

EFFICIENT WATER HEATING 5a:
All showerhead and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated at 1.0 GPM or less. c

EFFICIENT WATER HEATING 5b:
Select one of the following Water heating systems:
Gas, propane or oil water heater with a minimum EF of 0.74
Water heater heated by ground source heat pump meeting the requirements of
Option 3c
For R-2 occupancy a central heat pump water heater with an EF greater than 2.9 that would supply DHW to all the unites through a central water loop insulated with R-8 minimum pipe insulation.

HIGH EFFICIENCY HVAC EQUIPMENT 3bb:
Air-source heat pump with a minimum HSPF of 9.0

EFFICIENCY BUILDING ENVELOPE 1a:
Prescriptive compliance is based on Table R402.1.1
⊕ Fenestration- U-Factor= 0.28
⊕ Skylight- U-Factor = .50
⊕ Ceiling- R-Value= 49

⊕ Wood Frame Wall- R-Value= 21 int
⊕ Mass Wall R-Value= R-value= 21/21
⊕ Floor- R-Value= 38
⊕ Slab- on grade R-10 perimeter and entire slab
⊕ Below grade slab- R-10, perimeter and under entire slab
⊕ OR Compliance based on section R402.4; Reduced the Total UA by 5%

ENERGY NOTES:

LAVATORY FAUCETS = 1 G.P.M.
SHOWER HEADS
TUB AND KITCHEN SINK = 1.75 G.P.M.

SEE ENGINEERING
FOR MORE INFORMATION
IF THERE IS A CONFLICT THE
ENGINEERING PLANS TAKE PRECEDENCE

PLAN IS DRAWN:
2015 I.R.C. CODE, MAC 51-15 (CHAPTERS 1-10, 12-24, APPENDIX G & R)
2015 WASHINGTON ENERGY CODE, MAC51-11
2015 UNIFORM PLUMBING CODE, MAC 51-56 AND 51-57
2015 INTERNATIONAL MECHANICAL CODE AND 2012 INTERNATIONAL FUEL CODE, MAC 51-52

ENERGY NOTES:

LAVATORY FAUCETS = 1 G.P.M.
SHOWER HEADS
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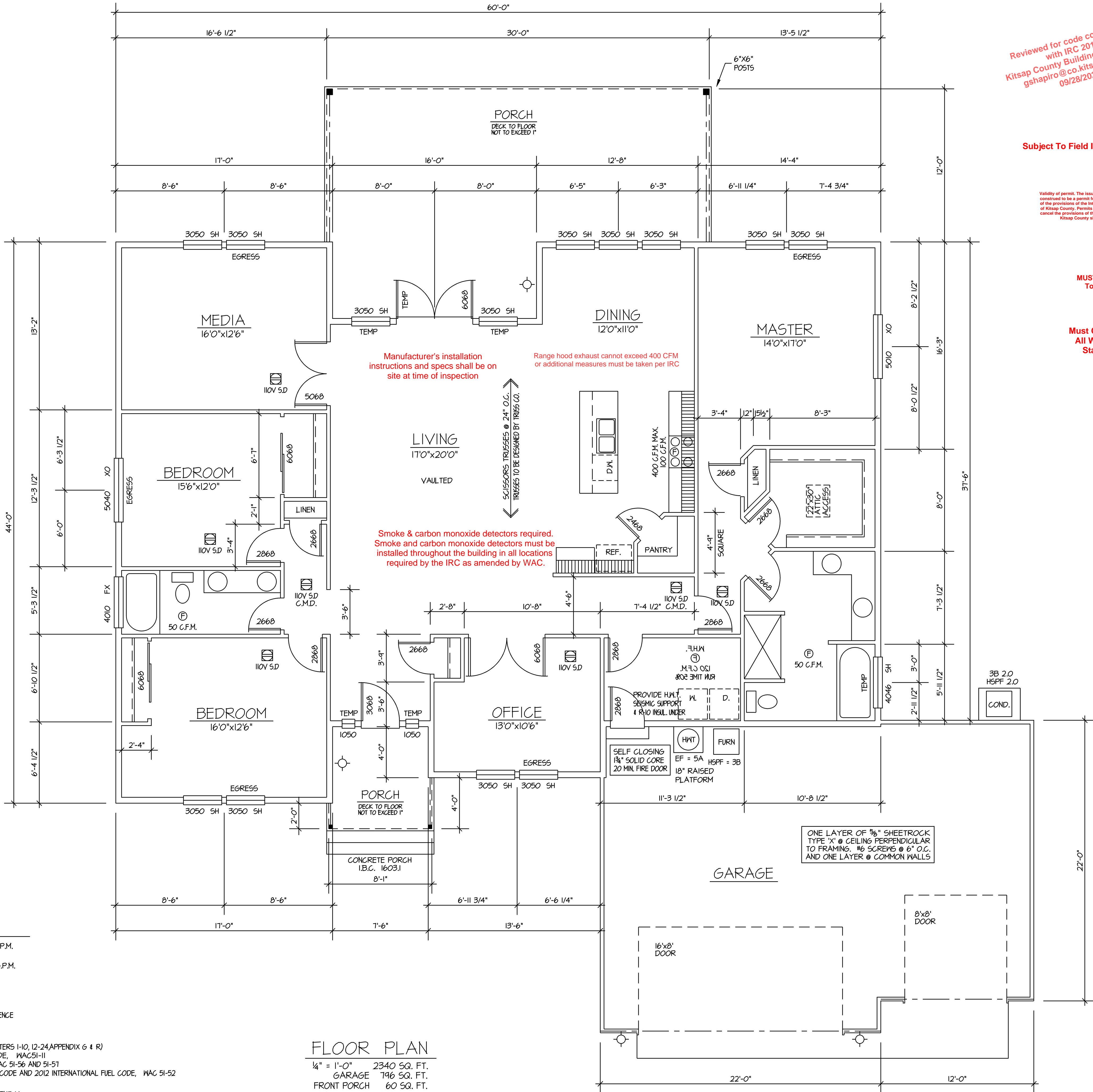
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EFFICIENT BUILDING ENVELOPMENT 1A
EFFICIENT WATER HEATING 5A
EFFICIENT WATER HEATING 5C
HIGHT EFFICIENCY HVAC EQUIPMENT 3B

FLOOR PLAN

1/4" = 1'-0" 2340 SQ. FT.
GARAGE 796 SQ. FT.
FRONT PORCH 60 SQ. FT.
REAR PORCH 468 SQ. FT.



Reviewed for code compliance
with IRC 2015
Kitsap County Building Department
gshapiro@co.kitsap.wa.us
09/28/2020

Subject To Field Inspection

Validity of permit. The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the International Code or any other ordinance of Kitsap County. Permits presuming to give authority to violate or cancel the provisions of the International Code and ordinances of Kitsap County shall not be valid. IRC & IRC 105

CHANGES
MUST Be Approved Prior
To Performing Work

Must Comply With
All Washington
State Codes

GENERAL NOTES
1. ALL WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE INTERNATIONAL CODE AND ANY OTHER ORDINANCES OF KITSAP COUNTY. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OR PROPER EXECUTION OR THE WORK SHOWN OF THESE DRAWINGS.
2. VERIFY ANY EXISTING CONDITIONS AND DIMENSIONS ON SITE. CALLED OFF DIMENSIONS ARE TO TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS ARE TO BE REPORTED TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

REVISIONS

King Homes

PLAN #KH2340R

Date: SEPT 2020

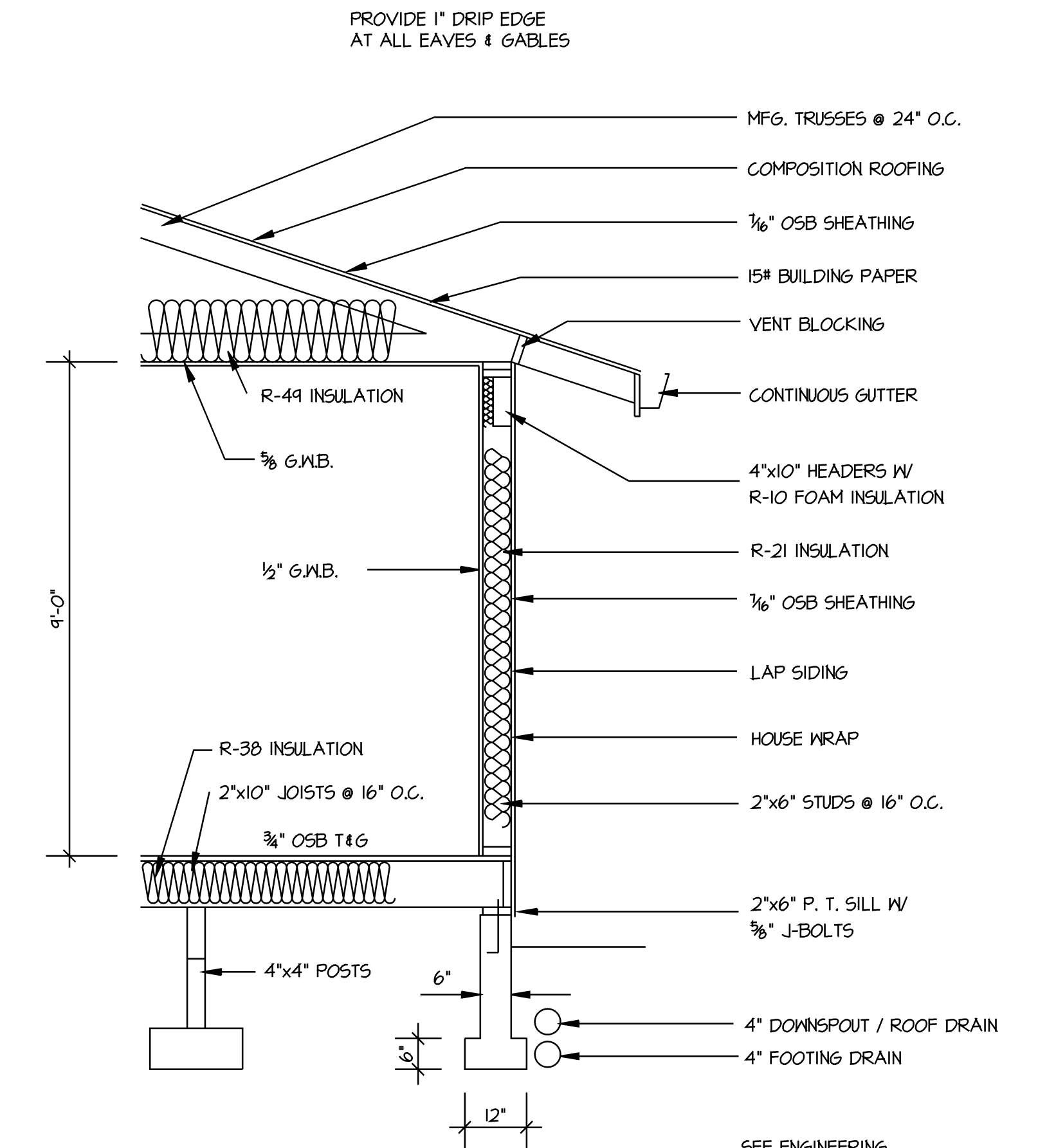
Scale: 1/4" = 1'-0"

Drawn:

Job:

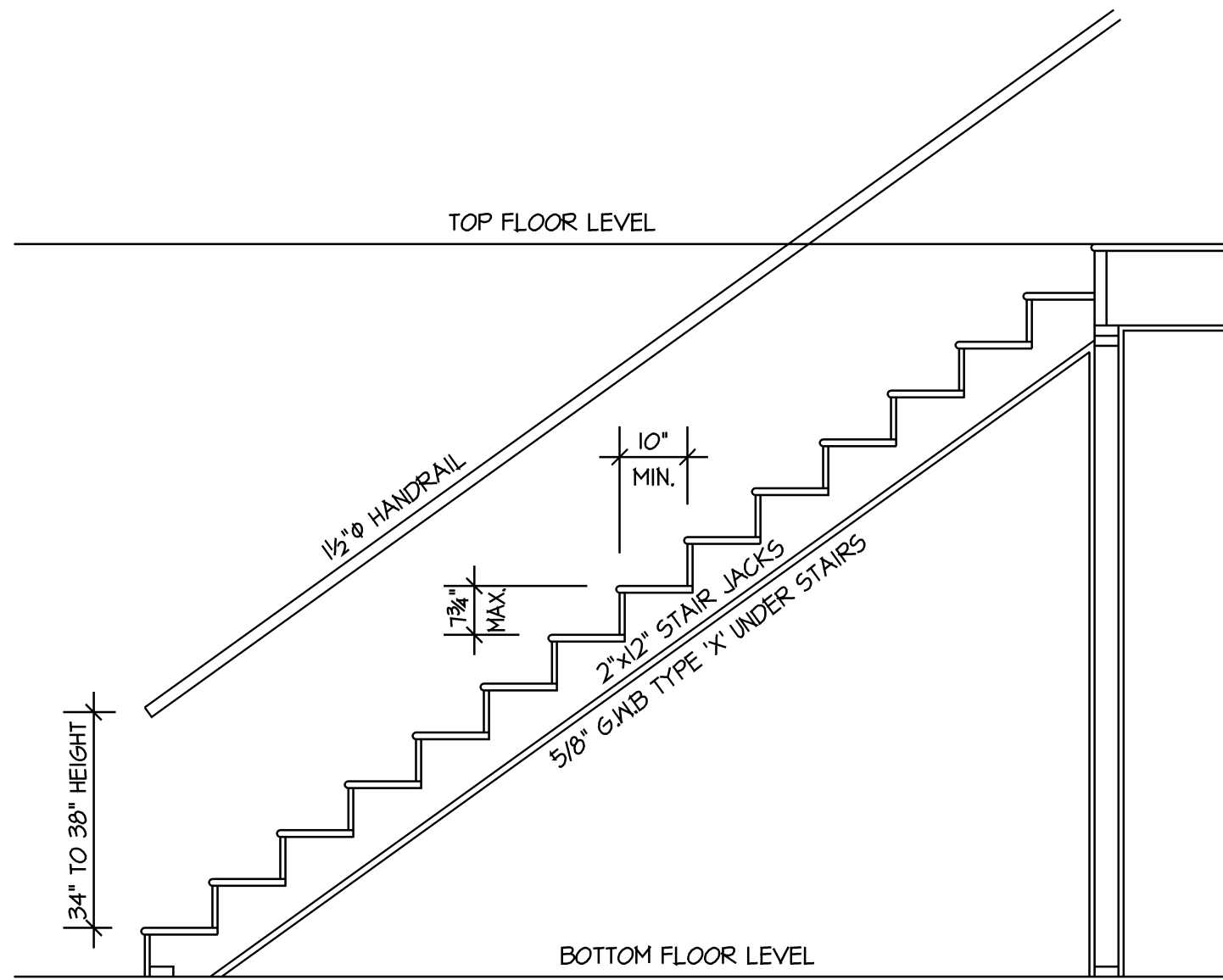
SHEET

ONE



CROSSSECTION

1/2" = 1'-0"



STAIR SECTION INTERIOR / EXTERIOR

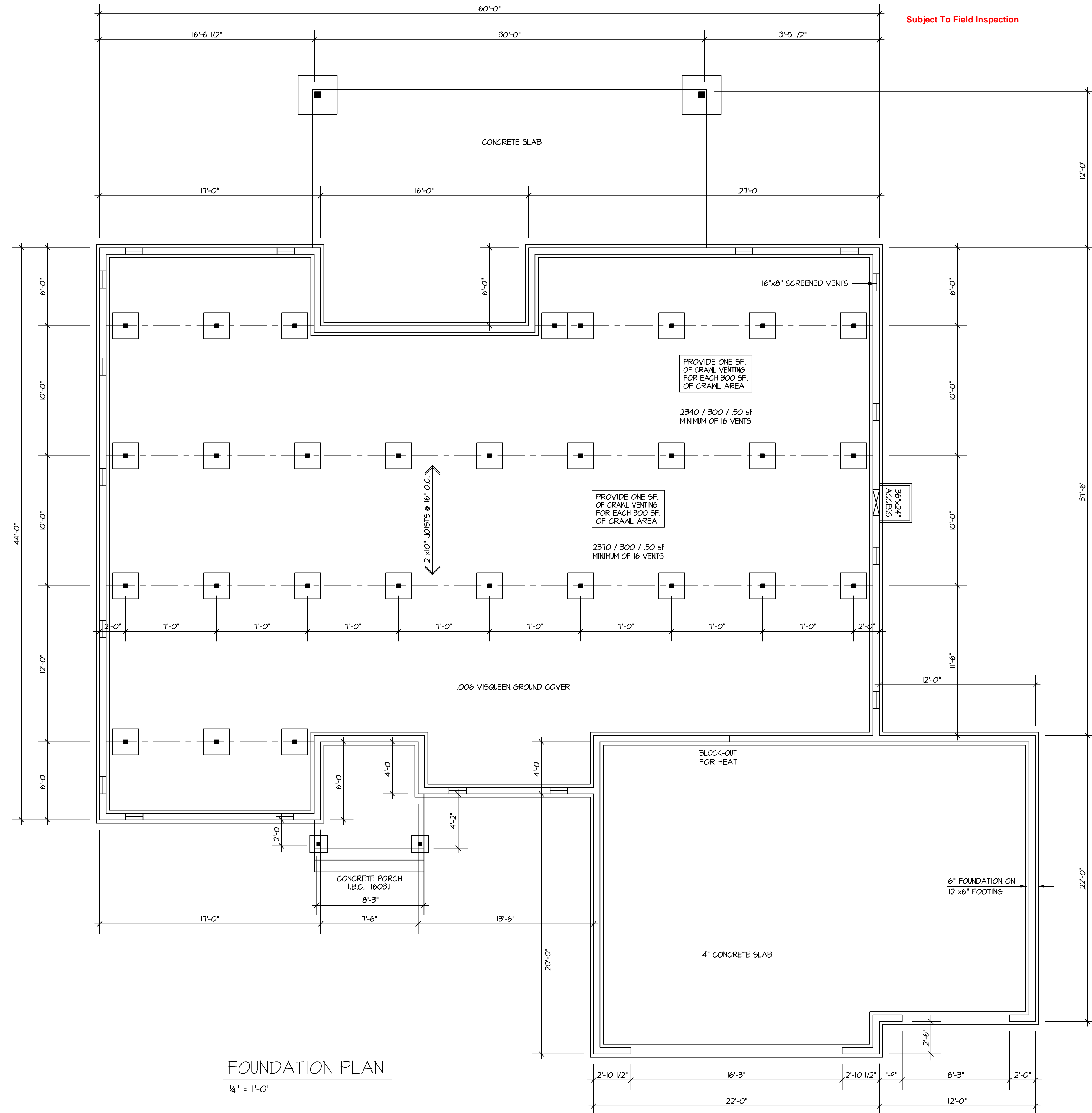
1/2" = 1'-0"

THE GREATEST RISER HEIGHT MAY NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RADIUS OF THE NOSING SHALL NOT BE GREATER THAN 9/16".

A NOSING PROJECTION NOT LESS THAN 3/4" AND NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS.

THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" BETWEEN TWO STORIES.

ALL WOOD IN CONTACT WITH CONCRETE OR GROUND, OR SUBJECT TO WIND DRIVEN RAIN SHALL BE PRESSURE TREATED MATERIAL.



FOUNDATION PLAN

1/4" = 1'-0"

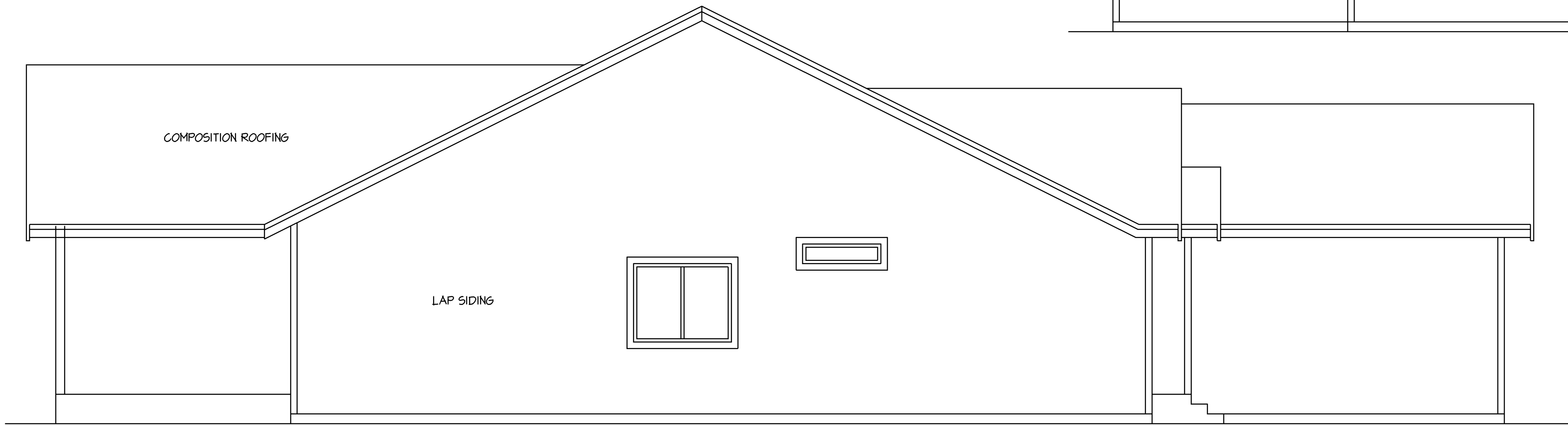
SEE ENGINEERING FOR MORE INFORMATION IF THERE IS A CONFLICT THE ENGINEERING PLANS TAKE PRECEDENCE

Permit Number: 20-03414

Reviewed for code compliance with IRC 2015
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09/28/2020

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Gutters and downspouts are required.
All roof and yard drains shall be directed to splash blocks at a minimum,
or to an infiltration system if required. All surface drainage shall have a
minimum 2% grade away from the foundation.

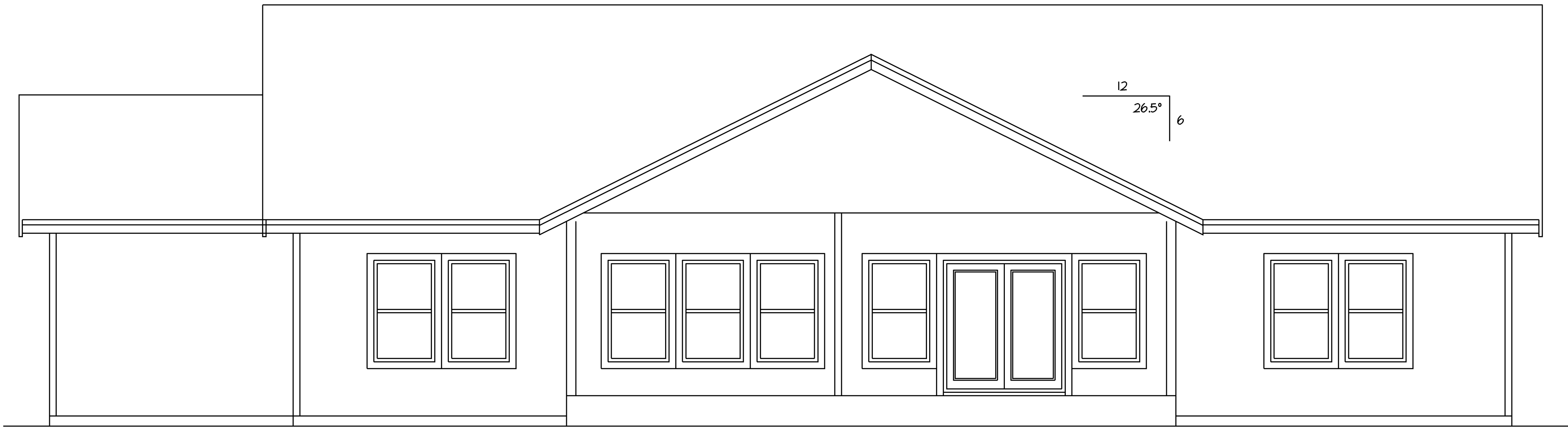


LEFT ELEVATION

1/4" = 1'-0"

The exterior wall constructed on the 5ft
property line with overhangs shall not have
gable end or eave block venting.

EXTERIOR GRADE TO BE MINIMUM OF
6" FALL IN FIRST 10' FROM STRUCTURE



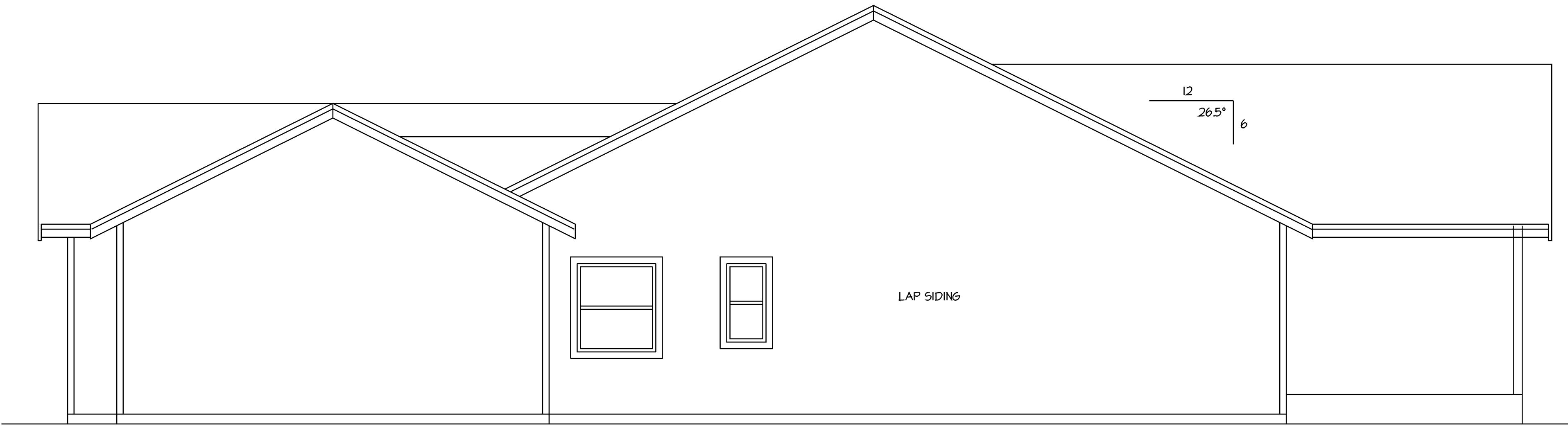
REAR ELEVATION

1/4" = 1'-0"

Subject To Field Inspection

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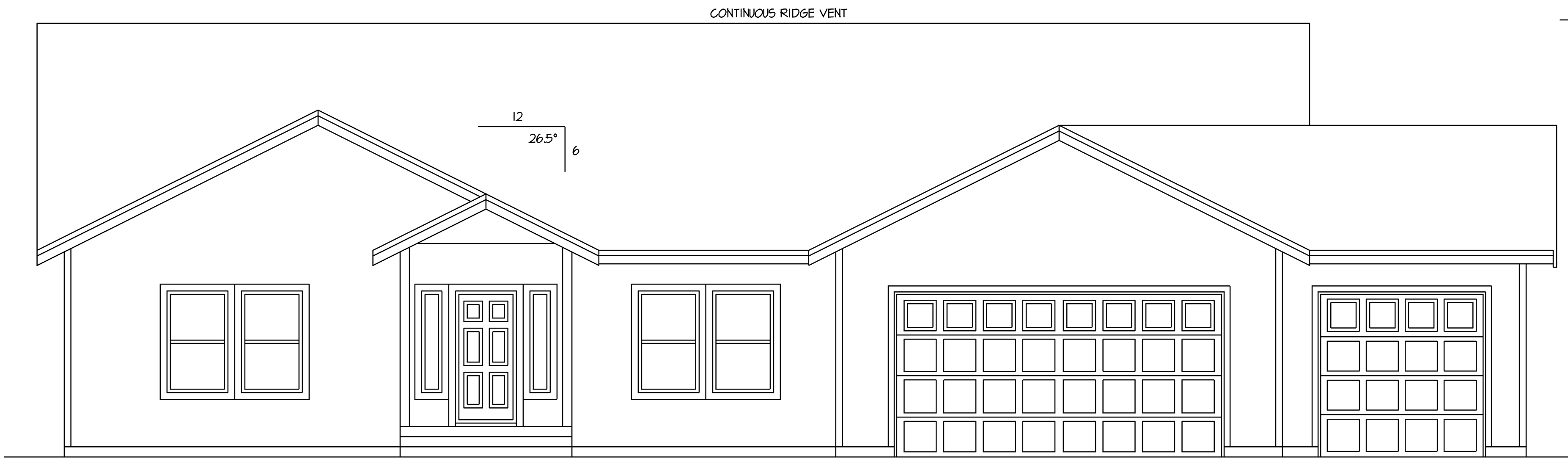
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RIGHT ELEVATION

1/4" = 1'-0"

EXTERIOR GRADE TO BE MINIMUM OF
6" FALL IN FIRST 10' FROM STRUCTURE



FRONT ELEVATION

1/4" = 1'-0"

Permit Number: 20-03414

ATTIC VENTING:
3416 sf / 300
MINIMUM OF 11.6 sf REQUIRED
HALF AT TOP AND HALF AT BOTTOM

PROVIDE 1" DRIP EDGE
AT ALL EAVES & GABLES

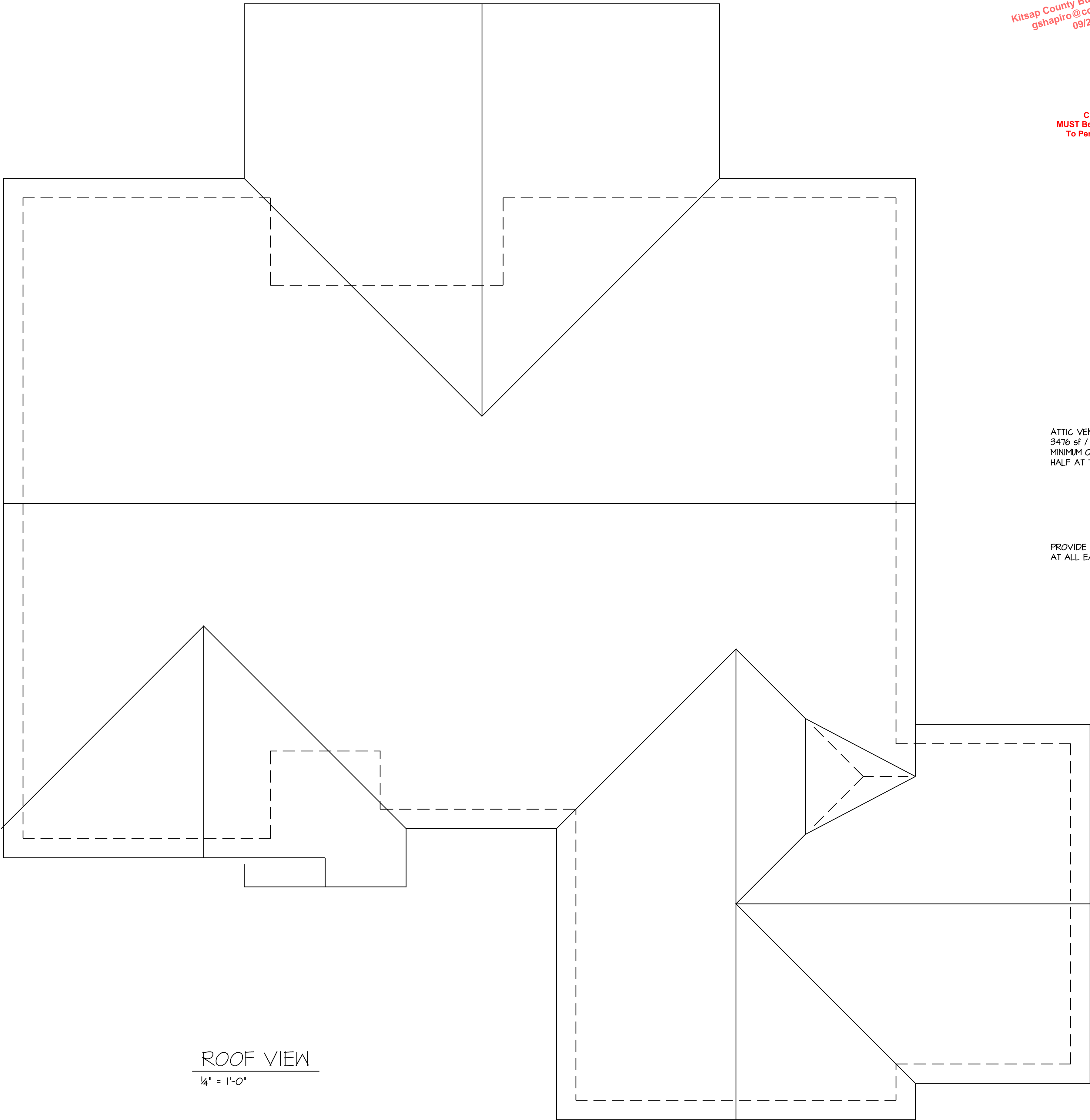
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CHANGES
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ATTIC VENTING:
3476 sf / 300
MINIMUM OF 11.6 sf REQUIRED
HALF AT TOP AND HALF AT BOTTOM

PROVIDE 1" DRIP EDGE
AT ALL EAVES & GABLES



ROOF VIEW
 $\frac{1}{4}" = 1'-0"$