CHANGES **MUST Be Approved Prior** To Performing Work

Must Comply With All Washington **State Codes** 

Validity of permit. The issuance or granting of a permit shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of the International Codes or any other ordinance of Kitsap County. Permits presuming to give authority to violate or cancel the provisions of the International Codes and ordinances of Kitsap County shall not be valid. IBC & IRC 105

 $\sim$ Blower Door Test required by Final Inspection as per WSEC R402.4.1.2 

## DRILLING AND NOTCHING STUDS.

I. NOTCHING. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTHCED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH.

2. DRILLING. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60 PERCENT OF THE STUD WIDTH, THE EDGE OF OF THE HOLE IS NO MORE THAN \$ INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED. SEE FIGURES R602.6(1) AND R602.6(2).

-EXCEPTION: USE OF APPROVED STUD SHOES IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

R602.6.1 DRILLING AND NOTCHING OF TOP PLATE. WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50 PERCENT OF ITS WIDTH, A GALYANIZED METAL TIE OF NOT LESS THAN 0.054 INCH THICK (1.37mm) (16 ga) AND 1 1/2 INCHES (38mm) WIDE SHALL BE FASTENED ACROSS AND TO THE PLATE AT EACH SIDE OF THE OPENING WITH NOT LESS THAN EIGHT 10d (0.148 INCH DIAMETER) HAVING A MINIMUM LENGTH OF 1  $\frac{1}{2}$  INCHES AT EACH SIDE OR EQUIVALENT. THE METAL TIE MUST EXTEND A MINIMUM OF 6 INCHES PAST THE OPENING. SEE FIGURE <u>R602.6.1.</u>

<u>-EXCEPTION:</u> WHEN THE ENTIRE SIDE *O*F THE WALL WITH THE NOTCH OR CUT IS COVERED BY WOOD STRUCTURAL PANEL SHEATHING.

R602.6 DRILLING AND NOTCHING STUDS. DRILLING AND NOTCHING OF STUDS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

## 

R404.1 LIGHTING EQUIPMENT (MANDATORY). A MINIMUM OF 15 PERCENT OF PERMANENTLY INSTALLED LAMPS

IN LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS

R404.1.1 LIGHTING EQUIPMENT (MANDATORY), FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS.

# ING OF CERTIFICATE

JUSEC R4Ø1.3 A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DSIGN PROFESSIONAL.THE CERTIFICATE SHALL BE COMPLETED BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL. SERVICE DISCONNECT LABEL OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW-GRADE WALL, AND /OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES: U-FACTORS FOR FENESTRATION, AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF FENESTRATION, AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST THE TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICES WATER HEATING EQUIPMENT. WHERE A GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE, OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER." "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER." AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

Basic plans are approved with a Geotechnical report for two parcels only:

Tax Account Number 152501-3-095-2009 Tax Account Number 152501-3-096-208

## SITE WORK

UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED, FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING <u>UISOO PSF.</u> EXTERIOR FOOTINGS SHALL BEAR 18" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED. BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 1/4"x3"x3" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.

FOUNDATION SILL BOLTS TO BE 5/8" DIAMETER AT 6'-0" O.C. UN.O. WITH MIN. 7" EMBEDMENT METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON STRONG-TIE OR USP STRUCTURAL CONNECTORS

ALL NAILING TO COMPLY WITH REQUIREMENTS OF IRC TABLE R602.3(1. GYPSUM WALL BOARD AT INTERIOR WALLS TO BE FASTENED ACCORDING TO TABLE R102.3.5 ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESSURE TREATED LUMBER SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. PER

IRC 317.3, FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE RETARDANT TREATED WOOD SHALL BE OF HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

6" MIN. CLEARANCE BETWEEN WOOD AND EARTH.

12" MIN. CLEARANCE BETWEEN FLOOR BEAMS AND EARTH. 18" MIN. CLEARANCE BETWEEN FLOOR JOIST AND EARTH.

ALL NAILS SPECIFIED ON THIS PLAN SHALL BE COMMON OR GALVANIZED BOX (UNLESS NOTED OTHERWISE) OF THE DIAMETER AND LENGTH LISTED BELOW OR AS PER APPENDIX L OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 8d COMMON (Ø.131" DIA., 2-1/2" LENGTH), 8d BOX (Ø.113" DIA, 2-1/2" LONG), 10d COMMON (0.148" DIA., 3" LONG) 10d BOX (0.128" DIA., 3" LENGTH), 16d COMMON (0.162" DIA, 3-1/2" LONG), 16d SINKER (0.148 DIA, 3-1/4" LONG) 5d COOLER (0.086" DIA., 1-5/8" LONG ), 6d COOLER (0.092" DIA., 1-7/8" LONG)

### LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE WEST COST LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE FOLLOWING UNADJUSTED DESIGN MINIMUM PROPERTIES:

JOISTS:	WOOD TYPE:
2×4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
2X6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
BEAM	
4×	DF-L #2 - Fb=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
6X OR LARGER	DF-L #2 - Fb=875 psi, Fv=170 psi, Fc=600 psi, E=1300000psi
STUDS	
2×4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
2X6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
POSTS	
4×4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
4×6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
6X6 OR LARGER	DF-L #1 - Fb=1200 psi, Fv=170 psi, Fc=1000 psi, E=1600000psi

### GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS

WITH THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,400 P31, Fv = 165 P31, Fc = 650 P31 (PERPENDICULAR), E = 1,800,000 P31.

ENGINEERED WOOD BEAMS AND 1-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL. DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

BEAMS DESIGNATED AS "PSL" SHALL HAVE THE MINIMUM PROPERTIES: Fb = 2,900 PSI, Fv = 290 PSI, Fc = 150 PSI (PERPENDICULAR), E = 2,000,000 PSI. BEAMS DESIGNATED AS "LVL" SHALL HAVE THE MINIMUM PROPERTIES:

Fb = 2,600 PSI, Fv = 285 PSI, Fc = 150 PSI (PERPENDICULAR), E = 1,900,000 PSI. BEAMS DESIGNATED AS "LSL" SHALL HAVE THE MINIMUM PROPERTIES: Fb = 1,700 PSI, Fv = 400 PSI, Fc = 680 PSI (PERPENDICULAR), E = 1,300,000 PSI

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS.

DEFLECTION SHALL BE LIMTED AS FOLLOWS: FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

### <u>WINDOW INSTALLATION</u>

WINDOWS SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH

# INSULATION AND MOISTURE PROTECTION

### GENERAL

MAINTAIN I' CLEARANCE ABOVE INSULATION FOR FREE AIR FLOW. INSULATION BAFFLES TO EXTEND 6" ABOYE BATT INSULATION INSULATION BAFFLES TO EXTEND 12" ABOYE LOOSE FILL INSULATION INSULATE BEHIND TUBS/SHOWERS, PARTITIONS AND CORNERS FACE-STAPLE FACED BATTS FRICTION-FIT UNFACED BATTS USE 4 MIL POLY VAPOR RETARDER AT EXTERIOR WALLS R-10 INSULATION UNDER ELECTRIC WATER HEATERS.

### INSULATION MATERIALS

INSULATION MATERIAL, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILING ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES, AND ATTICS SHALL HAVE A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 EXCEPTIONS:

1. WHEN SUCH MATERIAL ARE INSTALLED IN CONCEALED SPACES, THE FLAME-SPREAD AND SMOKE-DEVELOPEMENT LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR, OR WALL FINISH. 2. CELLULOSE LOOSE-FILL INSULATION, WHICH IS NOT SPRAY APPLIED, COMPLYING WITH THE REQUIREMENTS OF IRC R302.10.3, SHALL ONLY BE REQUIRED TO MEET THE SMOKE-DEVELOPED INDEX OF NOT MORE THAN

### INFILTRATION CONTROL

EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, PENETRATIONS IN FLOORS, ROOFS AND WALLS AND ALL SIMILAR OPENINGS SHALL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.

### VAPOR BARRIERS / GROUND COVERS

AN APPROVED VAPOR BARRIER SHALL BE PROPERLY INSTALLED IN ROOF DECKS, IN ENCLOSED CEILING SPACES AND AT EXTERIOR WALLS. A GROUND COVER OF 6 MIL (0.006") BLACK POLYETHYLENE OR EQUIVALENT SHALL BE LAID OVER THE GROUND IN ALL CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED ONE FOOT AT EACH JOINT AND SHALL EXTEND TO THE FOUNDATION WALL.

### WALL FLASHING

APPROVED CORROSION-RESISTANT FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM REENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:

I. AT TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAKPROOF, EXCEPT THAT SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1-1/8" (28 mm) OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS, DOO NOT REQUIRE ADDITIONAL FLASHING: JAMB FLASHING MAY ALSO BE OMITTED WHEN SPECIFICALLY APPROVED BY THE BUILDING OFFICIAL.

2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO OPENINGS.

- 3. UNDER AND AT THE ENDS OF MASONRY, WOOD, OR METAL COPINGS AND SILLS.
- 4. CONTINUOUSLY ABOVE ALLPROJECTING WOOD TRIM.
- 5. WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD CONSTRUCTION.
- 6. AT WALL AND ROOF INTERSECTIONS.
- 7. AT BUILT-IN GUTTERS

# DRAFTSTOPPING & FIRE BLOCKING

### DRAFTSTOPPING

WHEN THERE IS USABLE SPACE BOTH ABOVE & BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLEY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE & A CEILING MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:

1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.

2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS. DRAFTSTOPPING SHALL CONSIST OF MATERIALS LISTED IN IRC SECTION R302.12

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

I. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:

I.I. VERTICALLY AT THE CEILING AND FLOOR LEVELS.

1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10ft 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH

AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH IRC SECTION R302.7

4. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.

5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE IRC SECTION RID03.19. 6. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT

FIREBLOCKING SHALL CONSIST OF MATERIALS LISTED IN IRC SECTION R302.11.1. LOOSE-FILL INSULATION MATERIAL

SHALL NOT BE USED AS A FIREBLOCK UNLESS SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED. THE INTEGRITY OF ALL FIREBLOCKS SHALL BE MAINTAINED.

## FOUNDATION WATERPROOFING \$

## DAMPROOFING

### DAMPROOFING

EXCEPT WHERE REQUIRED BY SEC. R406.2 TO BE WATERPROOFED, FOUNDATION WALLS THAT RETAIN EARTH OR ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE DAMPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE. MASONRY WALLS SHALL HAVE NOT LASS THAN 3" PORTLAND CEMENT PARGING APPLIED TO THE EXTERIOR OF THE WALL. PARGING SHALL BE DAMPROOFED IN ACCORDANCE WITH ONE OF THE FOLLOWING. 1. BITUMINOUS COATING

2. 3 POUNDS PER SQ. YD. OF ACRYLIC MODIFIED CEMENT

3. & COAT OF SURFACE BONDING CEMENT COMPLYING WITH ASTN C 887

4. ANY MATERIAL APPROVED FOR WATERPFOORING IN SEC. R406.2 5. OTHER APPROVED METHODS OR MATERIALS.

EXCEPTION: PARGING OF UNIT MASONRY WALLS IS NOT REQUIRED WHERE A MATERIAL IS APPROVED FOR DIRECT APPLICATION TO THE MASONRY

# FOUNDATION WATERPROOFING DAMPROOFING (CONTINUED

### WATERPROOFING

IN AREAS WHERE HIGH WATER TABLE OR OTHER SEVERE SOIL-WATER CONDITIONS ARE KNOWN TO EXIST, EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH OR ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE WATERPROOFED FROM THE TOP OF FOOTING TO FINISHED GRADE, WALLS SHALL BE WATERPROOFED IN ACCORDANCE WITH ONE OF THE FOLLOWING.

1. 2-PLY HOT MOPPED FELT 2.55 POUND ROOF ROLLING

3. 6-MIL POLYVINYL CHLORIDE

4. 6-MIL POLYETHYLENE 5. 40-MIL POLYMER-MODIFIED ASPHALT

6.60-MIL FLEXIBLE POLYMER CEMENT

7. 1 CEMENT-BASED, FIBER-REINFORCED, WATERPROOF COATING 8. 60-MIL SOLVANT-FREE, LIQUID-APPLIED SYNTHETIC RUBBER

EXCEPTION: ORGANIC-SOLVANT-BASED PRODUCTS SUCH AS HYDROCARBONS, CHLORINATED HYDROCARBONS, KETONS AND ESTERS SHALL NOT BE USED FOR ICF WALLS WITH EXPANDED POLYSTYRENE FOAM MATERIAL. USE OF PLASTIC ROOFING CEMENTS, ACRYLIC COATINGS, LATEX COATINGS, MORTARS AND PARGINGS TO SEAL ICF WALLS IS PERMITTED. COLD-SETTING ASPHALT OR HOT ASPHALT SHALL CONFORM TO TYPE C OF ASTM D

449. HOT ASPHALT SHALL BE APPLIED AT A TEMPERATURE OF LESS THAN 200 DEG. F. ALL JOINTS IN MEMBRANE WATERPROOFING SHALL BE LAPPED AND SEALED WITH AN ADHESIVE COMPATIBLE WITH

# DOORS, WINDOWS AND SKYLIGHTS

### GENERAL

ALL SKYLIGHTS AND SKY WALLS TO BE LAMINATED GLASS UNLESS NOTED OTHERWISE, BEDROOM EMERGENCY EGRESS WINDOWS SHALL HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ, FT. WITH MINIMUM NET CLEAR OPENING WIDTH OF 20" AND MINIMUM NET CLEAR OPENING HEIGHT OF 24". FINISHED SILL HEIGHT SHALL BE MAXIMUM 44" ABOVE FLOOR. MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING. WINDOW FLASHING TO BE FASTENED PER IRC CODE 103.8 WINDOW GUARDS ARE REQUIRED PER IRC 312.

SAFETY GLAZING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS OR AS OTHERWISE REQUIRED PER IRC SECTION R3Ø8.4:

### 1. SIDE HINGED DOORS EXCEPT JALOUSIES 2. SLIDING GLASS DOORS AND PANELS IN SLIDING & BI-FOLD CLOSET DOOR ASSEMBLIES

4. SHOWER AND BATH TUB, HOT TUB, WHIRLPOOL, SAUNA, STEAM ENCLOSURES 5. GLAZING W/ THE EXPOSED EDGE WITHIN A 24" ARC OF EITHER VERTICAL EDGE

OF A DOOR IN THE CLOSED POSITION & BOTTOM EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE 6. GLAZING GREATER THAN 9 S.F. AND LESS THAN 18" ABOVE FINISHED FLOOR

T. GLAZING IN GUARDRAILS 8. GLAZING LESS THAN 18" ABOVE FINISHED FLOOR 9. STAIRWAYS, LANDINGS & RAMPS WITHIN 36" HORIZONTAL OF WALKING

SURFACE AND 60" ABOVE ADJACENT WALKING SURFACE

د  $\sigma$  $\sigma \overline{\Delta}$ ~ E 6  $\tilde{m}$ 

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### REVISIONS

INT. DATE | REV.

PR 9/30/19	COMMENTS					
DESIGNER: PR						
DRAFTER:	RE					
DATE:	9/30/19					
PROJECT NO:	19120					

SHEET NO:

Established Basic Permit #

18'-42"

11'-6"

2 CAR TANDEM

GARAGE

4' CONC.

PLATFORM 18" AFF+

PROVIDE PRESSURE RELIEF 1

VALVE TO EXTERIOR AND INSTALL APPROVED | EXPANSION TANK.

WALL LINE ABOVE

8'-0"

11'-Ø"

STRAP TO WALL PER 11 UPC 5082 IRC M1307.2 | |

20 MIN. RATED SELF++

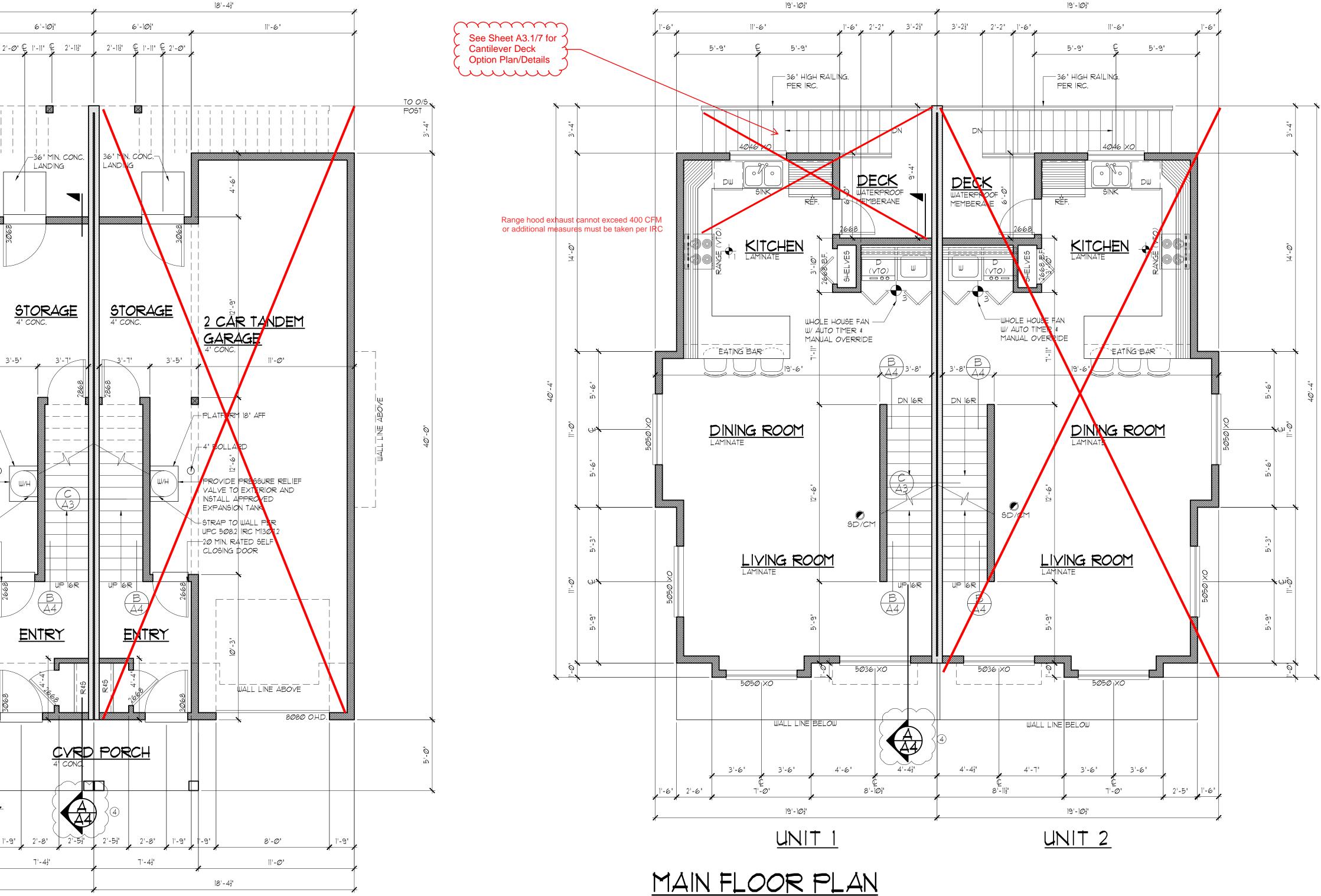
4" BOLLARD + 1

CHANGES
MUST Be Approved Prior
To Performing Work

BASIC PERMIT PACKAGE **WITH IRC 2015** 

REVIEWED FOR CODE COMPLIANCE KITSAP COUNTY BUILDING DEPARTMENT

SCALE : 1/4"= 1'-0"



# UNIT 2 LOWER FLOOR PLAN

SCALE : 1/4" = 1'-0"

- © 2019 RECTOR RESIDENTIAL DESIGN, LLC - ALL DOOR/WINDOW HEADERS TO BE 6X8 DF#2 AT 2X6 BEARING WALLS , U.N.O., 6'-0" MAX. SPAN
- ALL DOOR/WINDOW HEADERS TO BE 4X10 DF#2 AT 2X4 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN - WINDOW HEADERS AT 7'-8" ABOVE SUB FLOOR, U.N.O.
- PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.

18'-41"

UNIT 1

- EXTERIOR WALLS TO BE 2X6 AT 16" (MAX.) O.C. U.N.O.
- INTERIOR PARTITIONS TO BE 2 X 4 AT 16" O.C. (2X6 @ PLUMBING WALLS, U.N.O.)
- DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE MIN. 26 GAGE STEEL
- NO DUCT OPENINGS IN GARAGE
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- M FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD. PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR IRC R311.3.1. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 1 $\frac{3}{4}$ " BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR, IRC R311.3.2

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- PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- WINDOW HEADERS AT 6'-8" ABOVE SUB FLOOR, U.N.O.
- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O. - INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)

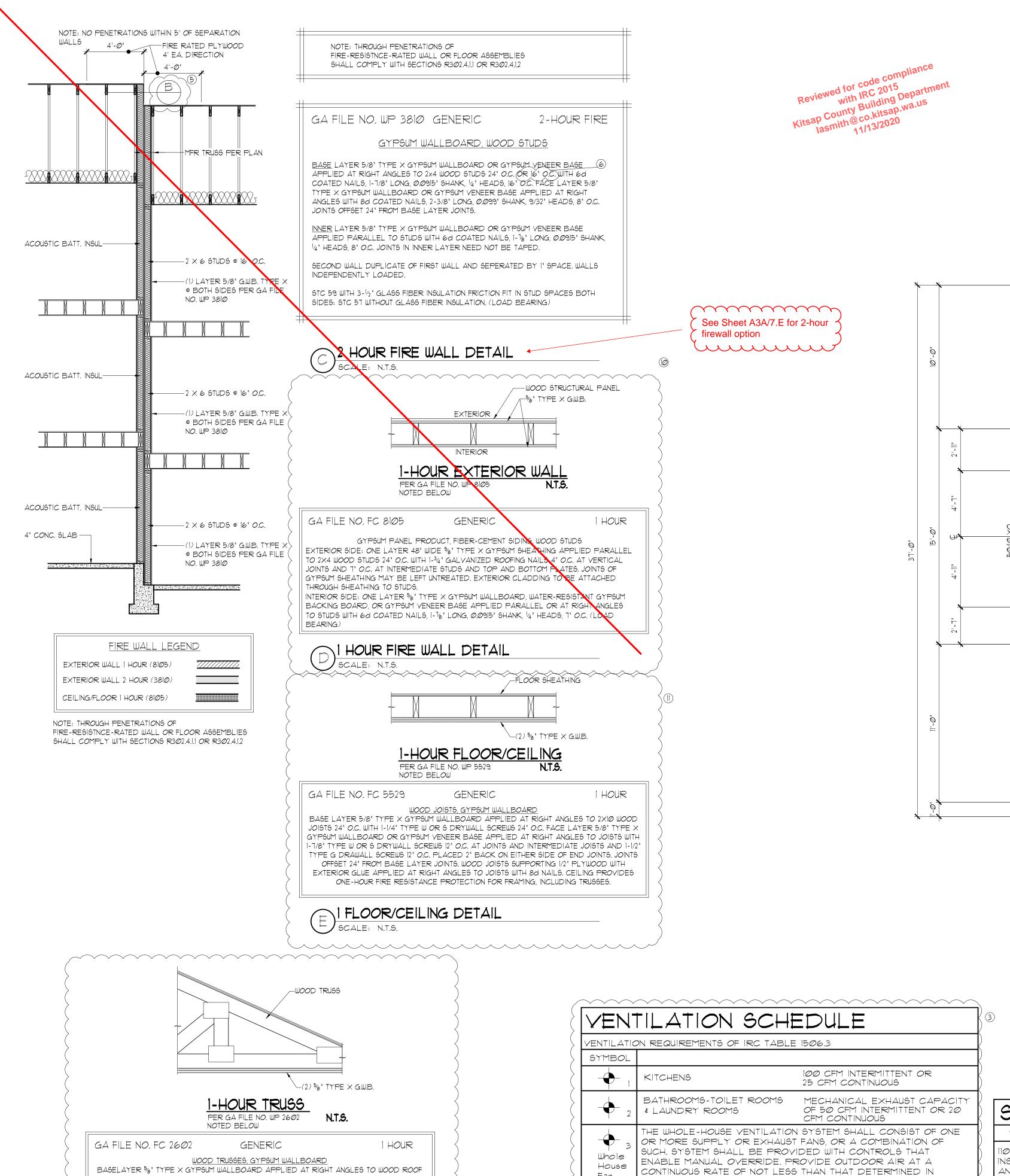
LOWER & MAIN PLAN

<del>-UU</del>

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REVISIONS INT. DATE | REV. 3/30/19 COMMENTS DESIGNER: PR **DRAFTER:** RE DATE: 9/30/19 PROJECT NO: 19120

SHEET NO:



**CHANGES** MUST Be Approved Prior

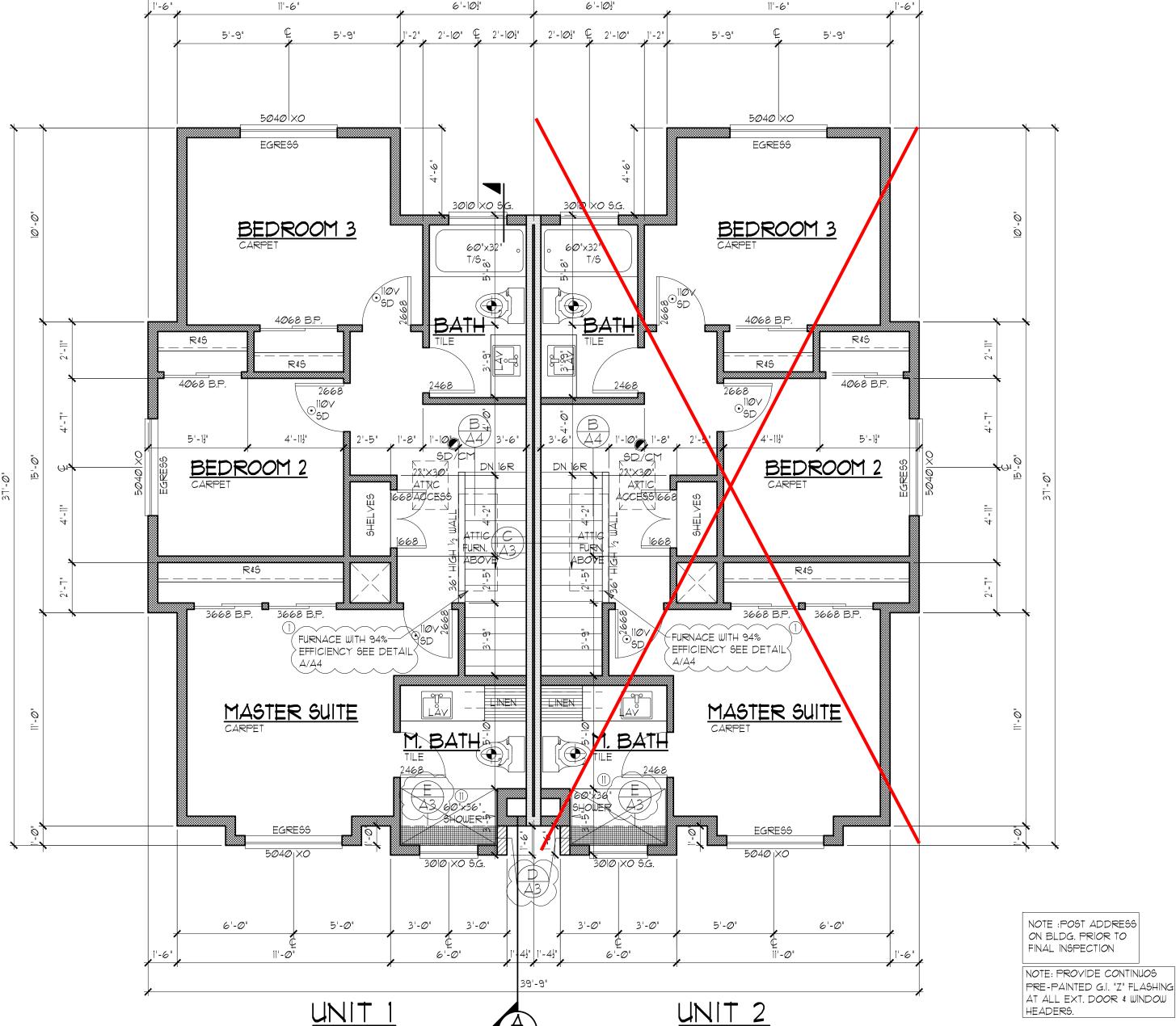
**To Performing Work** 

19'-10½"

BASIC PERMIT PACKAGE REVIEWED FOR CODE COMPLIANCE **WITH IRC 2015** 

KITSAP COUNTY BUILDING DEPARTMENT

19'-10½"



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PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C

- WINDOW HEADERS AT 6'-8" ABOVE SUB FLOOR, U.N.O.

UPPER FLOOR PLAN

- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O.
- INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN

)||TOTAL:

LAZING PERCENT:

PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)

REFER TO SHEET S-1 FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

BY THE CONTRACTOR.

NOTE:

HEADERS.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND

OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR

TO COMMENCING WORK. DESIGNER SHALL NOT BE

RESULTING FROM UNAUTHORIZED WORK PERFORMED

13 % WDW SF / FLR SF. (%)

CONDITIONS OF PROJECT AND REPORT ANY

RESPONSIBLE FOR DISCREPANT CONDITIONS

AREA SUMMARY UNIT 1 & UNIT 2

LOWER FLOOR 648 SF. MAIN FLOOR: UPPER FLOOR: 635 SF. 1358 SF. GARAGE 581 SF. GLAZING SUMMARY

176 SF. SF. SF.

193

SMOKE DETECTORS

110V INTERCONNECTED W/ BATTERY BACKUP INSTALLED ON EACH FLOOR, IN EACH SLEEPING AREA, AND OUTSIDE EACH SEPERATE SLEEPING AREA

INSTALL SMOKE DETECTORS PER CODE

LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED PER THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 12

CARBON MONOXIDE

SD/CM INSTALL SMOKE DECTOR/ CARBON MONOXIDE ALARM PER CODE COMBINATION SMOKE ALARM & CARBON MONOXIDE ALARMS: SMOKE ALARM REQUIREMENTS AS LISTED ABOVE. INSTALLED ON EACH FLOOR, AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE

BEDROOMS. CARBON MONOXIDE ALARMS LISTED AS COMPLYING WITH UL 2015

AND INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS

DOORS W/ MORE THAN 50% GLAZING: SKYLIGHTS:

Established Basic Permit # 19-03646

TRUSSES 24" O.C. WITH 1-1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 🐉 TYPE X

GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO TRUSSES

WITH 1-7/8" TYPE W OR 5 DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE TRUSSES

AND 1-1/2" TYPE & DRAWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END

JOINTS, JOINTS OFFSET 24" FROM BASE LAYER JOINTS, WOOD TRUSSES SUPPORTING ! WOOD

STRUCTURAL PANELS APPLIED AT RIGHT ANGLES TO TRUSSES WITH 8d NAILS. APPROPRIATE

ROOF COVERING. CEILING PROVIDES ONE-HOUR FIRE-RESISTANCE PROTECTION FOR TRUSSES

1 FLOOR/CEILING DETAIL

CCORDANCE WITH TABLE M1507.3.3(1)

WITH TABLE MI507.3.3(2)

VENTILATION RATE FOR WHOLE HOUSE FAN

HVAC CONTRACTOR TO SPECIFY LOCATION.

TO BE 45 AIRFLOW IN CFM PER TABLE M507.3.3 (1)

EXCEPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS

CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25-PERCENT OF

MI507.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE

EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE

PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS

 $\sigma \overline{\Gamma}$ arn ane

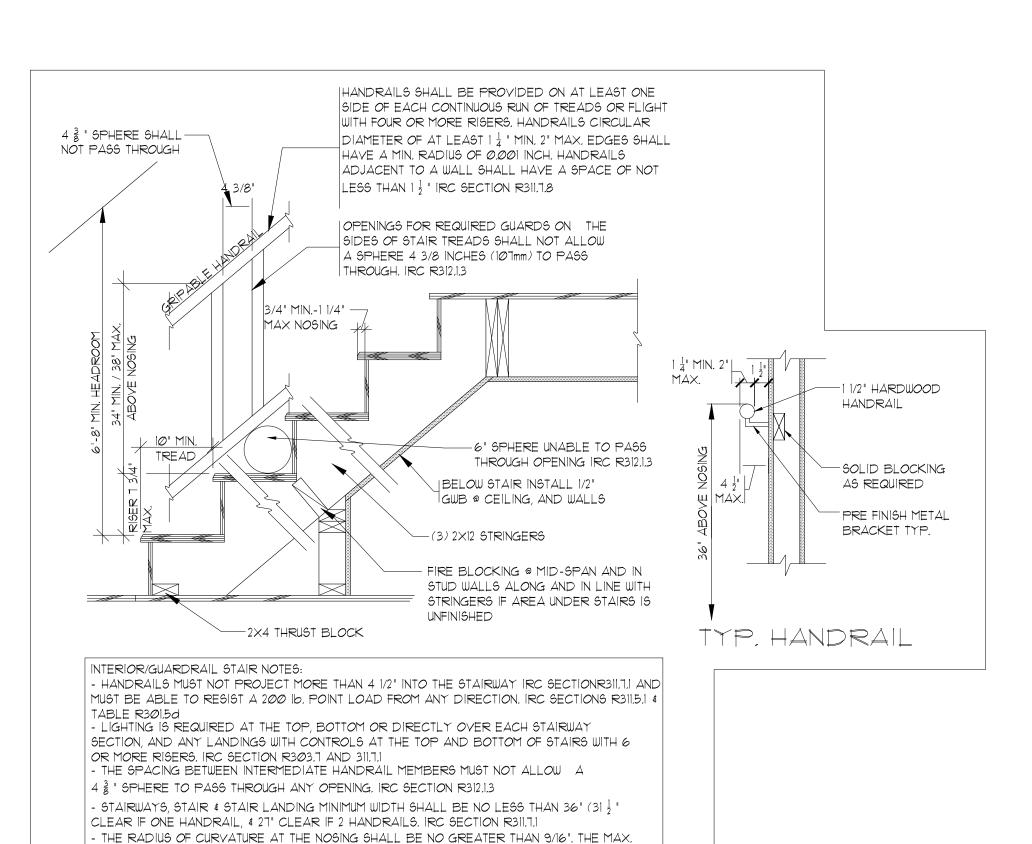
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# **REVISIONS**

INT. DATE | REV. 3/3*0*/19 | COMMENTS DESIGNER: **DRAFTER:** RE 9/30/19

DATE: PROJECT NO: 19120

SHEET NO:



**BASIC PERMIT PACKAGE** REVIEWED FOR CODE COMPLIANCE **WITH IRC 2015** 

KITSAP COUNTY BUILDING DEPARTMENT

ENERGY CREDIT 3b: - 1.0 CREDIT AIR-SOURCE HEAT PUMP WITH MINIMUM HSPF OF 9.0 TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT TYPE AND THE MINIMUM EQUIPMENT EFFICIENCY.

ENERGY CREDIT la: - Ø.5 CREDIT

PRESCRIPTIVE COMPLIANCE IS BASED ON

EFFICIENT BUILDING ENVELOPE la:

TABLE R402.1.1 WITH THE FOLLOWING

MUST Be Approved Prior **To Performing Work** 

MODIFICATIONS:

FLOOR R-38

FENESTRATION U. = 0.28

COMPOSITION ROOFING ON

15 # FELT UNDERLAYMENT

ON 7/16" PLY OR OSB

PER MFG. SPECS. TYP.

CONT. METAL GUTTER ON 5/4 × 8 FASCIA BD. TYP

TOP PLATE

SHEATHING TYPICAL

-MFR. TRUSSES PER

PLAN @ 24" O.C.

-R-49 INSULATION

INSULATION PER ENERGY CODE

7/16" PLY OR OSB SHEATHING-

VENTED BLOCKING AT ALTERNATE BAYS

ROOF FRAMING PER PLAN

CONTINUOUS METAL GUTTER

2x6 STUDS @ 24" O.C. - TYP.

R-21 INSULATION - TYP.

34" T&G PLYWOOD GLUED & NAILED\_

7/16" PLY OR OSB SHT'G - TYP.

FLOOR JOISTS PER PLAN

TYVEK WRAP - TYP

SIDING PER ELEVATION

FLOOR JOISTS PER PLAN -

WINDOW HDR. PER PLAN - TYP.

WINDOW W/ INS. GLASS - TYP. -

4" & CONT. TIGHTLINE-TO STORM SEWER

4" ¢ PERF. PLASTIC FTG. DRAIN SET IN WASHED GRAVEL

W/ FILTER FABRIC OVER

5/4 TRIM SURROUND - TYP.

34" T&G PLYWOOD GLUED & NAILED

COMPOSITION ROOFING

15# FELT PAPER

INSULATION BAFFLE -

5/4 x 8 FASCIA

SUBFL

SUBFL

4" CONC. SLAB ON 6 MIL PLAS.——

INSULATION 2' AROUND PERIMETER

VAP. BARRIER ON R-10 RIGID

ON 4" COMP. FILL TYP.

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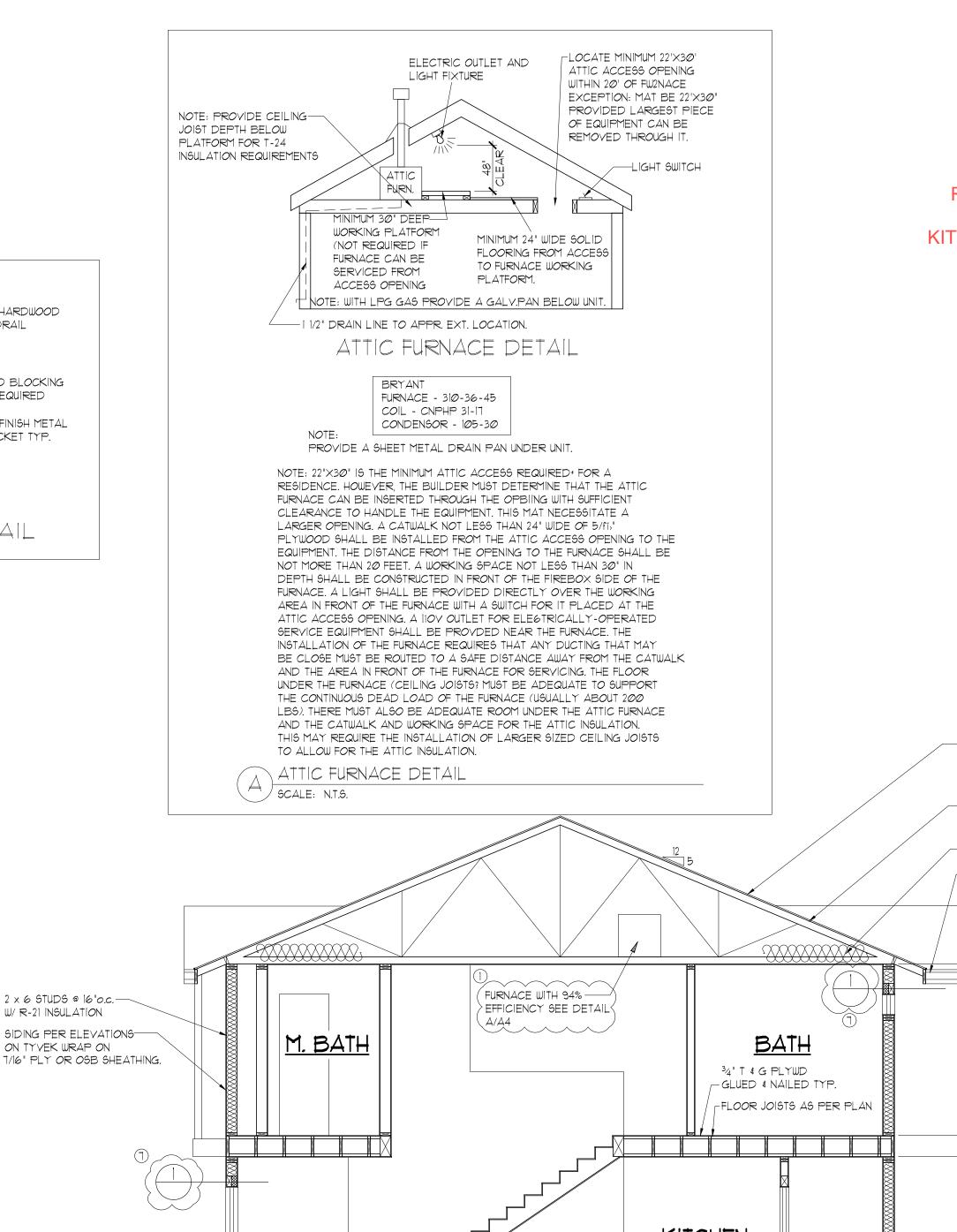
These drawings and all prints

INT. DATE | REV. 1/3*0*/19 | COMMENTS **DESIGNER:** PR

**DRAFTER:** RE DATE:

9/30/19 PROJECT NO: 19120

SHEET NO:



 $\leftarrow$  2×4 BLOCKING TYP. TRUSS BOTTOM CHORD - $-2\frac{1}{2}$ " HIGH  $\frac{5}{8}$ " GWB TYPE "X" AT ALL SIDES 5%" G.W.B. TYPE "X"─ 22" x 30" ATTIC ACCESS OPENING-ACCESS HATCH-INSULATE FULL DEPTH CEILING ATTIC ACCESS DETAIL / SCALE: N.T.S.

BEVELING OF NOSING SHALL NOT EXCEED 1/2". IRC SECTION R311.7.5.3

| SMALLEST BY MORE THAT 3/8 ". IRC SECTION R311.7.5.1 & R311.7.5.2

THE DWELLING. IRC SECTION R303.7 & R303.7.1

R311.7.5.3 (EXCEPTION)

LANDING NOTES:

DRAINAGE, IRC SECTION R311.7.7

STAIR DETAIL

SCALE: N.T.S.

-THE GREATEST RISER AND TREAD WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE

EXTERIOR STAIR NOTES: - EXTERIOR STAIR LIGHTING AT TOP LANDING WITH CONTROLS INSIDE

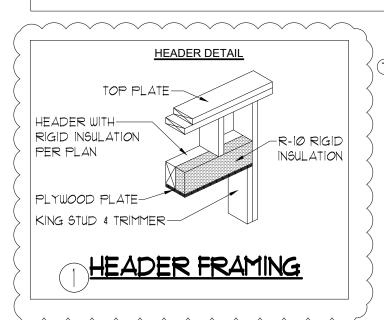
- A MAXIMUM SLOPE OF 1:48 (2%) IS REQUIRED AT EXTERIOR LANDINGS AND TREADS FOR

- MINIMUM TREAD DEPTH OF 10" BETWEEN VERTICAL PLANES AT THE INTERSECTION WITH THE WALKLINE (12") AND SHALL HAVE A MINIMUM TREAD DEPTH OF 6" IRC SECTION R311.1.5.2.1 \$

- LANDING WIDTH SHALL NOT BE LESS THAN THAT OF STAIR SERVED IRC R311.7.6

- LANDING SHALL NOT BE LESS THAN 36 INCHES IN DIRECTION OF TRAVEL IRC R311.7.6

- NOSING IS NOT REQUIRED WHERE THE TREAD DEPTH IS A MINIMUM OF II". IRC SECTION



REFER TO STRUCTURAL SHEETS FOR SHEAR

# SECTION

### © 2019 RECTOR RESIDENTIAL DESIGN, LLC

TYPICAL ROOF CONSTRUCTION

- COMPOSITION ROOF SHINGLES
- 15# ROOFING FELT - 7/16" SHEATHING RATED 24/16
- STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN
- R-49 INSULATION - 5/8" GWB, CEILING

2 x 6 STUDS @ 16"o.c.—

W/R-21 INSULATION

ON TYVEK WRAP ON

4" ¢ CONT. TIGHTLINE

TO STORM SEWER

CONTRACTOR TO VERIFY ALL DIMENSIONS AND

OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR

TO COMMENCING WORK. DESIGNER SHALL NOT BE

RESULTING FROM UNAUTHORIZED WORK PERFORMED

CONDITIONS OF PROJECT AND REPORT ANY

RESPONSIBLE FOR DISCREPANT CONDITIONS

BY THE CONTRACTOR.

- 1/8" TO 1/4" MESH SCREEN OVER OPENINGS - NET OPENING AREA MINIMUM 1/150 OF VENTED AREA
- OR 1/300 IF 50%-80% OF VENTING NEAR TOP OR VAPOR RETARDER
- PROVIDE I" MINIMUM CLEARANCE BETWEEN INSULATION AND SHEATHING AT VENTS PER IRC SECTION R8063

# TYPICAL FLOOR CONSTRUCTION

- 7/16" PLY OR OSB SHTG.( U.N.O .
- TYVEK BUILDING WRAP OR EQ.
- 2×6 STUDS @ 16" O.C. EXTERIOR WALLS U.N.O. EXTERIOR WALL NOTCH 25%, BORING 40%
- 2x4 STUDS @ 16" O.C., INTERIOR PARTITIONS (2×6 @ PLUMBING WALLS)
- R-21 INSULATION WITH VAPOR BARRIER

# SCALE : 1/4"= 1'-0"

## - SIDING AND/OR VENEER PER ELEVATION - FINISHED FLOOR PER PLANS

THAN TWO SUCCESSIVE STUDS.

HOLES NO CLOSER THE 5/8 INCH TO FACE OF STUD

NOTE: 1/16" SHEATHING NOT REQUIRED ON EXT. WALLS WHERE TI-11 SIDING IS SPECIFIED (UNLESS NOTED OTHERWISE IN THE SHEAR WALL SPECIFICATIONS)

TYPICAL WALL SECTION

### WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR UALL INDICATED IN THIS PLAN.

Established Basic Permit# 19-03646

TOP PLATE

SUB FLOOR,

SUB FLOOR TOP PLATE

KITCHEN

—³¼" T & G PLYWD GLUED & NAILED TYP. FLOOR JOISTS AS PER PLAN

R-38 INSULATION -

STORAGE

ENTRY 4" CONC. SLAB ON 6 MIL PLAS. VAP. BARRIER ON R-10 RIGID INSULATION 2' AROUND PERIMETER'

PER PLAN

ON 4" COMP. FILL TYP. CONC. FTG. AS

4" ¢ PERF. PLASTIC FTG. DRAIN SET IN WASHED GRAVEL W/ FILTER FABRIC OVER

# TYPICAL WALL CONSTRUCTION

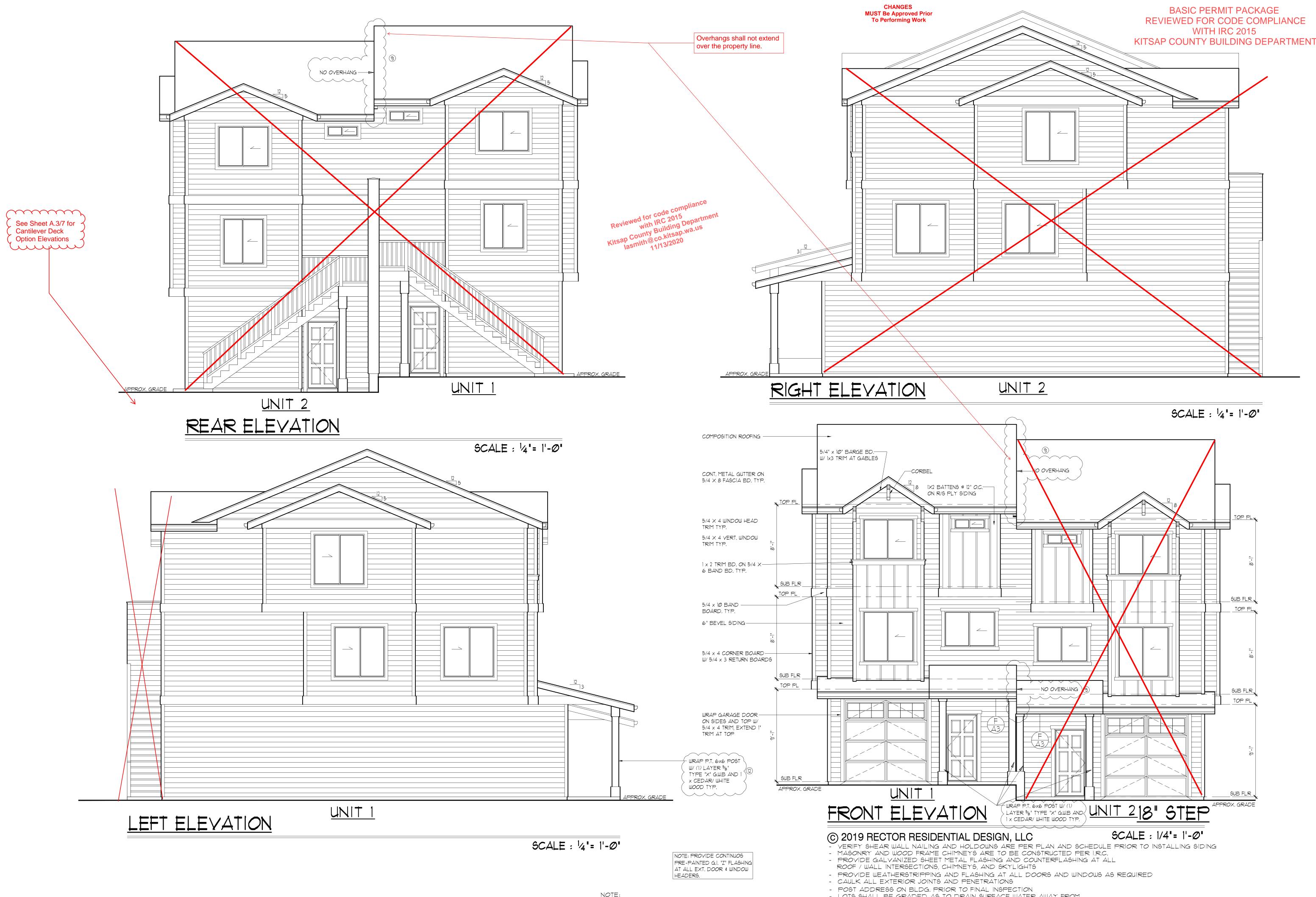
60% BORING IF DOUBLED & NOT MORE

NON-BEARING WALL MAXIMUM NOTCH 40%, BORING 60%

Permit Number: 20-04893

Permit Number: 20-04893

9/30/19



APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

- LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM

FOUNDATION WALL. SLOPE SHALL BE 6" IN FIRST 10 FT, OR DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE

- FASTENERS TO BE HOT-DIPPED GALV. STEEL, STAINLESS OR ALUM. (CORROSION RESISTANT)



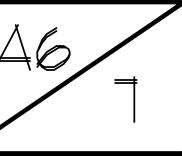
ara ane

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	REVISIONS					
INT.	DATE	REV.				
PR	9/30/19	COMMENT				
DESI	GNER:	PR				
DRAF	TER:	RE				
		10.0.10				

9/30/19 PROJECT NO: 19120

SHEET NO:



### HEATING EQUIPMENT

ALL WARM-AIR FURNACES SHALL BE LISTED AND LABELED BY AN APPROVED AGENCY AND INSTALLED TO LISTED SPECIFICATIONS.

NO WARM-AIR FURNACES SHALL BE INSTALLED IN A ROOM USED OR DESIGNED TO BE USED AS A BEDROOM, BATHROOM, CLOSET OR IN ANY ENCLOSED SPACE WITH ACCESS ONLY THROUGH SUCH ROOM OR SPACE, EXCEPT DIRECT VENT FURNACE, ENCLOSED FURNACES AN ELECTRIC HEATING FURNACES.

LIQUEFIED PETROLEUM GAS-BURNING APPLIANCES SHALL NOT BE INSTALLED IN A PIT. BASEMENT OR SIMILAR LOCATION WHERE HEAVIER THAN AIR GAS MIGHT COLLECT. APPLIANCES SO FUELED SHALL NOT BE INSTALLED IN AN ABOVE GRADE UNDER FLOOR SPACE OR BASEMENT UNLESS SUCH LOCATION IS PROVIDED WITH AN APPROVED MEANS FOR REMOVAL OF UNBURNED GAS.

HEATING AND COOLING EQUIPMENT LOCATED IN A GARAGE AND WHICH GENERATES A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18 INCHES ABOVE THE FLOOR LEVEL.

### VENTILATION

LOCAL EXHAUST SHALL BE PROVIDED IN EACH KITCHEN, BATHROOM, WATER CLOSET, LAUNDRY ROOM, INDOOR SWIMMING POOL, SPA, AND OTHER ROOMS WHERE WATER VAPOR OR COOKING ODOR IS PRODUCED. PER IRC TABLE

### MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE-AND TWO-FAMILY DWELLINGS PER 2012 TABLE M1507.4

AREA TO BE EXHAUSTED	EXHAUSTED RATES
KITCHENS	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
BATHROOMS - TOILET ROOMS LAUNDRY ROOMS INDOOR SWIMMING POOLS \$ SPAS	MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

### FOR SI: 1 CUBIC FOOT PER MINUTE = 0.0004719 m /š.

EVERY FACTORY BUILT CHIMNEY, TYPE L VENT, TYPE B GAS VENT OR TYPE BW GAS VENT SHALL BE INSTALLED IN ACCORDANCE WITH THE TERMS OF ITS LISTING, MFR'S INSTALLATION INSTRUCTIONS AND APPLICABLE CODE REQUIREMENTS.

A TYPE L VENTING SYSTEM SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THE VENT PASSES THROUGH THE ROOF OF THE BUILDING AND AT LEAST 2' HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10' OF THE VENT.

### 2015 WASHINGTON STATE ENERGY CODE - R403.5.

WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE EFFICACY REQUIREMENTS OF TABLE R403.5.1. EXCEPTION: WHERE MECHANICAL VENTILATION FANS ARE INTEGRAL TO TESTED AND LISTED HYAC EQUIPMENT, THEY SHALL BE POWERED BY AN ELECTRONICALLY COMMUTATED MOTOR.

### TABLE R403.5.1 MECHANICAL VENTILATION SYSTEM FAN EFFICACY

FAN LOCATION	AIR FLOW RATE MINIMUM (CFM)	MINIMUM EFFICACY (CFM/WATT)	AIR FLOW RATE MAXIMUM (CFM)
RANGE HOODS	ANY	2.8 CFM/WATT	ANY
IN-LINE-FAN	ANY	2.8 CFM/WATT	ANY
BATHROOM, UTILITY ROOM	10	1.4 CFM/WATT	.90
BATHROOM, UTILITY ROOM	9Ø	2.8 CFM/WATT	ANY

### MECHANICAL VENTILATION RATE

THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR TO EACH HABITABLE SPACE AT A CONTINUOUS RATE OF NOTE LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE MI507,3,3(1)

EXEMPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LEGS THAN 25 PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE MI501.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE MI507.3.3(1)

### <u> TABLE R1507.3.3(1)</u>

### CONINUOUS WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM AIRFLOW RAT REQUIREMENTS

				<u> </u>	<u>-</u>	
′ [	DWELLING UNIT	NUMBER OF BEDROOMS				
	FLOOR AREA	Ø-1	2-3	4-5	6-7	7
	(SQUARE FEET)		_ AIR	LOW IN CFM		
Ī	√1,5 <i>Ø</i> Ø	3Ø	(45)	60	75	90
Ч	1,501-3,000	45	60	75	90	105
Ī	3,001-4,500	60	75	90	105	120
Ī	4,501-6,000	75	90	105	120	135
ĺ	6,001-7,500	90	105	12Ø	135	150
Ī	,7 <i>,500</i>	105	12Ø	135	150	165

### DUCT LEAKAGE PROTECTION:

DUCTS SHALL BE LEAK TESTED IN ACCORDANCE WITH WSU RS-33, USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED.

### BUILDING AIR LEAKEAGE TESTING 2015 WSEC SEC. 4024.1.2 THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTION THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. ONCE VISUAL INSPECTION HAS CONFIRMED SEALING (SEE TABLE R402.4.1.1), OPERABLE WINDOWS AND DOORS MANUFACTURED BY SMALL BUSINESS SHAL

### 2015 WASHINGTON STATE ENERGY CODE - TABLE 402.1.

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT CLIMATE ZONE 5 & MARINE 4								
FENESTRATION	U-FACTOR	CEILING	VAULTED	WOOD	WALL	W. 100 III. 1	FRAMED	SLAB ON
VERTICAL	OVERHEAD	W/ ATTIC	CEILING	FRAMED	BELOW GRADE	MASS WALL	FLOOR	GRADE
Ø.28	0.50	R-49	R-38	R-21	R-10/15/21 TB	R-21/21H	R-3Ø	R-10 2'

# TEMPERATURE CONTROL

BE PERMITTED TO BE SEALED OFF AT THE FRAME PRIOR TO THE TES.

AT LEAST ONE THERMOSTAT SHALL BE PROVIDED FOR EACH SEPARATE HEATING AND COOLING SYSTEM WSEC SEC. 403.1

### TABLE M15Ø7.3.3(2) INTERMITTENT IIILO E LOUSE MECHANICAL VENTU ATION RATE EACTORS ab

INTERTIFIENT WHOLE-	HOUSE III	ECHAINIC	AL AEINII	LAHONR	CAIL FAC		
TABLE M1507.3.3(2)							
					• (		2)
RUN-TIME PERCENTAGE IN	25%	33%	50%	66%	75%	100%	)
EACH 4-HOUR SEGMENT							
FACTOR	4	3	2	1.5	1.3	(1.0)	j

a. FOR VENTILATION SYSTEM RUN TIME VALUES BETWEEN THOSEE GIVEN, THE FACTORS ARE

**CHANGES MUST Be Approved Prior** To Performing Work

MECHANICAL EXHAUST CAPACITY BATHROOMS-TOILET ROOMS OF 50 CFM INTERMITTENT OR 20 EXHAUST FANS PROVIDING WHOLE-HOUSE VENTILATION SHALL HAVE A FLOW RATING AT 0.25 INCHES WATER GAUGE AS SPECIFIED IN TABLE MI507.3.3(1). MANUFACTURERS' FAN FLOW RATINGS SHALL BE DETERMINED ACCORDING TO HVI 916 OR AMCA 210 House Fan PER M1507.3.4.1

100 CFM INTERMITTENT OR

25 CFM CONTINUOUS

EXCEPTION: THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25-PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE PRESCRIBED IN TABLE MISØ1.3.3(1) IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE MI5/01.3.3(2)

WHOLE HOUSE VENTILATION (PRESCRIPTIVE WHY) WHOLE HOUSE VENTILATION SYSTEMS YOU WILL BE USING. INTERMITTENT WHY USING EXHAUST FANS AND FRESH AIR INLETS (IRC MI507.3.4) INTERMITTENT WHY USING INTEGRATED WITH A FORCED AIR SYSTEM (IRC 1507.3.5) 3. INTERMITTENT WHY USING A SUPPLY FAN (IRC MI507.3.6) 4. INTERMITTENT WHY USING A HEAT RECOVERY VENTILATION SYSTEM (IRCMI501.3.1)

MIN. 9.0 HSPF

### ENERGY NOTES:

5. CONTINUOUS HY SYSTEM AIRFLOW RATE

HEAT PUMP

VENTILATION SCHEDULE

KITCHENS

SYMBOL

VENTILATION REQUIREMENTS OF IRC TABLE 1506.3

WATER HEATER:	GAS HIGH EFFICIENCY	MIN. Ø.91 EF
HEATING:	GAS FURNACE	90% AFUE U.N.O.
	HEAT PUMP	MIN. 9.Ø HSPF
WATER HEATER:	ELECTRIC HIGH EFFICIENCY	MIN. 2.00 EF
HEATING:	ELECTRIC FURNACE	90% U.N.O.

DUCT TESTING BASED ON THE PROTOCOL FOR "TOTAL LEAKAGE TESTING," OR LEAKAGE TO OUTDOORS" DUCT LEAKAGE IN NEW CONSTRUCTION SHALL NOT EXCEED 0.04 CFM25 X FLOOR AREA (IN SQUARE FEET) SERVED BY THE SYSTEM FOR LEAKAGE TO OUTDOORS OR FOR TOTAL LEAKAGE WHEN TESTD POST CONSTRUCTION. WHEN TESTING AT ROUGH-IN, TARGETS SHOULD NOT EXCEED 0.04 CFM25 X FLOOR AREA IN (IN SQUARE FEET) FOR TOTAL LEAKAGE OR 0.03 CFM25 x FLOOR ARE (IN SQUARE FEET) IF THE AIR HANDLER IS NOT INSTALLED.

EXCEPTION: THE TOTAL LEAKAGE TEST IS NOT REQUIRED FOR DUCTS AND AIR HANDLERS LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVOLOPE. DUCTS LOCATED IN CRAWL SPACES DO NOT QUALIFY FOR THIS EXCEPTION.

Provide a copy of the "Duct Leakage Affidavit for New Construction" to the building inspector prior to an approved final inspection. BLOWER DOOR TESTING

Provide a written report of the Blower Door test results, signed by the testing party, to the building inspector, prior to approved final inspection

The design professional or builder shall complete and post a "Insulation Certificate for Residential Construction' within 3' of the electrical panel prior to final inspection.

ENERGY CREDIT 3a: - 1.0 CREDIT GAS, PROPANE OR OIL-FIRED FURNACE WITH MINIMUM AFUE OF 94%, OR GAS, PROPANE OR OILED-FIRED BOILER IWTH MINIMUM AFUE OF 92% TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT TYPE AND THE MINIMUM EQUIPMENT EFFICIENCY.

## ENERGY CREDIT 5a: - Ø.5 CREDIT

EFFICIENT WATER HEATING 5a: ALL SHOWERHEAD AND KITCHEN SINK FAUCETS INSTALLED IN THE HOUSE SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE MAXIMUM FLOW RATES FOR ALL SHOWERHEADS, KITCHEN SINK FAUCETS, AND OTHER LAVATORY FAUCETS.

Whole House fan to have be a 45cfm fan with a continuous runtime (See Energy Code Worksheet).

**BASIC PERMIT PACKAGE** REVIEWED FOR CODE COMPLIANCE **WITH IRC 2015** KITSAP COUNTY BUILDING DEPARTMENT

Simple Heating System Size: Washington State

This heating system sizing calculator is based on the Prescriptive Requirements of the 2015 Washington State Energy Code (WSEC) and ACCA Please fill out all of the green drop-downs and boxes that are applicable to your project. As you make selections in the drop-downs for each section, some values will be calculated for you. If you do not see the selection you need in the drop-down options, please call the WSU Energy Extension Program at (360) 956-2042 for assistance. O All Other Systems Heating System Type: To see detailed instructions for each section, place your cursor on the word "Instructions". Design Temperature Design Temperature Difference (ΔT) Area of Building Average Ceiling Height Conditioned Volume 10,864 Glazing and Doors U-Factor X Area = UA 0.280 176 49.28 U-Factor X Area = <u>Skylights</u> Single Rafter or Joist Vaulted Ceilings Above Grade Walls (see Figure 1) Below Grade Walls (see Figure 1) Slab on Grade (see Figure 1 No selection Location of Ducts **Duct Leakage Coefficient** 179.10 Sum of UA **Envelope Heat Load** 10,208 Btu / Hour 6,688 Btu / Hour Air Leakage Heat Load Building Design Heat Load 16,896 Btu / Hour 16,896 Btu / Hour Building and Duct Heat Load Maximum Heat Equipment Output 21,120 Btu / Hour Building and Duct Heat Loss X 1.25 for Heat Pump

Prescriptive Energy Code Compliance for All Climate Zones in Washington

This project will use the requirements of the Prescriptive Path below and incorporate the

number of additional credits are checked as chosen by the permit applicant.

\*Table R402.1.1 and Table R402.1.3 Footnotes included on Page 2.

Mass Wall R-Value

bd R-Value & Depth

the following minimum number of credits:

1. Small Dwelling Unit: 1.5 credits

2. Medium Dwelling Unit: 3.5 credits

☐ 3. Large Dwelling Unit: 4.5 credits

1a Efficient Building Envelope 1a
1b Efficient Building Envelope 1b
1c Efficient Building Envelope 1c

1d Efficient Building Envelope 1c 2a Air Leakage Control and Efficient Ventila 2b Air Leakage Control and Efficient Ventilation 2b

5d Efficient Water Heating 5d

Table R402.1.1 Footnotes

g Reserved.

<sup>h</sup> Reserved.

ninimum of R-10 insulation

specified in Section R402.1.3.

Table R402.1.3 Footnote

Table R406.2 Summary

 $\square$  4. Additions less than 500 square feet: .5 credits

2b Air Leakage Control and Efficient Ventilation 2b
2c Air Leakage Control and Efficient Ventilation 2c
3a High Efficiency HVAC 3a
3b High Efficiency HVAC 3b
3c High Efficiency HVAC 3c
3d High Efficiency HVAC 3d
4 High Efficiency HVAC Distribution System
5a Efficient Water Heating 5a
5b Efficient Water Heating 5b
5c Efficient Water Heating 5c
5d Efficient Water Heating 5d

\*Please refer to Table R406.2 for complete option descriptions

 $|^{
m e}$  There are no SHGC requirements in the Marine Zone

For SI: 1 foot .= 304.8 mm, ci .= continuous insulation, int .= intermediate framing.

Appendix Table A101.4 shall not be less than the R-value specified in the table.

<sup>a</sup> R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is

less than the label or design thickness of the insulation, the compressed R-value of the insulation from

<sup>b</sup> The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

<sup>c</sup> "10/15/21.+TB" means R-10 continuous insulation on the exterior of the wall, or R-15 on the continuous

basement wall at the interior of the basement wall. "10/15/21.+TB" shall be permitted to be met with R-13

insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the

cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior

of the wall. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity

insulation at the interior of the basement wall. "TB" means thermal break between floor slab and basement

<sup>d</sup> R-10 continuous insulation is required under heated slab on grade floors. See R402.2.9.1.

For single rafter- or joist-vaulted ceilings, the insulation may be reduced to R-38.

<sup>1</sup> The second R-value applies when more than half the insulation is on the interior of the mass wall.

math int. (intermediate framing) denotes standard framing 16 inches on center with headers insulated with a

<sup>a</sup> Nonfenestration U-factors shall be obtained from measurement, calculation or an approved source or as

the minimum values listed. In addition, based on the size of the structure, the appropriate

R-Value<sup>a</sup>

10/15/21 int + TB

Dwelling units exceeding 5000 square feet of conditioned floor area.

n/a

U-Factor<sup>a</sup>

0.30

0.50

0.026

0.029

0.042

Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2 so as to achieve

Dwelling units less than 1500 square feet in conditioned floor area with less than 300 square feet of

fenestration area. Additions to existing building that are greater than 500 square feet of heated floor area but

All dwelling units that are not included in #1 or #3. Exception: Dwelling units serving R-2 occupancies shall

(07/01/13)

0.5

1.0

RR DESIGN, LL

Window, Skylight and Door Schedule Exempt Swinging Door (24 sq. ft. max.) Exempt Glazed Fenestration (15 sq. ft. max.) Vertical Fenestration (Windows and doors) Component Qt. Feet Inch Feet Inch Description HORIZONTAL SLIDE HORIZONTAL SLIDER HORIZONTAL SLIDER HORIZONTAL SLIDER

Sum of Vertical Fenestration Area and UA Vertical Fenestration Area Weighted U = UA/Area Overhead Glazing (Skylights Qt. Feet Inch Feet Inch Sum of Overhead Glazing Area and UA Overhead Glazing Area Weighted U = UA/Area Total Sum of Fenestration Area and UA (for heating system sizing calculations)

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**REVISIONS** INT. DATE | REV. **DESIGNER:** PR **DRAFTER:** RE 9/3Ø/19 DATE: PROJECT NO: 19120

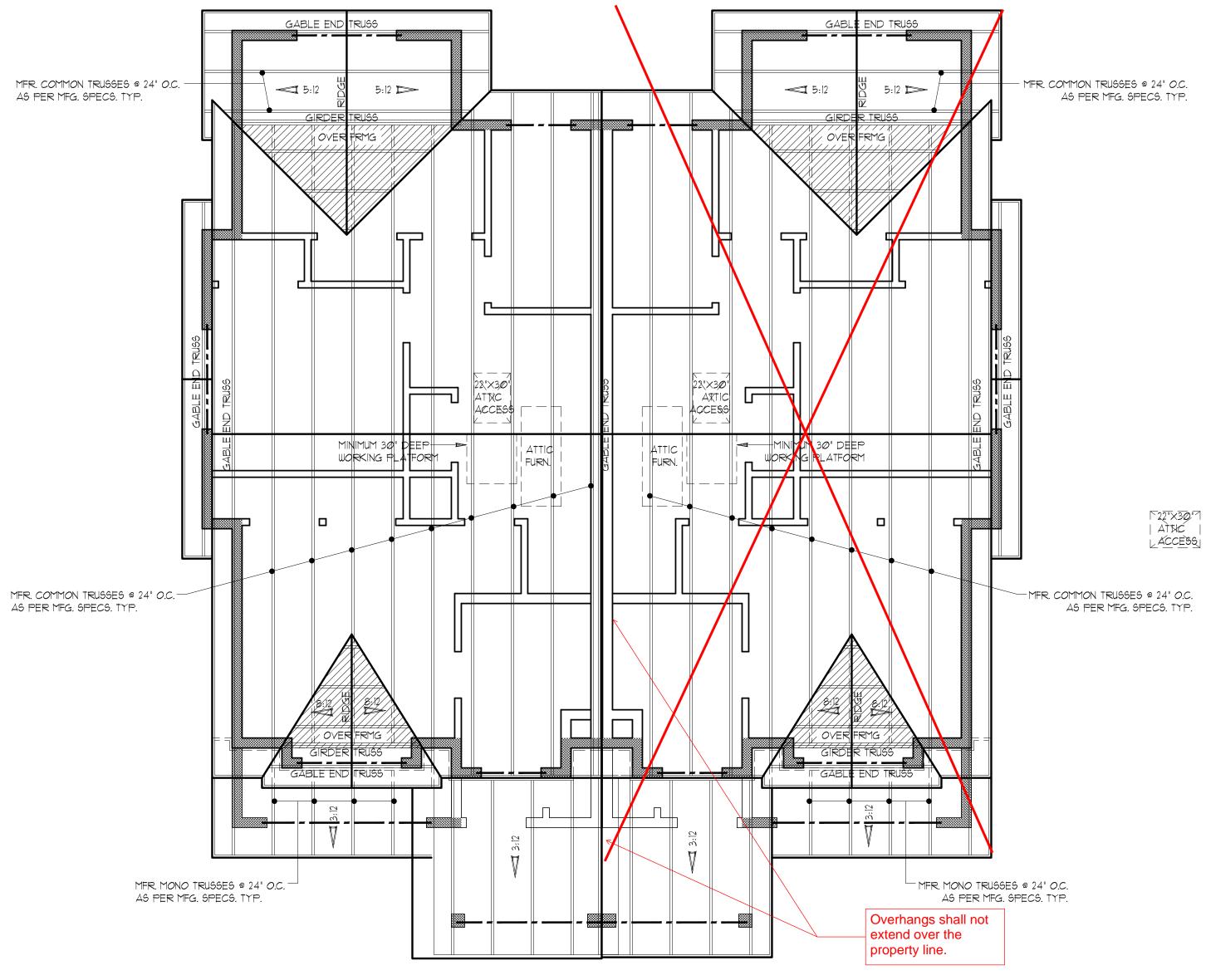
SHEET NO:

Established Basic Permit # 19-03646

PERMITTED TO BE DETERMINED BY INTERPOLATION. b. EXTRAPOLATION BEYOND THE TABLE IS PROHIBITED.

**CHANGES** MUST Be Approved Prior To Performing Work

BASIC PERMIT PACKAGE REVIEWED FOR CODE COMPLIANCE WITH IRC 2015 KITSAP COUNTY BUILDING DEPARTMENT



# ROOF FRAMING PLAN

# © 2019 RECTOR RESIDENTIAL DESIGN, LLC

- SCALE : 1/4" = 1'-0"
- ALL BEAMS AND HEADERS TO BE 6X8 DF #2 AT 2X6 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN - ALL BEAMS AND HEADERS TO BE 4X10 DF #2 AT 2X4 BEARING WALLS, U.N.O., 6'-0" MAX. SPAN
- SHADED AREAS INDICATE OVERFRAMING, 2X6 @ 24" O.C., U.N.O.
- BEARING WALLS ARE INDICATED AS SHADED WALLS
- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
- \* SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
- \* SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
- \* SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
- \* SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- IF AN ENGINEERED ROOF FRAMING LAYOUT IS PROVIDED BY THE TRUSS SUPPLIER, THAT TRUSS LAYOUT SHALL SUPERCEDE THE TRUSS LAYOUT INDICATED IN THE PLANS.
- PROVIDE TRUSS LAYOUT AND SPECS ON SITE FOR INSPECTION.

PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)

Permit Number: 20-04893

REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR HINSTRUCTIONS PERTAINING TO EACH SHEAR Established Basic Permit #L INDICATED IN THIS PLAN.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

CONDITIONS OF PROJECT AND REPORT ANY

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### REVISIONS

	REVISIONS					
INT.	DATE	REV.				
PR	9/30/19	COMMENT				
DESI	GNER:	PR				
DRAF	TER:	RE				
DATE:		3/30/19				
PROJE	ECT NO:	9120				

