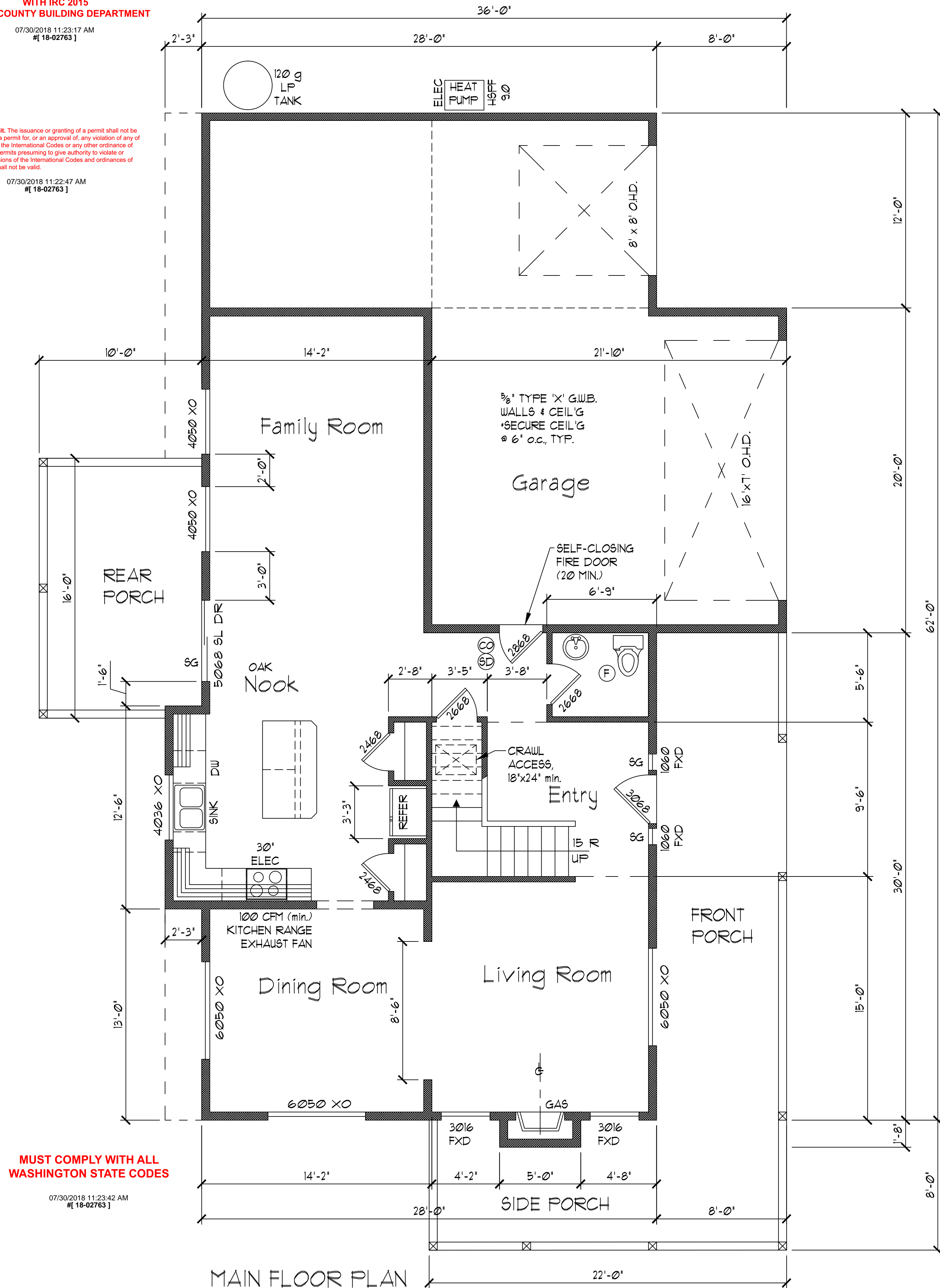


07/30/2018 11:23:17 AM  
#18-02763

Validity of permit: The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the International Codes or any other ordinance of Kitsap County. Permits are issued to give authority to violate or cancel the provisions of the International Codes and ordinances of Kitsap County shall not be valid.

07/30/2018 11:23:47 AM  
#18-02763



MUST COMPLY WITH ALL  
WASHINGTON STATE CODES

07/30/2018 11:23:42 AM  
#18-02763

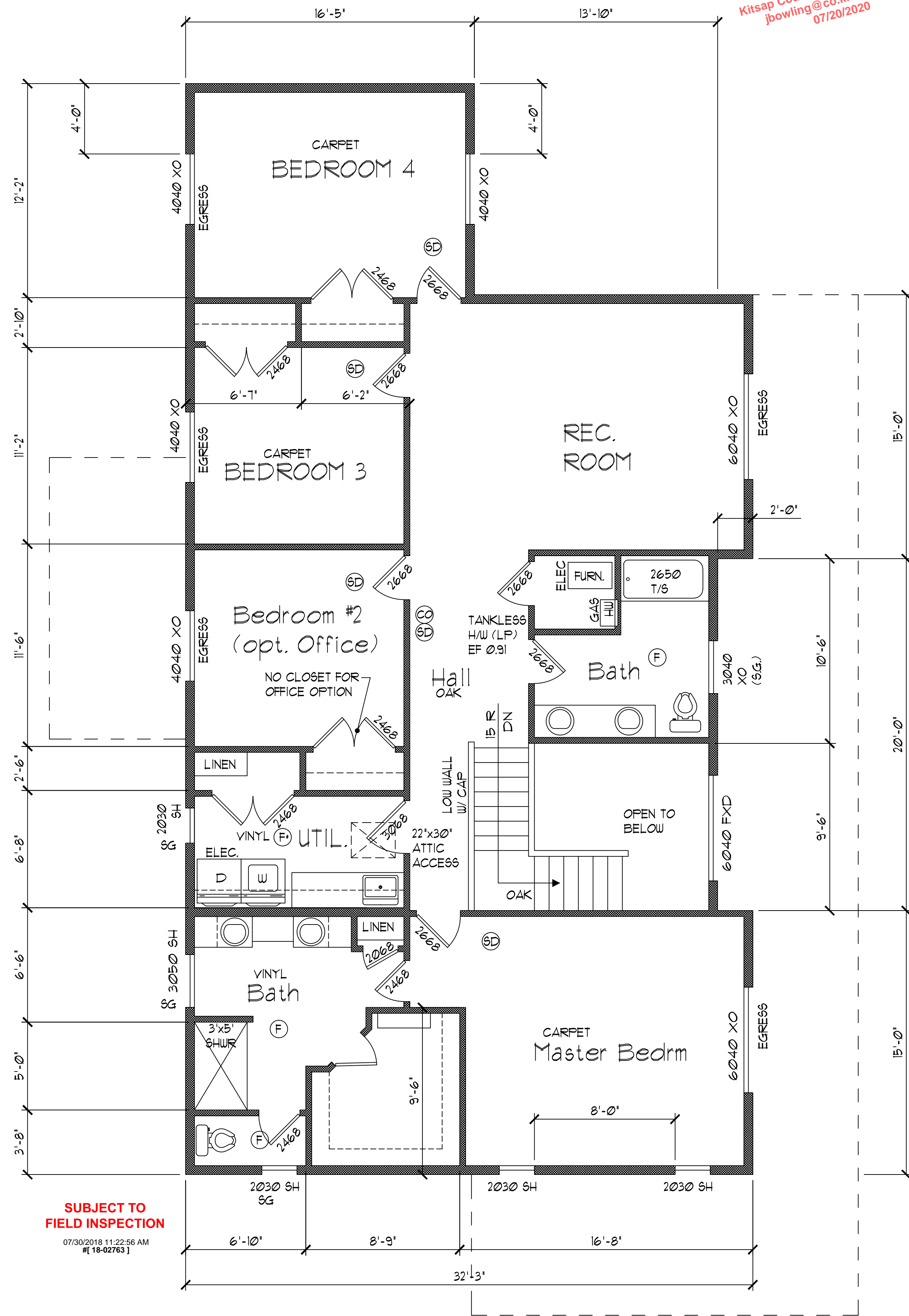
SMOKE ALARM NOTE:  
- INSTALL SMOKE ALARM 10' FROM OVEN.  
ALARM SHALL HAVE SILENCING BUTTON OR  
PHOTOELECTRIC TYPE IF LESS THAN 20'

#### SMOKE ALARM SCHEDULE

SMOKE ALARMS FOR EACH SLEEPING ROOM AND  
COMBO SMOKE / CARBON MONOXIDE ALARM AT  
EACH STORY (IN THE VICINITY OF BEDROOMS).  
ALARMS ARE REQUIRED TO BE INTERCONNECTED.

#### EXHAUST FAN SCHEDULE

(F)	INTERMITTENTLY OPERATING (UTILITY & BATH) 90 cfm
(F)	WHOLE HOUSE FAN, AUTO TIMER FOR 8 HOURS PER DAY (180 cfm PER HOUSE FLOOR AREA & BEDROOMS)



SUBJECT TO  
FIELD INSPECTION

07/30/2018 11:22:56 AM  
#18-02763

CHANGES  
MUST BE APPROVED PRIOR  
TO PERFORMING WORK  
07/30/2018 11:23:32 AM  
#18-02763

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with IRC 2015  
Kitsap County Building Department  
jbowling@co.kitsap.wa.us  
07/20/2020

PLAN NO. 2800
LOT KITSAP DCD 5FR BASIC
TAX ID*
P.O. BOX 3631 SILVERDALE, WA 98383
(360) 779-4668 f (360) 620-8883 c
FERGUSONCOLE.COM

NEW HOMES  
FERGUSON & COLE, INC.

DRAWN BY  
SCOTT SHELTON

DATE  
04-15-18

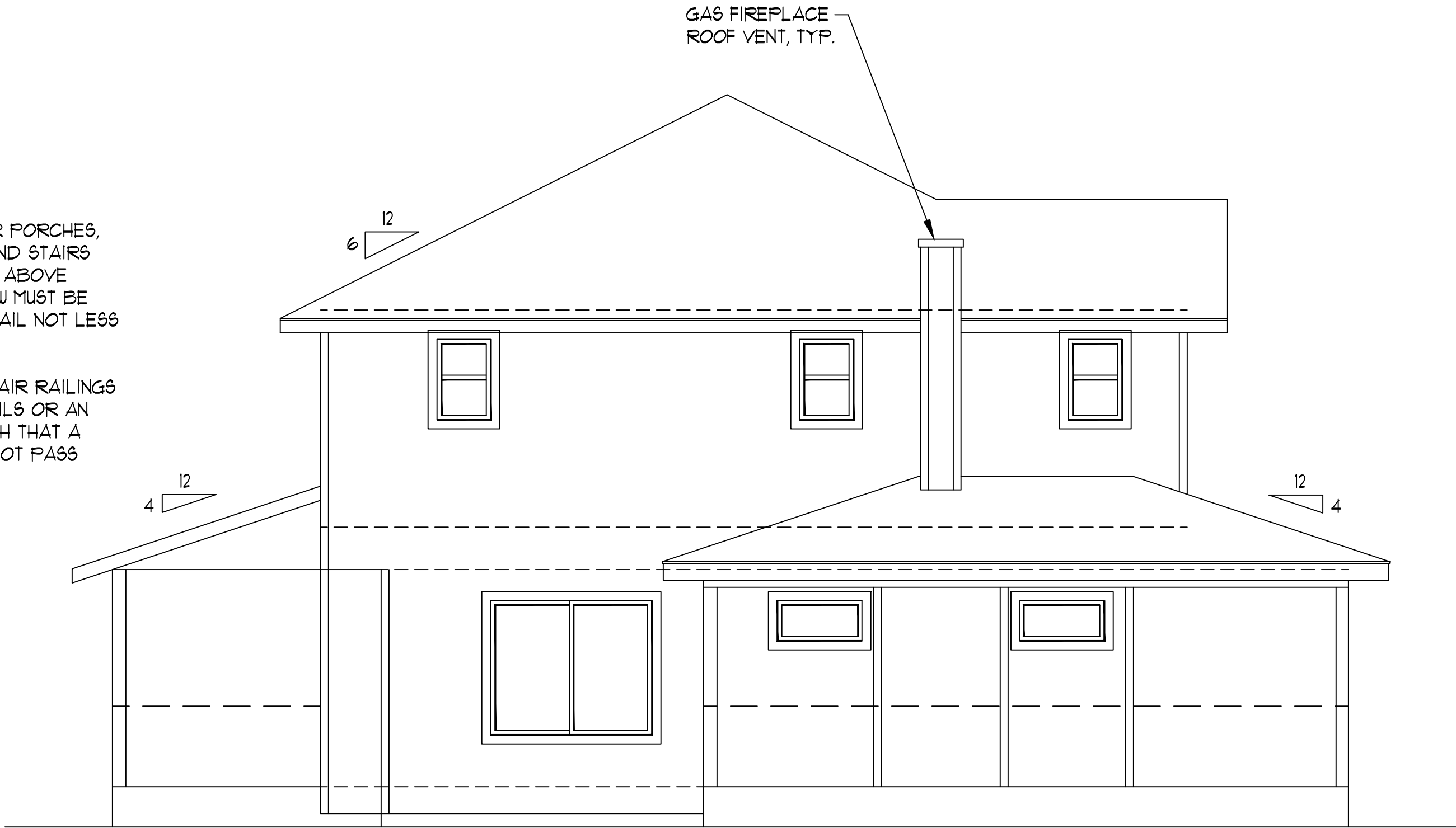
REVISED  
07-13-18

DRAWING:  
FLOOR PLANS

of 7

ALL DECKS, BALCONIES OR PORCHES,  
OPEN SIDES OF LANDING AND STAIRS  
WHICH ARE MORE THAN 30" ABOVE  
GRADE OR A FLOOR BELOW MUST BE  
PROTECTED BY A GUARDRAIL NOT LESS  
THAN 36" HIGH.

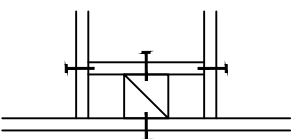
OPEN GUARDRAILS AND STAIR RAILINGS  
REQUIRE INTERMEDIATE RAILS OR AN  
ORNAMENTAL PATTERN SUCH THAT A  
BALL 4" IN DIAMETER CANNOT PASS  
THROUGH.



LEFT ELEVATION SCALE : 1/4" = 1'

IF REQUIRED,  
DECK GUARDRAILS SHALL BE:  
2x2 PICKETS SANDWICHED BETWEEN  
5/4 x 4 RAILS (TOP & BOTTOM) WITH  
5/4 x 4 CAP (PROVIDE BEARING AT 8' max.),  
FIELD VERIFY, TYP.

GUARDRAIL SUPPORT POST  
CONNECTION DETAIL



P.T. 2x10 RIM, JOIST & BLOCKING.  
PROVIDE (2) 16d AT EACH  
CONNECTION, TYP.



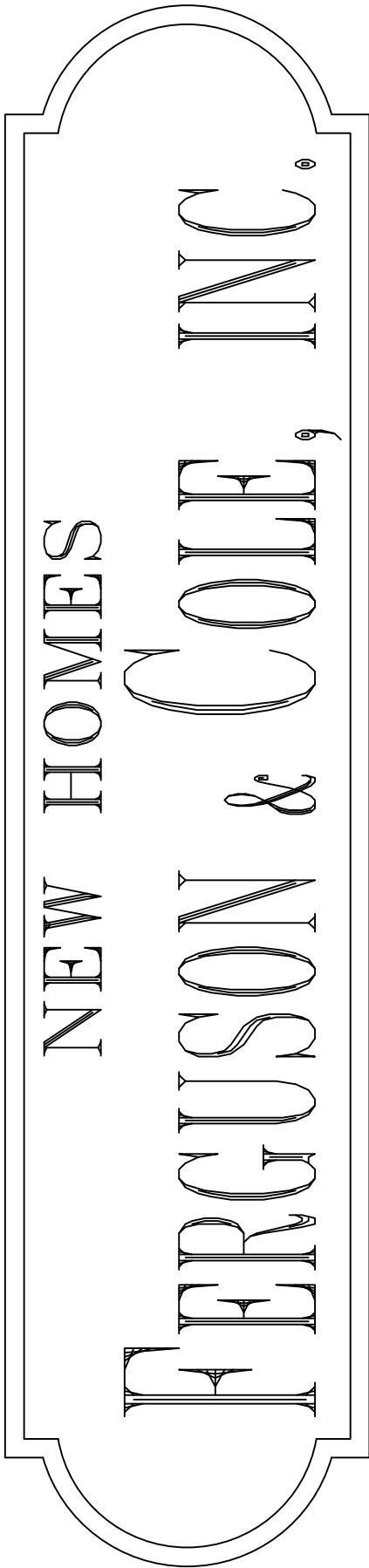
FRONT ELEVATION SCALE : 1/4" = 1'

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07/20/2020

Subject To Field Inspection

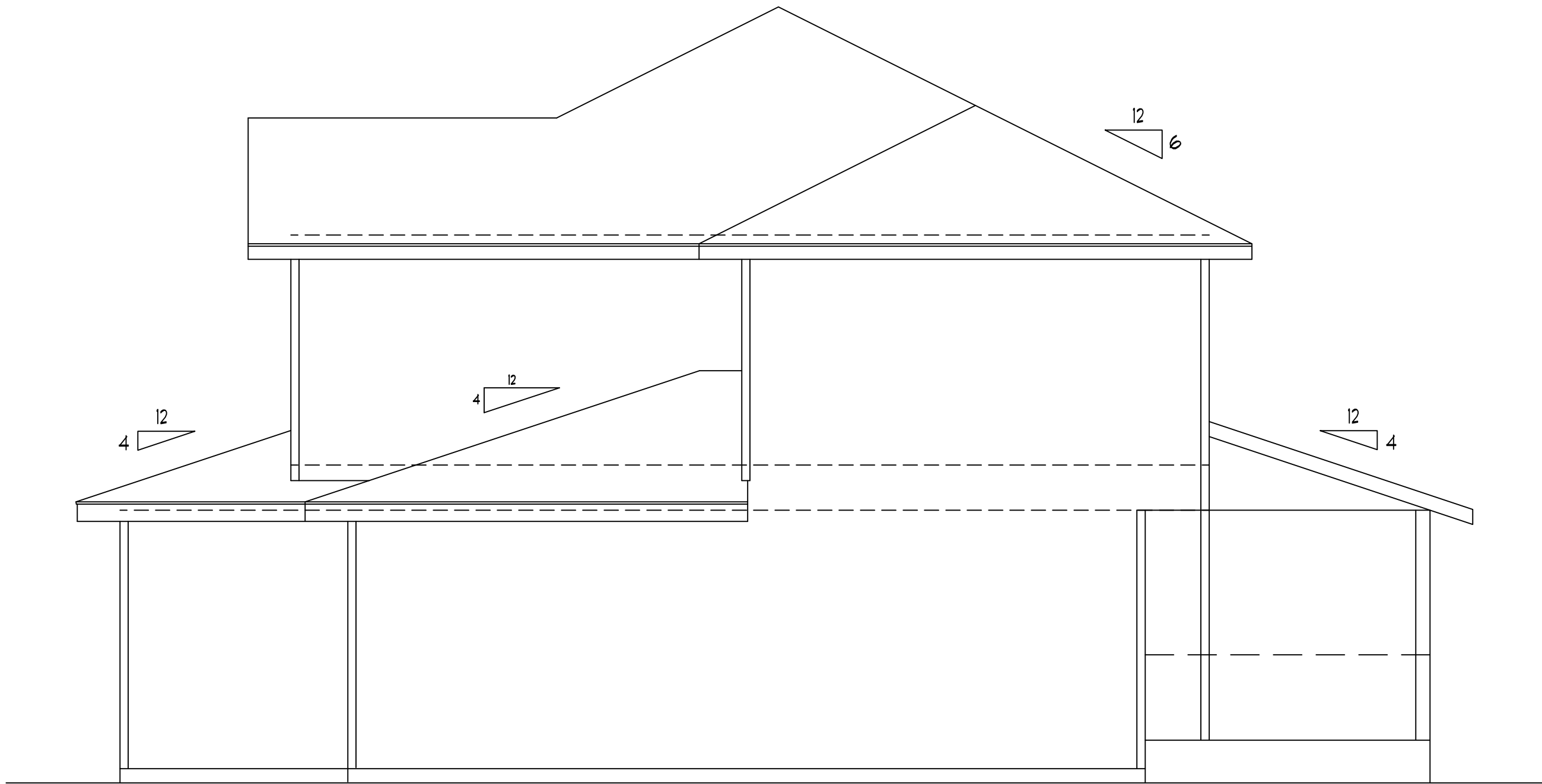
CHANGES  
MUST Be Approved Prior  
To Performing Work

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DATE 04-15-18
REVISED 07-13-18
DRAWING: ELEVATIONS
A2 of 7





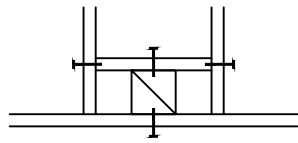
RIGHT ELEVATION SCALE : 1/4" = 1'

ALL DECKS, BALCONIES OR PORCHES,  
OPEN SIDES OF LANDING AND STAIRS  
WHICH ARE MORE THAN 30' ABOVE  
GRADE OR A FLOOR BELOW MUST BE  
PROTECTED BY A GUARDRAIL NOT LESS  
THAN 36" HIGH.

OPEN GUARDRAILS AND STAIR RAILINGS  
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FIELD VERIFY, TYP.

GUARDRAIL SUPPORT POST  
CONNECTION DETAIL



P.T. 2x10 RIM, JOIST & BLOCKING.  
PROVIDE (2) 16d AT EACH  
CONNECTION, TYP.

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07/20/2020

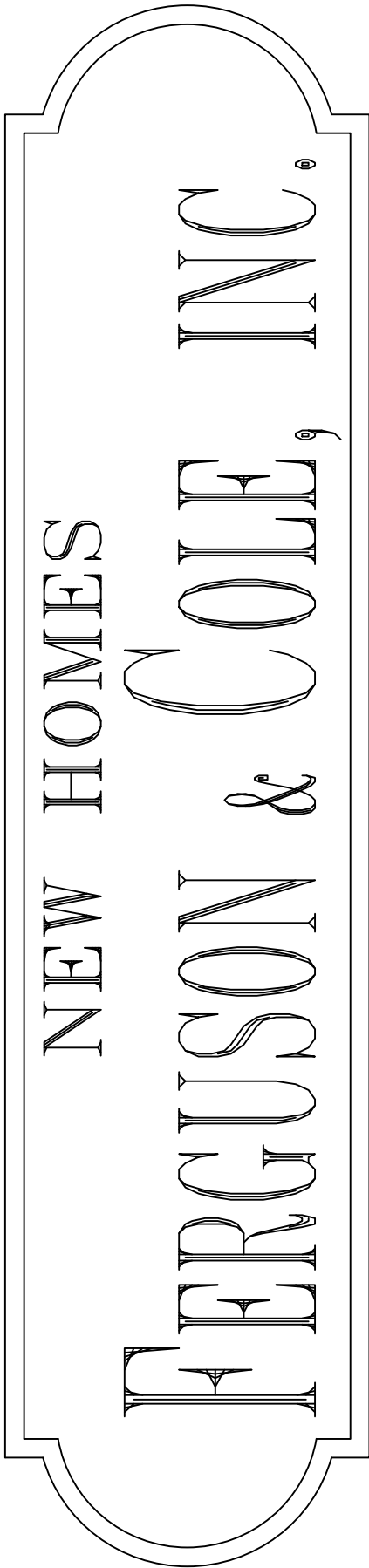
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CHANGES  
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REAR ELEVATION SCALE : 1/4" = 1'

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DATE 04-15-18
REVISED 07-13-18
DRAWING: ELEVATIONS
A3 of 7

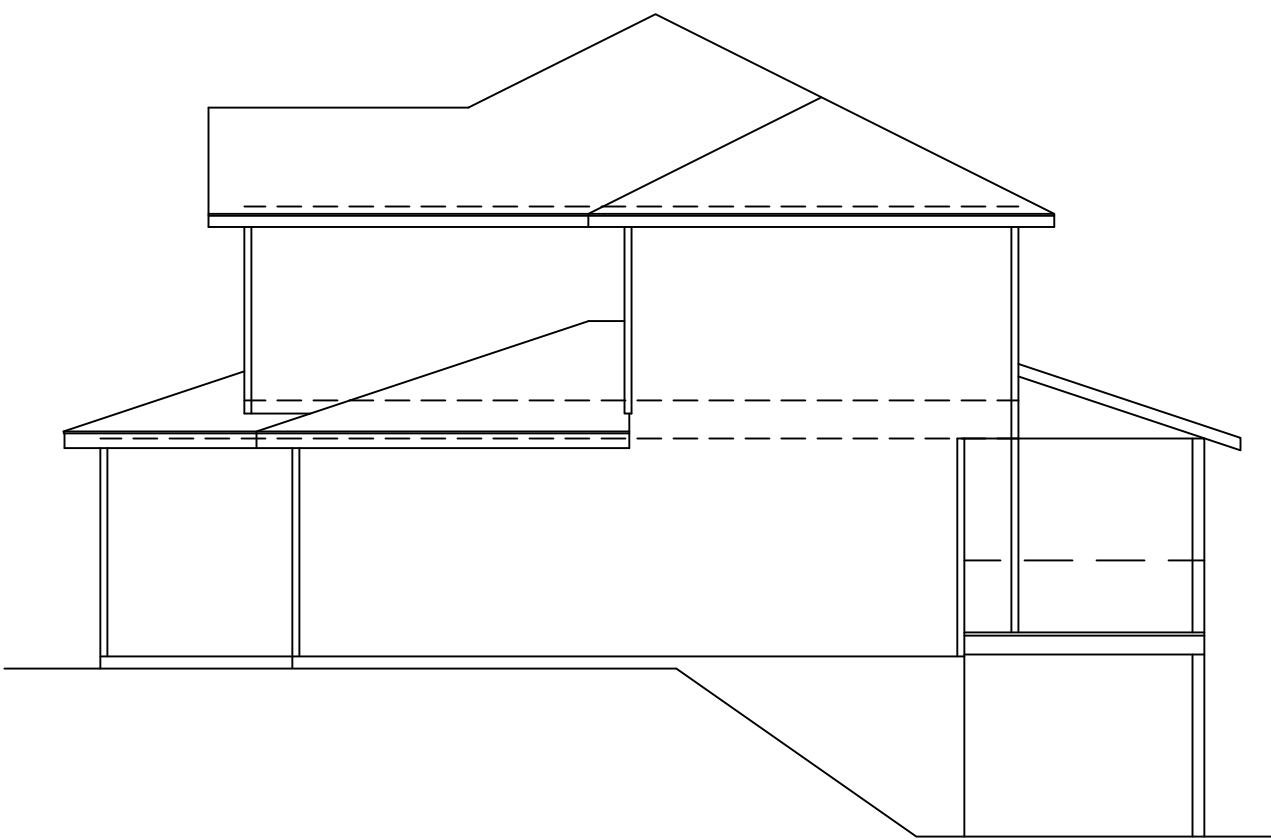


REAR ELEVATION SCALE : 1/4" = 1'

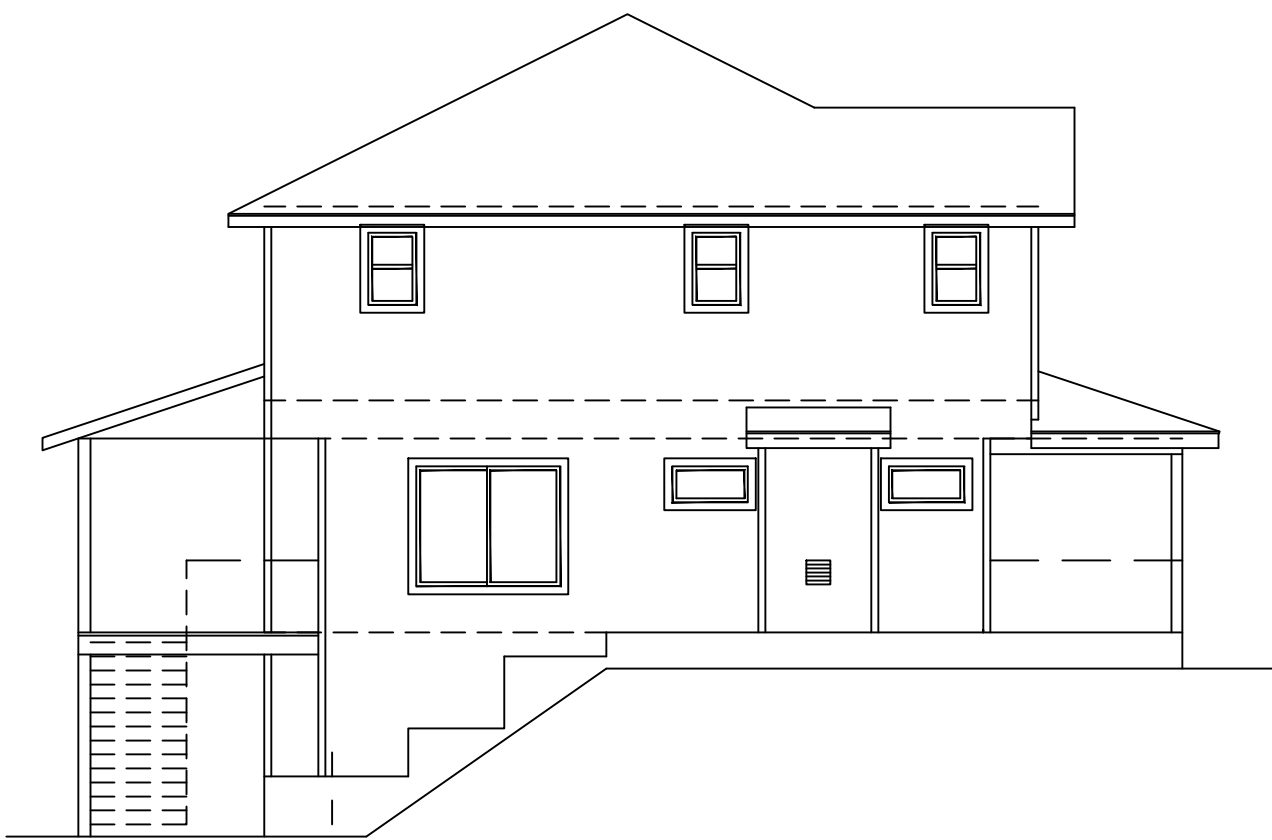
ALL DECKS, BALCONIES OR PORCHES, OPEN SIDES OF LANDING AND STAIRS WHICH ARE MORE THAN 30" ABOVE GRADE OR A FLOOR BELOW MUST BE PROTECTED BY A GUARDRAIL NOT LESS THAN 36" HIGH.

OPEN GUARDRAILS AND STAIR RAILINGS REQUIRE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A BALL 4" IN DIAMETER CANNOT PASS THROUGH.

CHANGES  
MUST Be Approved Prior  
To Performing Work

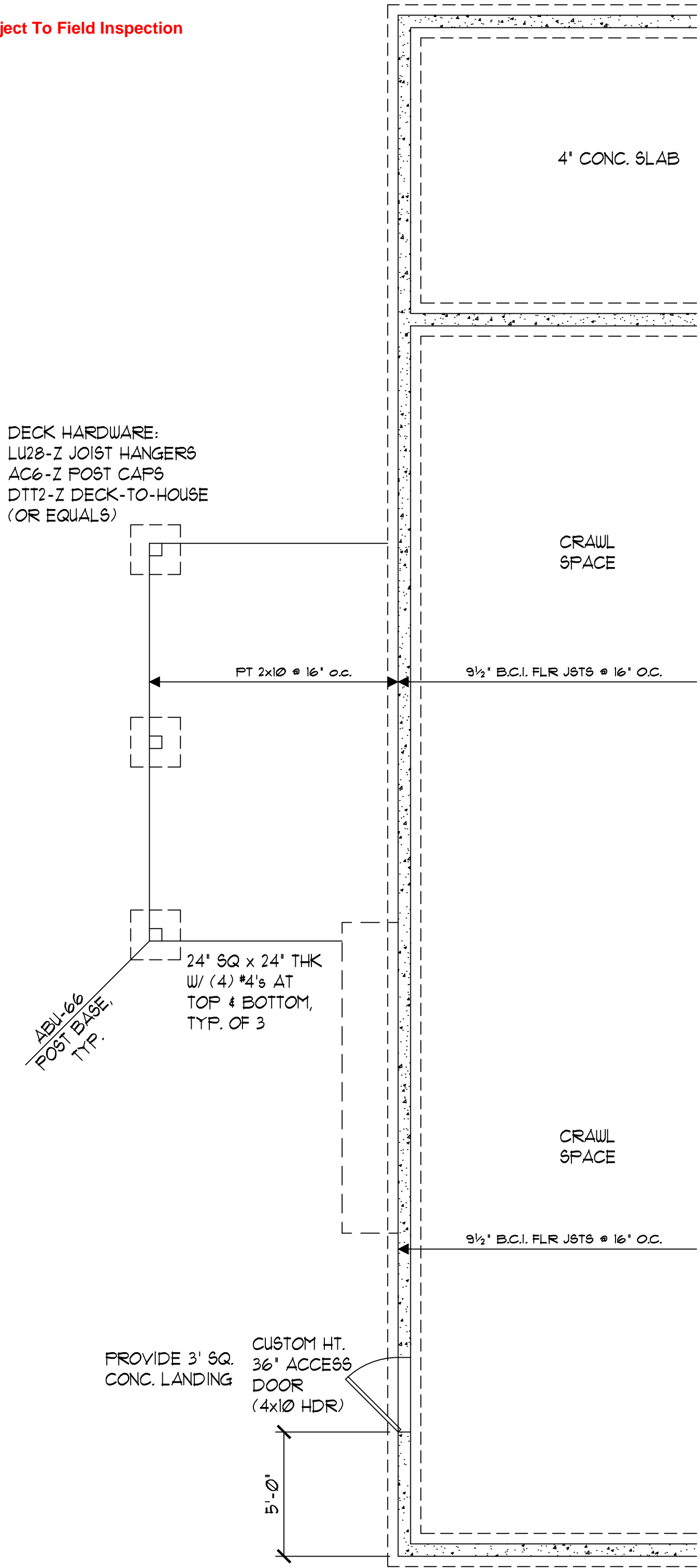


RIGHT ELEVATION SCALE : 1/8" = 1'



LEFT ELEVATION SCALE : 1/8" = 1'

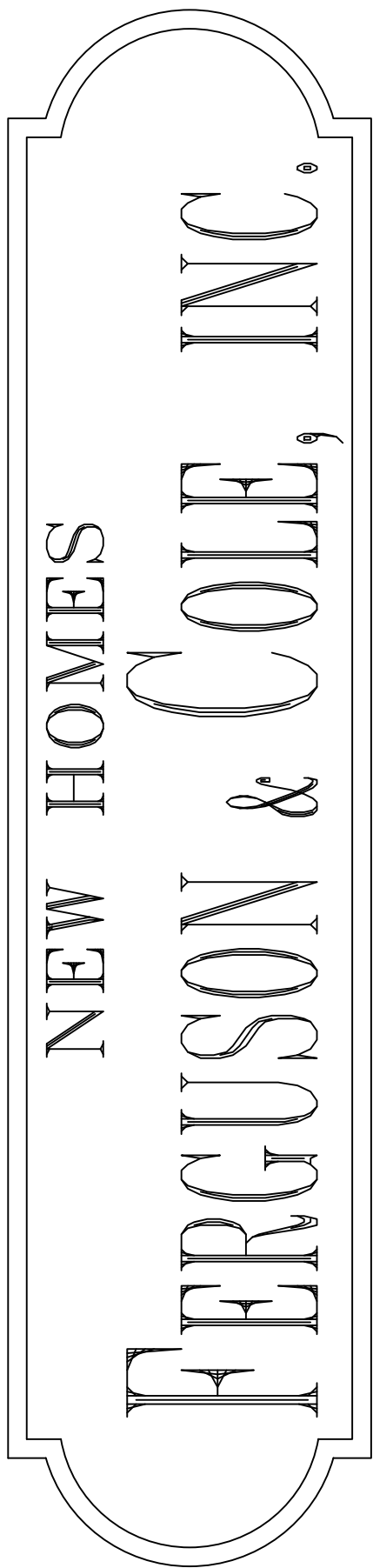
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FOUNDATION PLAN SCALE : 1/4" = 1'

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with IRC 2015  
Kitsap County Building Department  
jbowling@co.kitsap.wa.us  
07/20/2020

PLAN NO. 2800
LOT KITSAP DCD 9FR BASIC
TAX ID#
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DATE 04-15-18
REVISED
DRAWING: TALL CRAWL SPACE OPTION
A4 of 7

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT  
07/30/2018 11:23:17 AM  
# [18-02763]

CHANGES  
MUST Be Approved Prior  
To Performing Work

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Kitsap County Building Department  
jbowling@co.kitsap.wa.us  
07/20/2020

FERGUSON &  
COLE, INC.  
PLAN NO.  
2800

Subject To Field Inspection

PLAN NO. 2800
LOT KITSAP DCD \$FR BASIC
TAX ID#
P.O. BOX 3637 SILVERDALE, WA 98383  (360) 779-4668 f (360) 620-8883 c  FERGUSONCOLE.COM

BUILDING CODE DESIGN DATA

2015 IRC, WAC 51-51  
2015 IFC, WAC 51-54A  
2015 WSEC, WAC 51-11  
2015 UPC, WAC 51-56 & 51-57  
2015 IMC, WAC 51-52  
2012 IFGC, WAC 51-52

GROUND SNOW LOAD: 30 lbs  
HOUSE FLOOR LOAD: 40 lbs  
DECK FLOOR LOAD: 60 lds  
(FLOOR DEAD LOAD: 15 lbs)  
WIND SPEED: 110 mph / 85 mph  
WIND EXPOSURE B  
SEISMIC: D2  
FROST LINE: 12"

SHEET INDEX:  
C1 - COVER SHEET  
A1 - FLOOR PLAN  
A2 - ELEVATIONS  
A3 - ELEVATIONS  
A4 - TALL CRAWL SPACE OPTION  
S1 - FOUNDATION PLAN  
S2 - FRAMING PLAN

AREA SUMMARY	
MAIN FLOOR AREA:	1,166 SF
UPPER FLOOR AREA:	1,638 SF
TOTAL HEATED AREA:	2,804 SF
GARAGE FLOOR AREA:	766 SF
PORCH FLOOR AREA:	742 SF
TOTAL BUILDING AREA:	4,136 SF

NEW HOMES  
FERGUSON & COLE, INC.

DRAWN BY SCOTT SHELTON
DATE
REVISED
DRAWING: COVER SHEET
C1 of 7



**CHANGES  
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To Performing Work**

PLAN NO.  
2800

TAX ID#

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NEW HOMES  
FERGUSON & COLE, INC.<sup>®</sup>

DATE  
04-15-18

REVISED  
07-13-18

DRAWING:  
FOUNDATION

os



CONC. SLAB FLOOR:  
-4' CONCRETE SLAB  
-4' GRAVEL BASE  
-COMPACTED SOIL

WOOD JOIST FLOOR:  
-FINISH FLOORING  
-3/4" O.S.B. SUB-FLOOR  
-JOIST SYSTEM @ 16" o.c  
-R-30 INSUL. (IF UNHEATED BELOW)

STUD WALL:  
-LAP SIDING  
-HOUSE WRAP  
- $\frac{3}{8}$ " O.S.B. SHEATHING  
-2x6 STUDS @ 16" o.c.  
-R-21 INSULATION  
- $\frac{1}{2}$ " G.W.B.

WOOD ROOF:  
-COMP. ROOFING  
-15# FELT  
-7/8" O.S.B. SHEATHING  
-MFR TRUSSES @ 24' o.c.  
-R-49 INSULATION  
-5/8" G.W.B.

### EFFICIENT WATER HEATING 5c:

Water heating system shall include one of the following:  
-Gas, propane or oil water heater with a minimum EF of 0.91

HIGH EFFICIENCY HVAC EQUIPMENT 3b:

Air-source heat pump with a minimum HSPF of 9.0

#### HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM 4:

- All heating and cooling system components shall be installed inside the conditioned space.
- All combustion equipment shall be direct vent or sealed combustion.

VERIFY ADDITIONAL  
FRAMING REQUIREMENTS  
PER ENGINEERING SHEETS

ALL EXTERIOR WALLS  
SHALL BE SHEATHED AS  
PER ENGINEER'S SCHEDULE

VERIFY REQUIRED WALL STRAPS  
PER ENGINEER'S PLAN





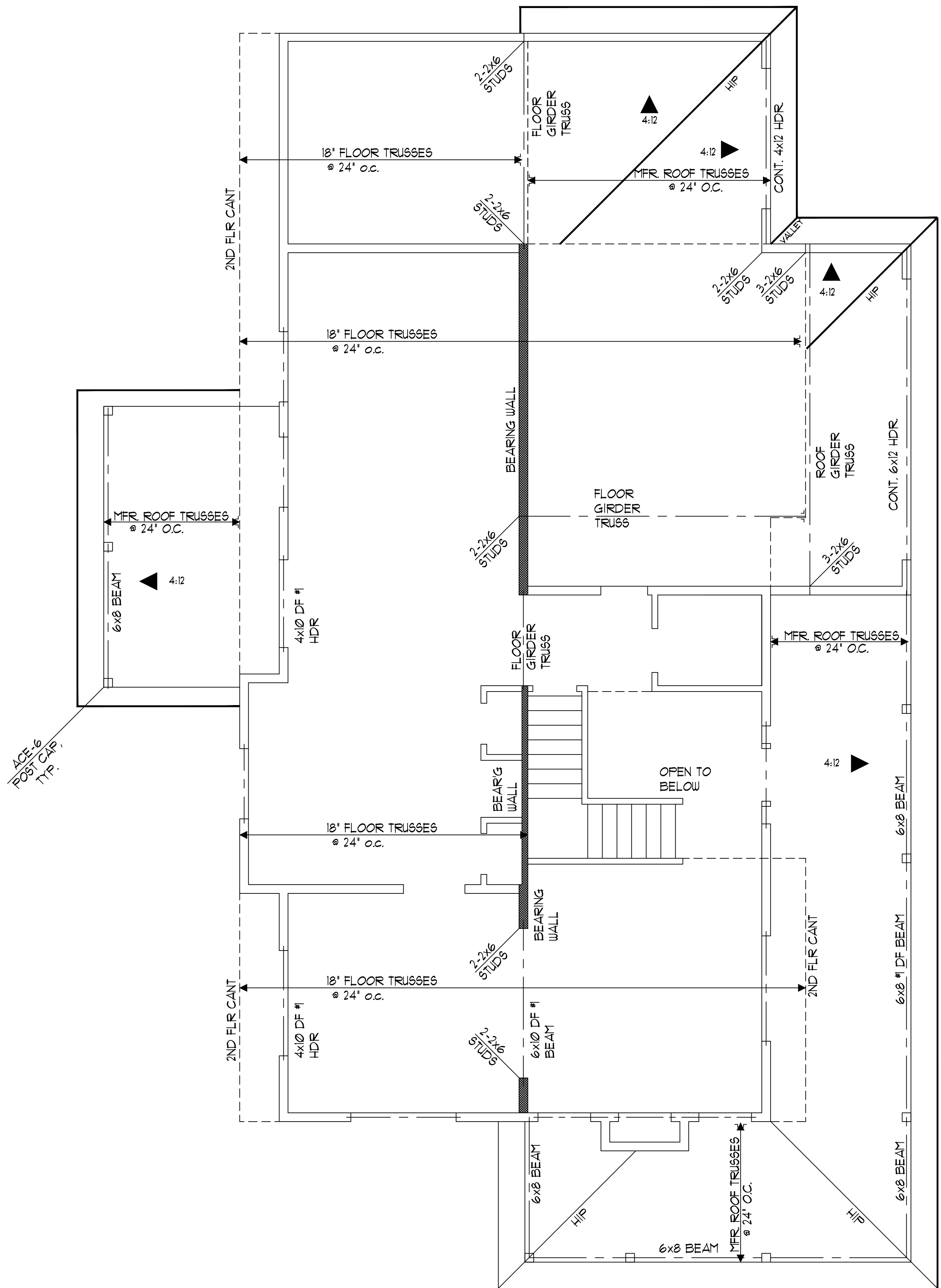
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CHANGES  
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ROOF DRIP EDGE  
PROTECTION REQUIRED

VERIFY ALL REQUIRED  
TRUSS HARDWARE PER  
MANUFACTURES  
SPECIFICATIONS

ROOF OVERFRAMING:  
2x RAFTERS @ 24" o.c.  
PER TRUSS SUPPLIERS  
DETAILS, TYP.  
(FIELD VERIFY)



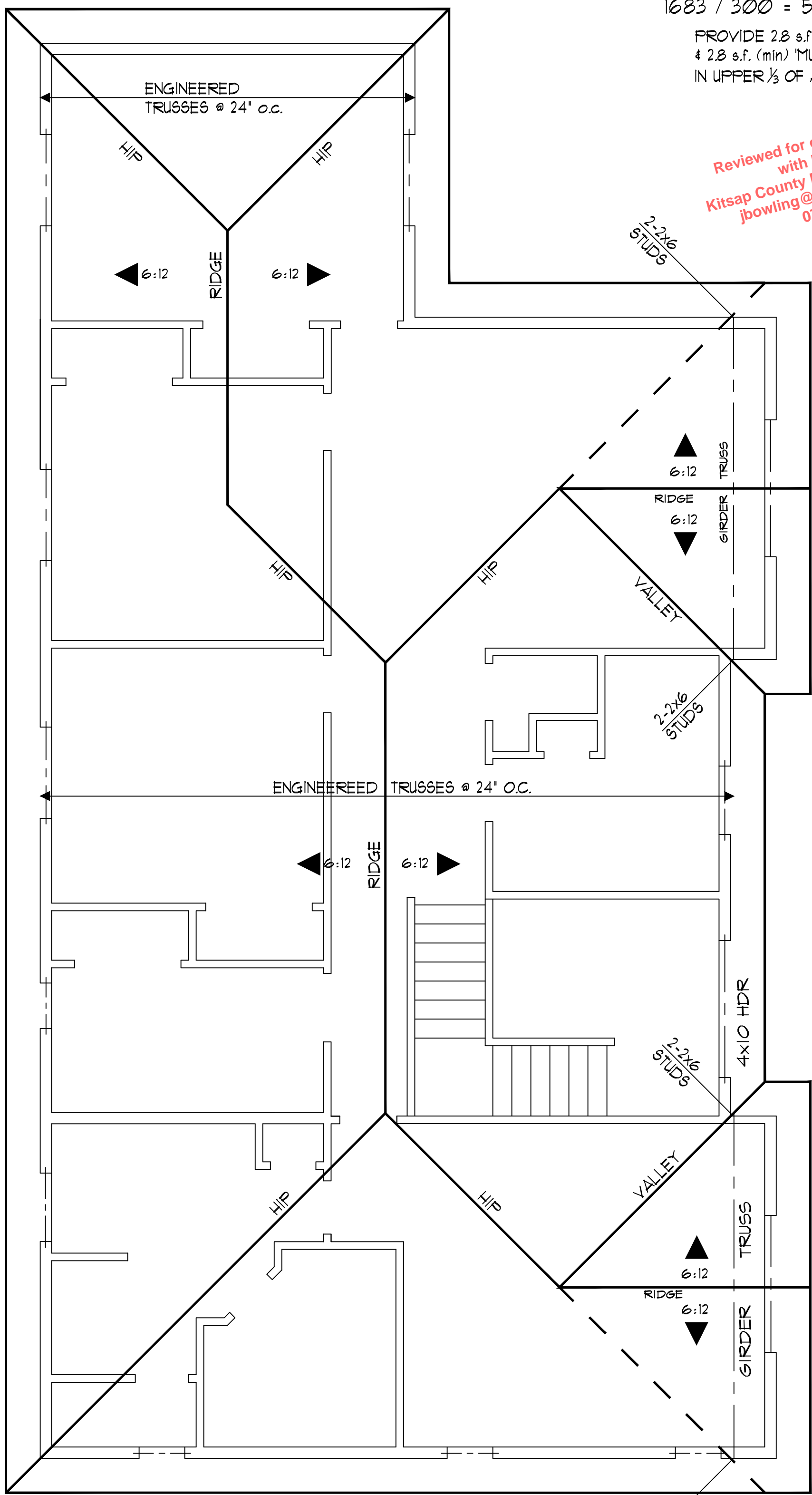
FLOOR FRAMING PLAN SCALE : 1/4" = 1'

PROVIDE R-10 FOAM INSUL.  
AT EXTERIOR HEADERS  
ALL MAIN EXTERIOR  
HEADERS SHALL BE  
4 x 10, U.N.O.

VERIFY ADDITIONAL  
FRAMING REQUIREMENTS  
PER ENGINEERING SHEETS

ALL EXTERIOR WALLS  
SHALL BE SHEATHED AS  
PER ENGINEER'S SCHEDULE

VERIFY REQUIRED WALL STRAPS  
PER ENGINEER'S PLAN



ROOF FRAMING PLAN SCALE : 1/4" = 1'

PROVIDE R-10 FOAM INSUL.  
AT EXTERIOR HEADERS  
ALL UPPER EXTERIOR  
HEADERS SHALL BE  
4 x 8, U.N.O.

PROVIDE ATTIC VENTING  
IN THE UPPER 1/3 OF AREA.  
1683 / 300 = 5.5 s.f. REQ'D  
PROVIDE 28 s.f. (min) BIRD BLK'G VENT  
4 28 s.f. (min) 'MUSHROOM' VENT  
IN UPPER 1/3 OF AREA

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jbowling@co.kitsap.wa.us  
07/20/2020

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NEW HOMES  
FERGUSON & COLE, INC.

DRAWN BY SCOTT SHELTON
DATE 04-15-18
REVISED 07-13-18
DRAWING: FRAMING PLANS
S2 of 7