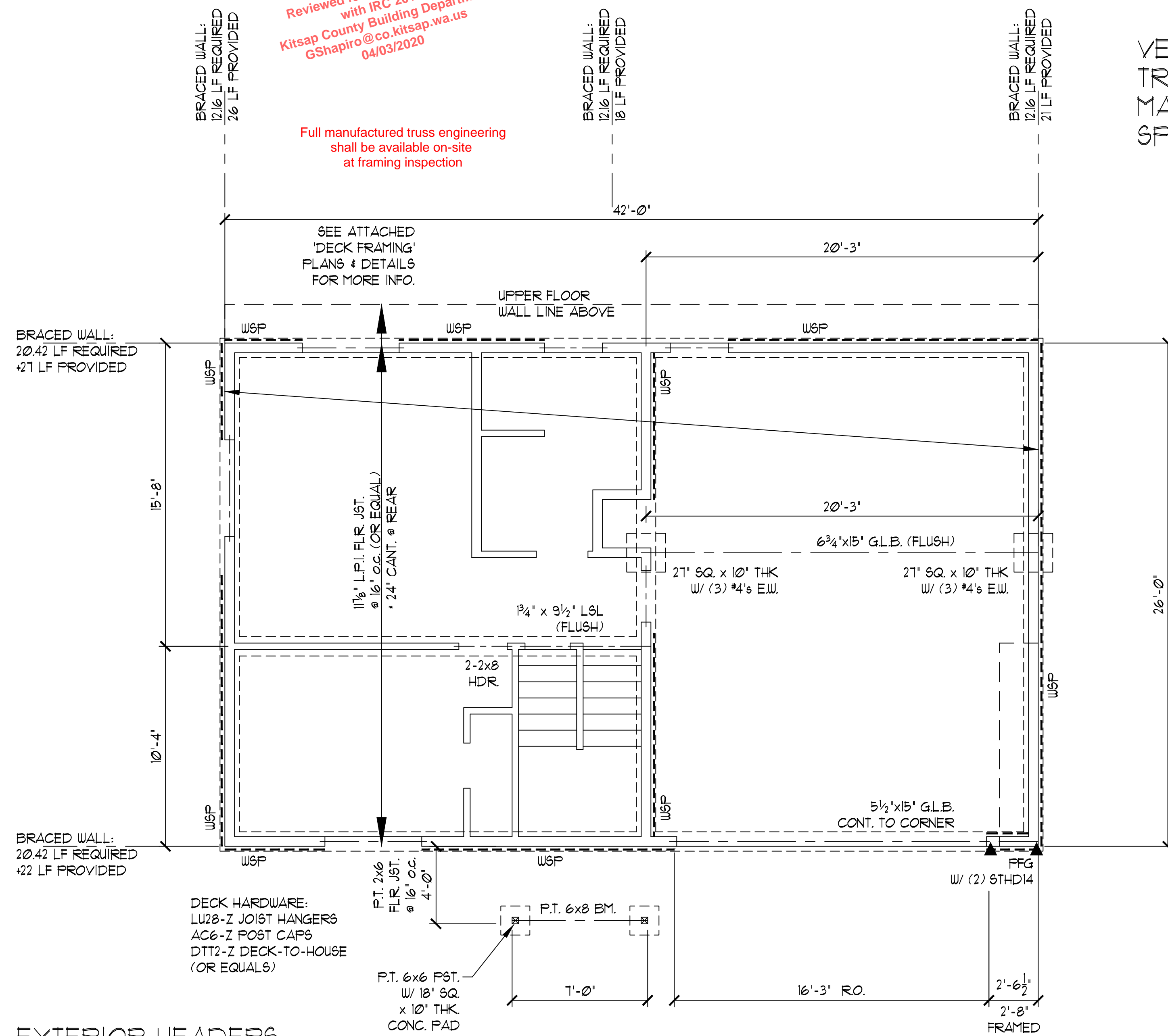
RAFTER & CEILING JOIST DETAIL SCALE : 1" = 1'

LOT / OWNER ROD FORSBERG 360-271-4808 c
MAILING: 8078 WENATCHEE PL NW SILVERDALE, WA 98383 TAX ID#
DRAWN BY SCOTT SHELTON
PLANS&GUY@ OUTLOOK.COM (360) 620-8883 c
DATE 12/17/19
REVISED
DRAWING: DETAILS
D1 of 4

Manufactured joist specs
shall be on-site for inspection

Full manufactured truss engineering shall be available on-site at framing inspection

LOT / OWNER ROD FORSBERG 360-271-4808 c
MAILING: 8078 WENATCHEE PL NW SILVERDALE, WA 98383 TAX ID*
DRAWN BY SCOTT SHELTON PLANSguy@ OUTLOOK.COM (360) 620-8883 c
DATE 12/17/19
REVISED
DRAWING: FOUNDATION & FRAMING PLANS
S OF 4



ALL EXTERIOR HEADERS
SHALL BE 4 x 8, U.N.O.
PROVIDE R-10 FOAM INSUL.
AT EXTERIOR HEADERS

$\frac{1}{2}$ " DIA. ANCHOR BOLTS
 (1" EMBED MIN.)
 W/ 3"x3"x $\frac{1}{4}$ " WASHERS @ 48" o.c.
 WITHIN 12" OF EACH END
 OF EACH SILL PLATE.

6' MIN.

6'

#4 HORIZ. BARS @ 18" o.c.
 W/ TOP BAR WITHIN 1" OF TOP
 (TO ENGAGE ANCHOR BOLTS)

#4 VERT. BARS @ 48" o.c.
 (2'-3" FROM THE INSIDE OF WALL)
 W/ ALT. HOOKS @ FTG.
 (TO ENGAGE FTG. HORIZ. BAR)

(2) #4 HORIZ. BARS
 3' ABV. BOT. OF FTG.

15' MIN.

TYP. FOUNDATION DETAIL SCALE : $\frac{3}{4}$ " = 1'

PROVIDE 1.9 s.f. (min) BIRD BLK'G VENT
 & 1.9 s.f. (min) 'MUSHROOM' VENT IN UPPER 1/3 OF AREA
 NOTE: VERIFY SITE PLAN, NO VENTILATION OPENINGS FOR
 WALLS LOCATED 5' FROM PROPERTY LINES

----- ALL EXTERIOR WALLS
SHALL BE 'WSP', U.N.O.

BRACED WALL SCHEDULE	
WSP	$\frac{1}{8}$ " O.S.B. ONE SIDE (48" min.) W/ 8d @ 6" o.c. EDGE NAILING @ 12" o.c. IN THE FIELD
FFG	$\frac{1}{8}$ " O.S.B. ONE SIDE (21" min.) W/ 8d @ 3" o.c. EDGE NAILING @ 12" o.c. IN THE FIELD. PROVIDE LSTA-18 (1000# STRAP) HEADER TO JACK STUD (OPPOSITE OF SHEATHING) AS NOTED ON FRAMING PLAN.

Alternate hook bars