

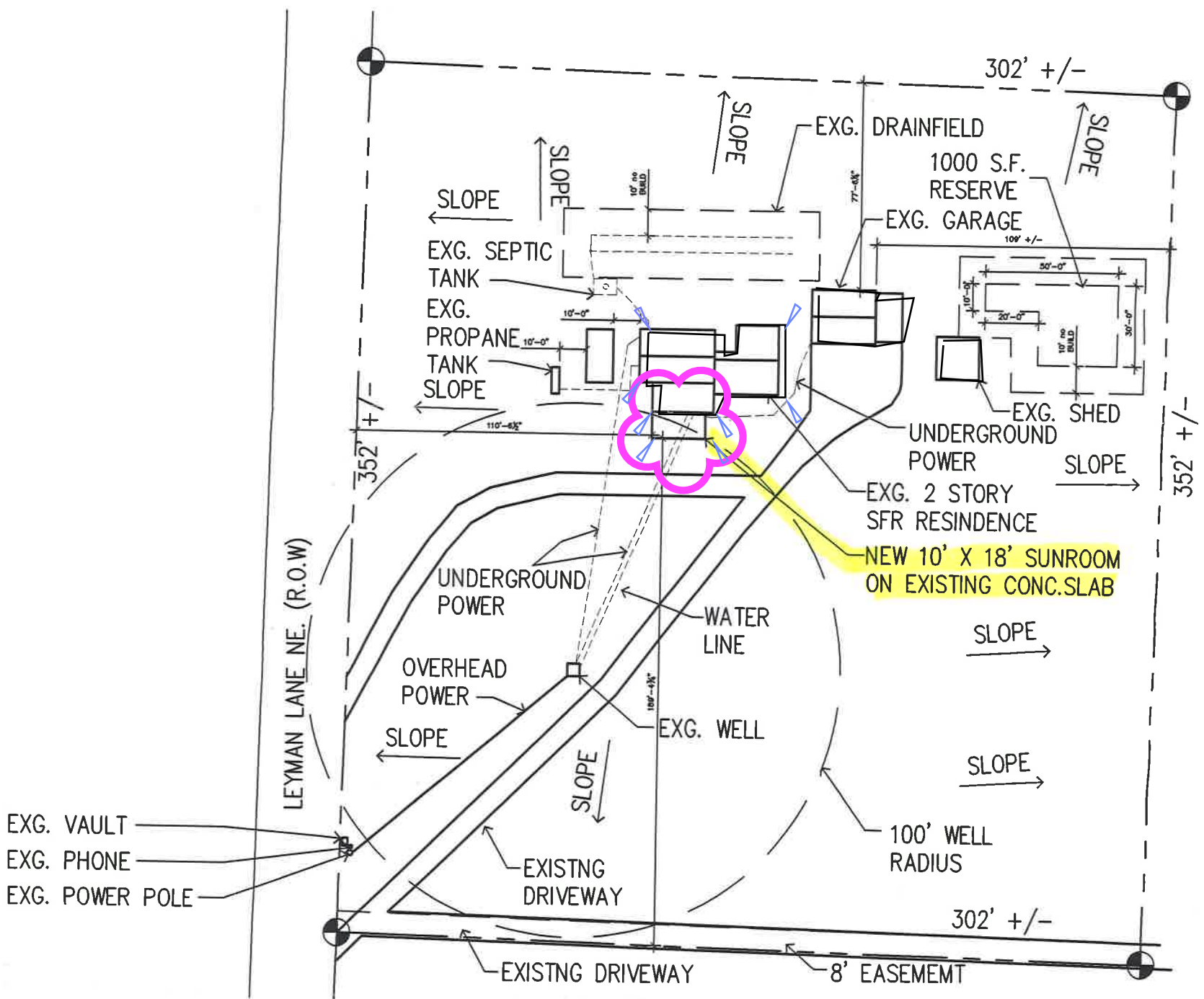
Figure 1: Site Plan Requirements Checklist	
All site plans shall be clearly and accurately drawn to 1"=50', 30', 40' or 50' scale on paper no larger than 11" x 17" and must indicate all of the following information. For each item below, mark either "Shown" or "N/A" as appropriate for your project. This checklist must be completed and included on all site plans. Any site plan without this checklist will be rejected and returned to the applicant for correction.	
Shown N/A	Parcel Number: 272702-3-003-2003
A. General Property Information:	
<input checked="" type="checkbox"/>	Tax ID Number and Property Address
<input checked="" type="checkbox"/>	Property lines and dimensions
<input checked="" type="checkbox"/>	Elevations of property and the direction of natural drainage
<input checked="" type="checkbox"/>	Slopes that exceed 15%, including any out banks greater than 4' in height
<input checked="" type="checkbox"/>	North arrow and site plan scale
<input type="checkbox"/>	Manne, water, lakes and ponds and their associated high water lines
<input type="checkbox"/>	Streams, creeks & wetlands and their associated buffer areas
B. Existing Property Improvements:	
<input checked="" type="checkbox"/>	Location of all existing structures, including the locations of existing structures on adjacent waterfront properties
<input checked="" type="checkbox"/>	Location of all existing wells and their well radii, including those wells on adjacent properties within 100' of property lines
<input checked="" type="checkbox"/>	Location of all existing drainfields, including the 10' "No Build Zone" as well as the locations of existing drainfields on adjacent properties within 100' of any well
<input type="checkbox"/>	Location of existing drainage facilities, including all sub surface infiltration systems
<input checked="" type="checkbox"/>	Location of all existing and abutting roadways, driveways, easements, buffers and required open spaces
<input checked="" type="checkbox"/>	Location of all existing water, sewer and utility lines
C. Proposed Property Improvements:	
<input checked="" type="checkbox"/>	Location and dimensions of all proposed structures or building envelopes in relation to property lines, other structures, etc.
<input type="checkbox"/>	Location of all proposed wells, including their 100' well radii and all water lines
<input type="checkbox"/>	Location of all proposed septic tanks, pump tanks, pre-treatment units, and drainfields, including the 10' "no build" zone
<input type="checkbox"/>	Location and dimensions of all proposed drainage and infiltration systems
<input type="checkbox"/>	Location, dimensions, surfacing materials, and clearing limits of all proposed parking areas, driveways, sidewalks, & road aprons
<input type="checkbox"/>	Location of all proposed water, sewer and utility lines



## VICINITY MAP

SCALE : NTS

APPROVED  
FOR SEWAGE AND WATER ONLY



## BUILDING DATA

## SITE PLAN

SCALE : 1" = 50'-0"

SCOPE OF WORK: \_\_\_\_\_ NEW SUNROOM  
OWNER: \_\_\_\_\_ JEFF THOMAS  
SITE ADDRESS: \_\_\_\_\_ 26180 LEYMAN LN. NE  
KINGSTON WA, 98346  
TAX ID # \_\_\_\_\_ 272702-3-003-2003

### NOTES:

1. INFORMATION ON THIS SITE PLAN IS FOR NEW SUNROOM LOCATION AND GENERAL DESIGN PURPOSES ONLY.
2. SEE SHORT PLAT AND SEPTIC / SEWER DESIGNS FOR ADDITIONAL INFORMATION. SITE INFO PROVIDED BY OWNER.
3. SITE INFO OBTAINED FROM KITSAP COUNTY CAD FILE, KITSAP COUNTY PARCEL DETAILS AND PERSONAL SITE VISIT.
4. LEGAL DESCRIPTION - W1/2 E1/2 NE1/4 SW1/4 EXC N 1000FT THOF & EXCEPT THE WEST 30 FEET FOR RIGHT OF WAY PER RESOLUTION NO. 031-1997; SITUATE IN KITSAP COUNTY, WASHINGTON; ALSO SUBJECT TO EASEMENTS OF RECORD.

splash blocks  
(existing)  
covered  
porch/  
sunroom on  
existing slab

SITE AREA: \_\_\_\_\_ 2.26 ACRES  
ZONING: \_\_\_\_\_ RP  
DATE: \_\_\_\_\_ 10-17-19  
RVSD: \_\_\_\_\_ 11-7-19  
DRAWING BY: \_\_\_\_\_ ERIC PERKINS  
360-509-5405  
*Eric Perkins*