



Reviewed for code compliance  
with IRC 2015  
Kitsap County Building Department  
lasmith@co.kitsap.wa.us  
11/13/2020

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
WITH IRC 2015  
KITSAP COUNTY BUILDING DEPARTMENT



**RRR DESIGN, LLC**  
DIRECTOR RESIDENTIAL DESIGN, LLC  
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LOWER & MAIN  
PLAN

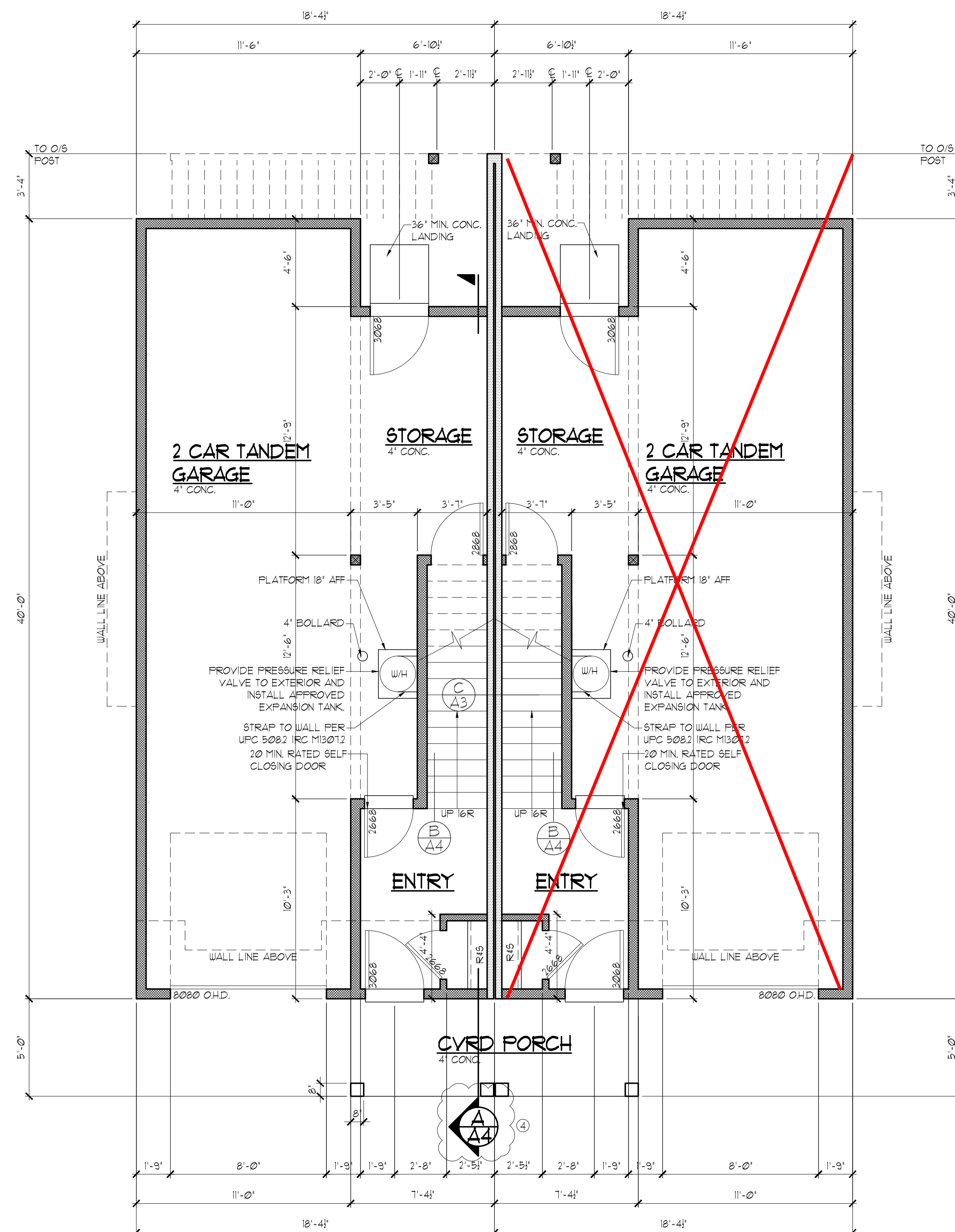
ENVISION & LAND DEVELOPMENT  
Red Barn Lane PlatRed  
Barn Lane Plat

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## REVISIONS

INT.	DATE	REV.
FR	9/30/19	COMMENTS
<b>DESIGNER:</b>		FR
<b>DRAFTER:</b>		RE
<b>DATE:</b>		9/30/19
<b>PROJECT NO:</b>		19120

**SHEET NO:**

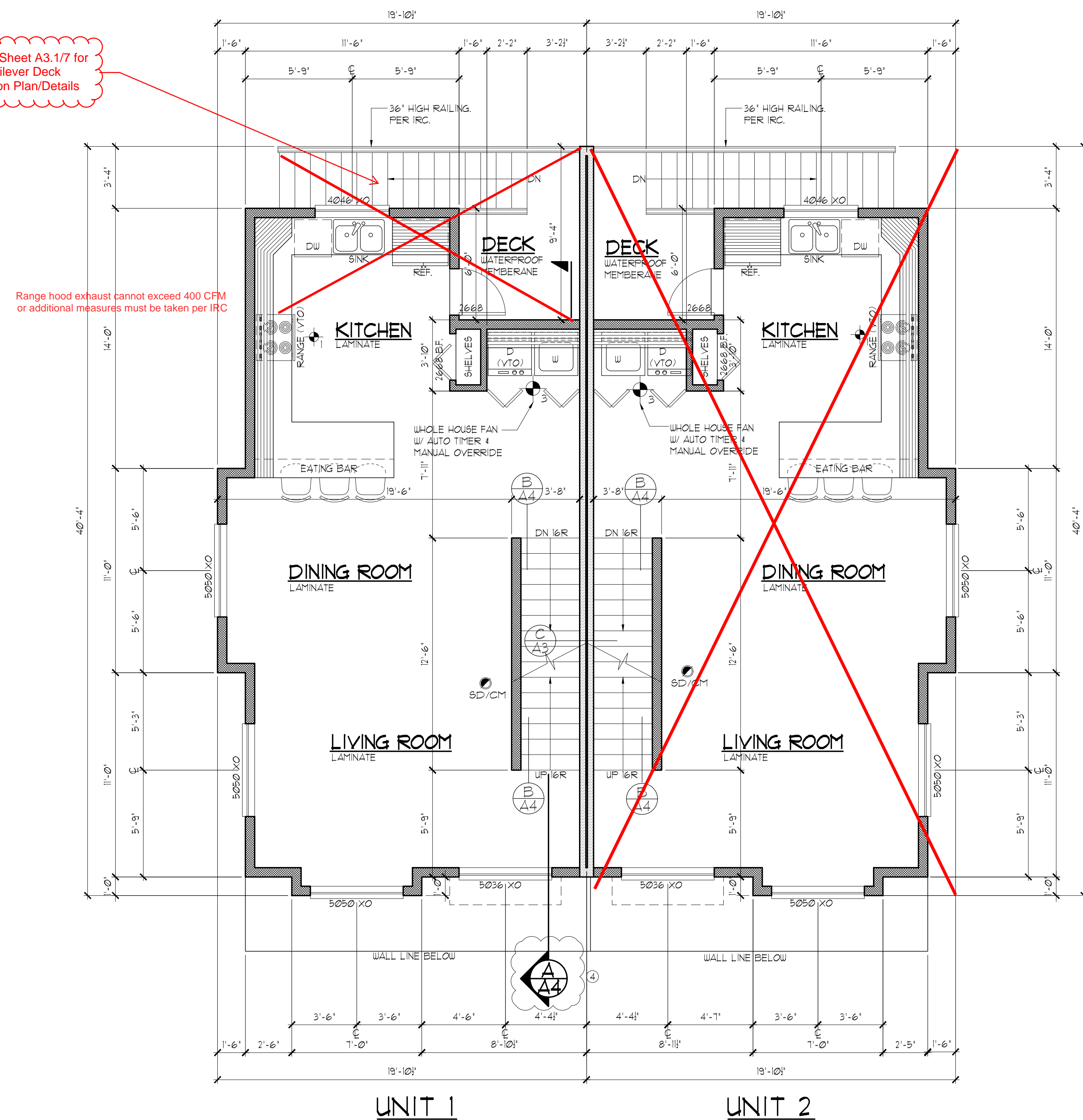
$$\frac{A_2}{A_1} = \frac{1}{\sqrt{1 - M_1^2}}$$


## UNIT 1 LOWER FLOOR PLAN

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SCALE : 1/4" = 1'-0"

- ALL DOOR/WINDOW HEADERS TO BE 6x8 DF#2 AT 2X6 BEARING WALLS, UNO, 6'-0" MAX. SPAN
- ALL DOOR/WINDOW HEADERS TO BE 4x10 DF#2 AT 2X4 BEARING WALLS, UNO, 6'-0" MAX. SPAN
- WINDOW HEADERS AT 1'-8" ABOVE 96" FLOOR, UNO.
- PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- EXTERIOR WALLS TO BE 2X6 AT 16" (MAX.) O.C. UNO.
- INTERIOR PARTITIONS TO BE 2 X 4 AT 16" O.C. (2X6 @ PLUMBING WALLS, UNO.)
- DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE MIN. 26 GAGE STEEL
- NO DUCT OPENINGS IN GARAGE
- ☑ PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (UNO.)
- ☑ FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS, LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR IRC R311.3.1. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR, IRC R311.3.2



## MAIN FLOOR PLAN

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SCALE : 1/4" = 1'-0"

- PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- WINDOW HEADERS AT 6'-8" ABOVE SUB FLOOR, U.N.O.
- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O.
- INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- ☒ PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)





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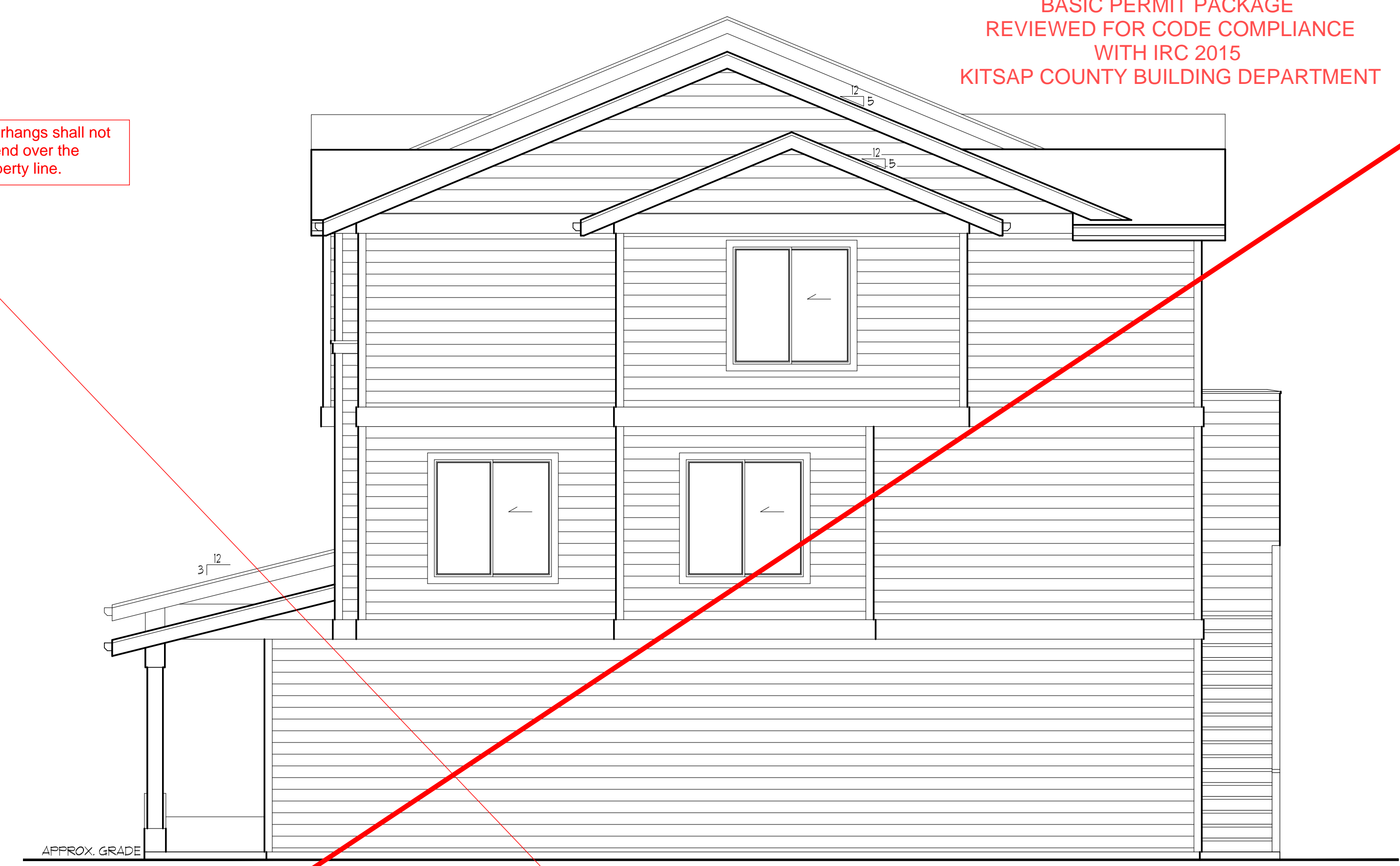
REVISIONS		
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PR	9/30/19	COMMENTS
DESIGNER:	PR	
DRAFTER:	RE	
DATE:	9/30/19	
PROJECT NO:	19120	



UNIT 2  
**REAR ELEVATION**

UNIT 1

SCALE : 1/4" = 1'-0"



**RIGHT ELEVATION**

UNIT 2

SCALE : 1/4" = 1'-0"



**LEFT ELEVATION**

UNIT 1

SCALE : 1/4" = 1'-0"



**FRONT ELEVATION**

UNIT 2  
**8" STEP**

SCALE : 1/4" = 1'-0"

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- VERIFY SHEAR WALL NAILING AND HOLDOWNS ARE PER PLAN AND SCHEDULE PRIOR TO INSTALLING SIDING
- MASONRY AND WOOD FRAME CHIMNEYS ARE TO BE CONSTRUCTED PER I.R.C.
- PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTERFLASHING AT ALL ROOF / WALL INTERSECTIONS, CHIMNEYS, AND SKYLIGHTS
- PROVIDE WEATHERSTRIPPING AND FLASHING AT ALL DOORS AND WINDOWS AS REQUIRED
- CAULK ALL EXTERIOR JOINTS AND PENETRATIONS
- POST ADDRESS ON BLDG. PRIOR TO FINAL INSPECTION
- LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL. SLOPE SHALL BE 6" IN FIRST 10 FT, OR DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE
- FASTENERS TO BE HOT-DIPPED GALV. STEEL, STAINLESS OR ALUM. (CORROSION RESISTANT)

Overhangs shall not extend over the property line.

NO OVERHANG

NO OVERHANG

NO OVERHANG

COMPOSITION ROOFING  
200" METAL GUTTER ON 5/4 X 6 FASCIA BD. TYP.

5/4" x 10" BARGE BD. W/ 1x3 TRIM AT GABLES

CORBEL

SHINGLE SIDING

5/4 X 4 WINDOW HEAD TRIM TYP.

5/4 X 4 VERT. WINDOW TRIM TYP.

1 x 2 TRIM BD. ON 5/4 X 6 BAND BD. TYP.

5/4 x 10 BAND BOARD, TYP.

6" BEVEL SIDING

5/4 x 4 CORNER BOARD W/ 5/4 x 3 RETURN BOARDS

WRAP GARAGE DOOR ON SIDES AND TOP W/ 5/4 x 4 TRIM, EXTEND 1' TRIM AT TOP

WRAP P.T. 6x6 POST W/ (1) LAYER 3/4" TYPE 'X' G.W.B. AND 1 x CEDAR/ WHITE WOOD TYP.

SOLID WOOD AT PORCH CEILING PER SPEC.

WRAP P.T. 6x6 POST W/ (1) LAYER 3/4" TYPE 'X' G.W.B. AND 1 x CEDAR/ WHITE WOOD TYP.

NOTE: APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

NOTE: PROVIDE CONTINUOUS PRE-PAINTED G.I. FLASHING AT ALL EXT. DOOR & WINDOW HEADERS.

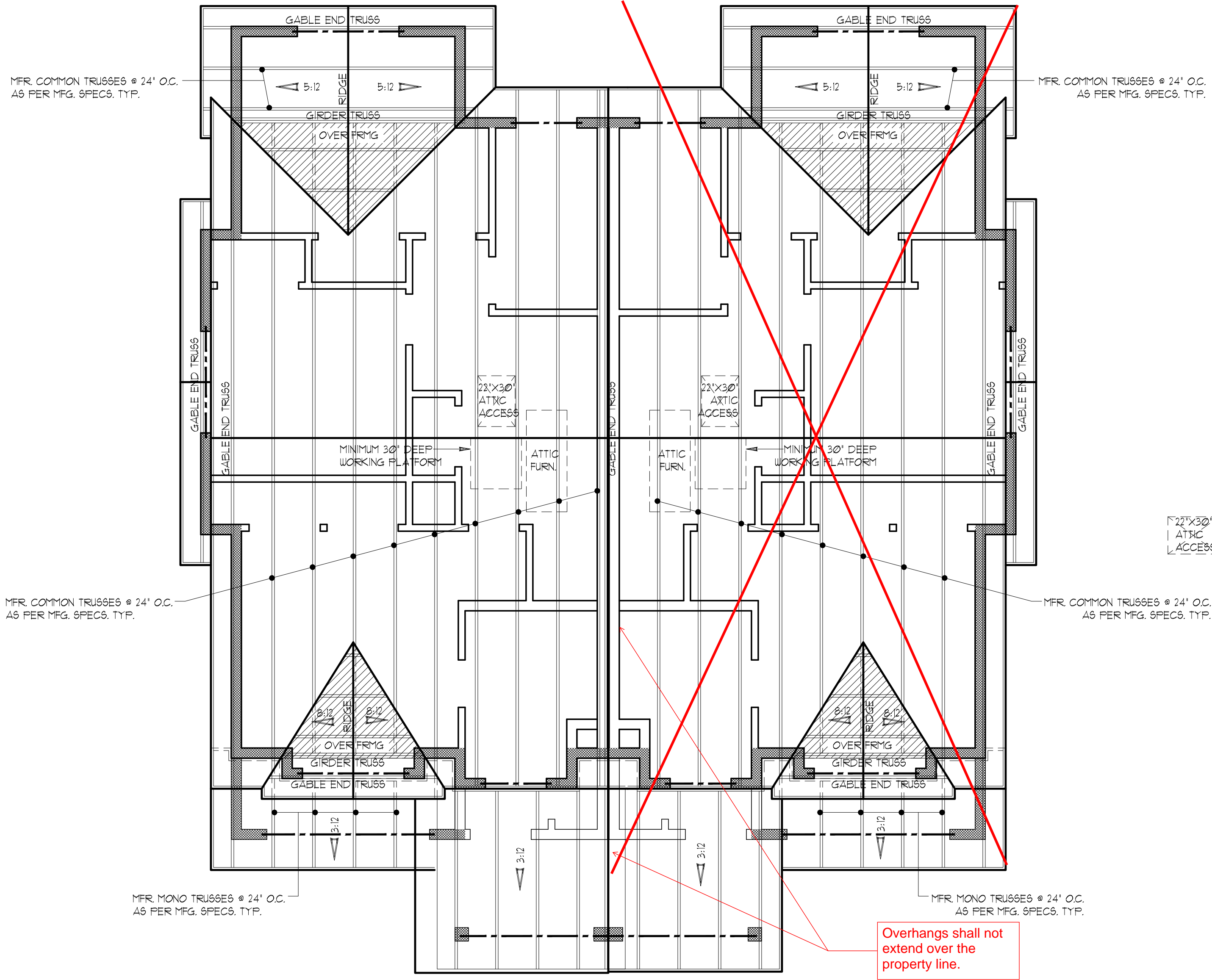




Reviewed for code compliance  
with IRC 2015  
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lasmith@co.kitsap.wa.us  
11/13/2020

CHANGES  
MUST Be Approved Prior  
To Performing Work

BASIC PERMIT PACKAGE  
REVIEWED FOR CODE COMPLIANCE  
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KITSAP COUNTY BUILDING DEPARTMENT



ROOF FRAMING PLAN

© 2019 RECTOR RESIDENTIAL DESIGN, LLC

SCALE : 1/4"= 1'-0"

- ALL BEAMS AND HEADERS TO BE 6X8 DF #2 AT 2X6 BEARING WALLS, UNO, 6'-0" MAX. SPAN
- ALL BEAMS AND HEADERS TO BE 4X10 DF #2 AT 2X4 BEARING WALLS, UNO, 6'-0" MAX. SPAN
- SHADED AREAS INDICATE OVERFRAMING, 2X6 @ 24" O.C., UNO.
- BEARING WALLS ARE INDICATED AS SHADED WALLS
- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
  - \* SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
  - \* SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
  - \* SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
  - \* SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- IF AN ENGINEERED ROOF FRAMING LAYOUT IS PROVIDED BY THE TRUSS SUPPLIER, THAT TRUSS LAYOUT SHALL SUPERCEDE THE TRUSS LAYOUT INDICATED IN THE PLANS. PROVIDE TRUSS LAYOUT AND SPECS ON SITE FOR INSPECTION.
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (UNO.)

NOTE:  
REFER TO STRUCTURAL SHEETS FOR SHEAR  
WALL SCHEDULE AND ENGINEERING PLAN  
WHICH CONTAIN DETAIL REFERENCES AND/OR  
INSTRUCTIONS PERTAINING TO EACH SHEAR  
WALL INDICATED IN THIS PLAN.

NOTE:  
CONTRACTOR TO VERIFY ALL DIMENSIONS AND  
CONDITIONS OF PROJECT AND REPORT ANY  
OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR  
TO COMMENCING WORK. DESIGNER SHALL NOT BE  
RESPONSIBLE FOR DISCREPANT CONDITIONS  
RESULTING FROM UNAUTHORIZED WORK PERFORMED  
BY THE CONTRACTOR.

Established Basic Permit #  
19-03646

Permit Number: 20-04893



ROOF FRAMING

ENVISION & LAND DEVELOPMENT  
Red Barn Lane PlatRed  
Barn Lane Plat

2015 IRC

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DESIGNER: PR		
DRAFTER: RE		
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PROJECT NO: 19120		

SHEET NO:  
S1  
1