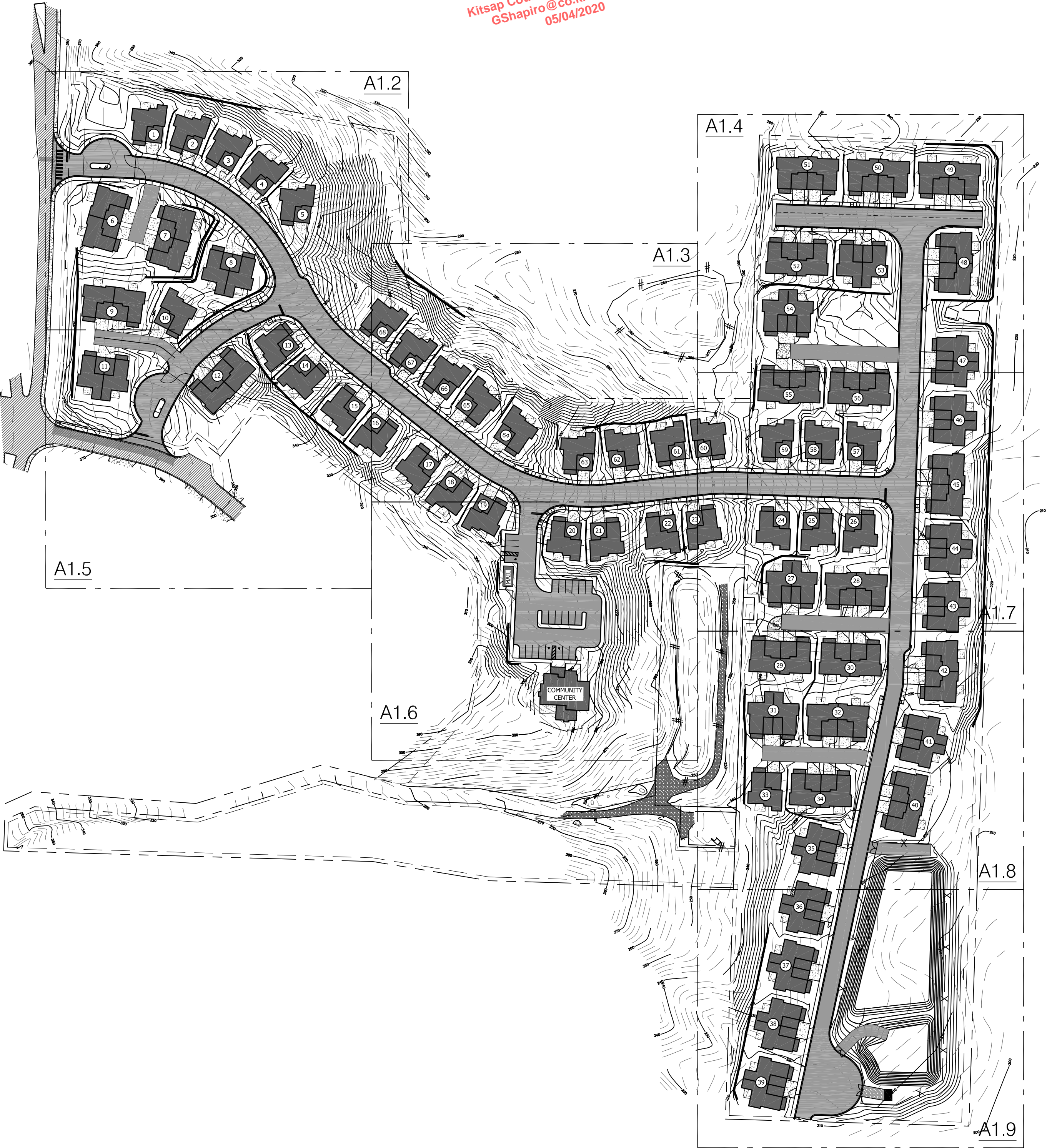


BUILDING TYPE SCHEDULE

BUILDING NUMBER	BUILDING TYPE	MIRRORED (FLOOR PLAN FLIPPED BLDG X)	ALTERNATE (TERRACED UNITS BLDG Y)
1	X	NO	
2	X	NO	
3	X	NO	
4	X	NO	
5	X	NO	
6	Y		
7	Y		
8	Z		
9	Y		
10	X	YES	
11	Z		
12	Y		A
13	X	YES	
14	X	NO	
15	X	YES	
16	X	NO	
17	X	YES	
18	X	NO	
19	X	NO	
20	X	YES	
21	X	NO	
22	X	YES	
23	X	NO	
24	X	YES	
25	X	NO	
26	X	NO	
27	Z		
28	Y		B
29	Y		A
30	Y		A
31	Z		
32	Y		B
33	X	YES	
34	Y		A
35	Z		
36	Z		
37	Z		
38	Z		
39	Z		
40	Y		
41	Z		
42	Y		
43	Z		
44	Z		
45	Y		
46	Z		
47	Z		
48	Y		
49	Y		
50	Y		B
51	Y		B
52	Y		A
53	Z		
54	Z		
55	Y		
56	Y		
57	X	YES	
58	X	YES	
59	X	NO	
60	X	YES	
61	X	NO	
62	X	YES	
63	X	NO	
64	X	YES	
65	X	YES	
66	X	NO	
67	X	NO	
68	X	NO	
COM. CENTER			
MAILBOX KIOSK			

BUILDING USE MATRIX

BUILDING TYPE	USE
X	RESIDENTIAL COTTAGE (SINGLE FAMILY DWELLING) W/ TWO-CAR GARAGE
Y	DUPLEX (TWO DWELLING BUILDING) W/ TWO-CAR GARAGE EACH UNIT
Z	DUPLEX (TWO DWELLING BUILDING) W/ ONE-CAR GARAGE EACH UNIT



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05/04/2020

GENERAL SITE PLAN NOTES

- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

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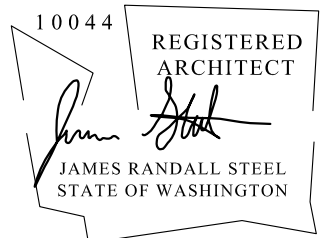
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STEEL ARCHITECTS
PLLC

CONTACT:
JAMES STEEL
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TACOMA WA 98417

COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:

SITE PLAN -
OVERALL

SHEET NUMBER:

A1.1

BLDG. PERMIT APPLIC.

1 OVERALL SITE PLAN
1" = 100'-0"



GENERAL SITE PLAN NOTES

1. REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
2. REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

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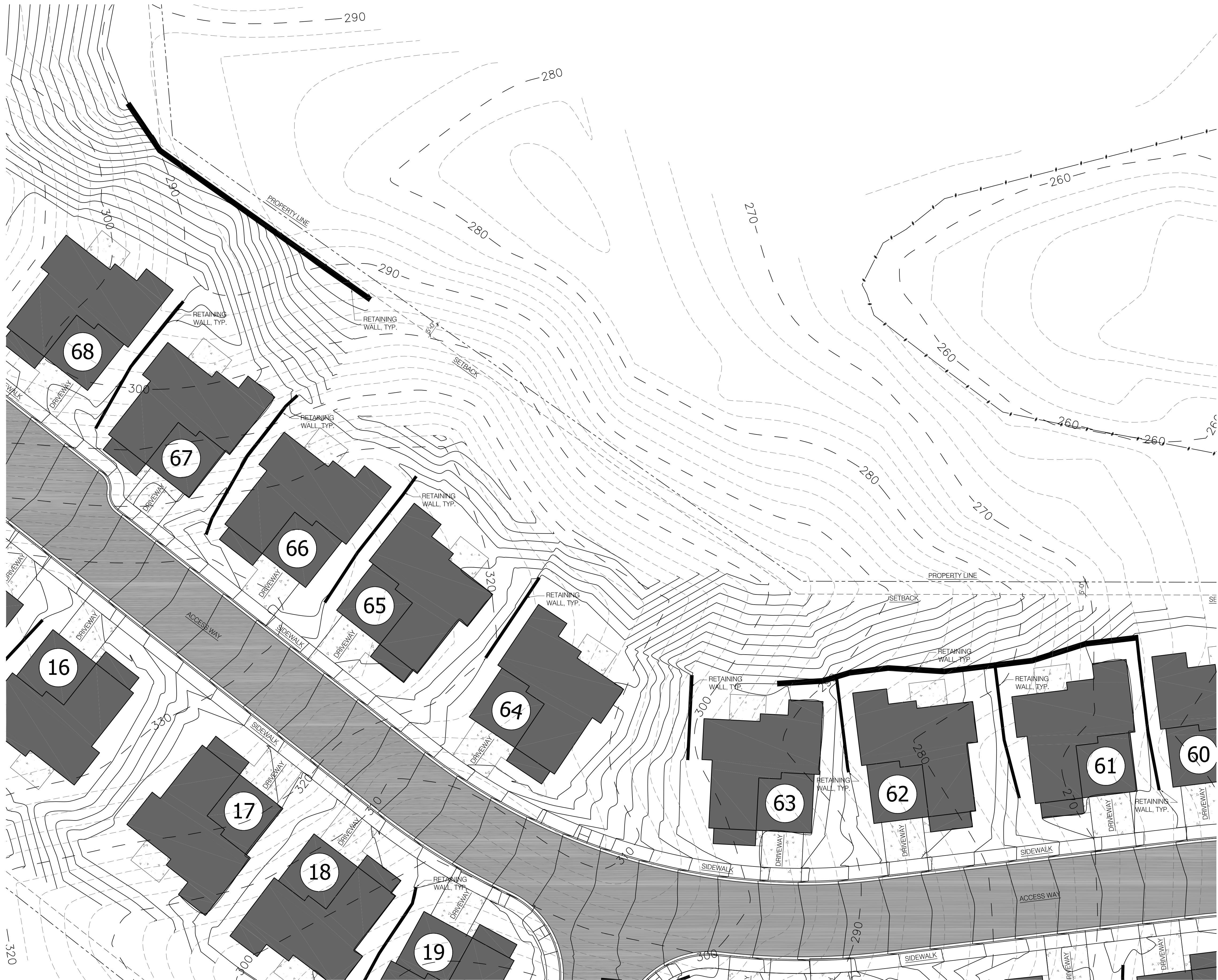
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ARCHITECT
James Steel
JAMES RANDALL STEEL
STATE OF WASHINGTON

ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:
PARTIAL SITE PLAN

SHEET NUMBER:
A1.2
BLDG. PERMIT APPLIC.



GENERAL SITE PLAN NOTES

- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

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COTTAGES ON THE RIDGE

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10044 REGISTERED ARCHITECT

James Steel
JAMES RANDALL STEEL
STATE OF WASHINGTON

ISSUANCES:	
BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
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DRAWING TITLE:

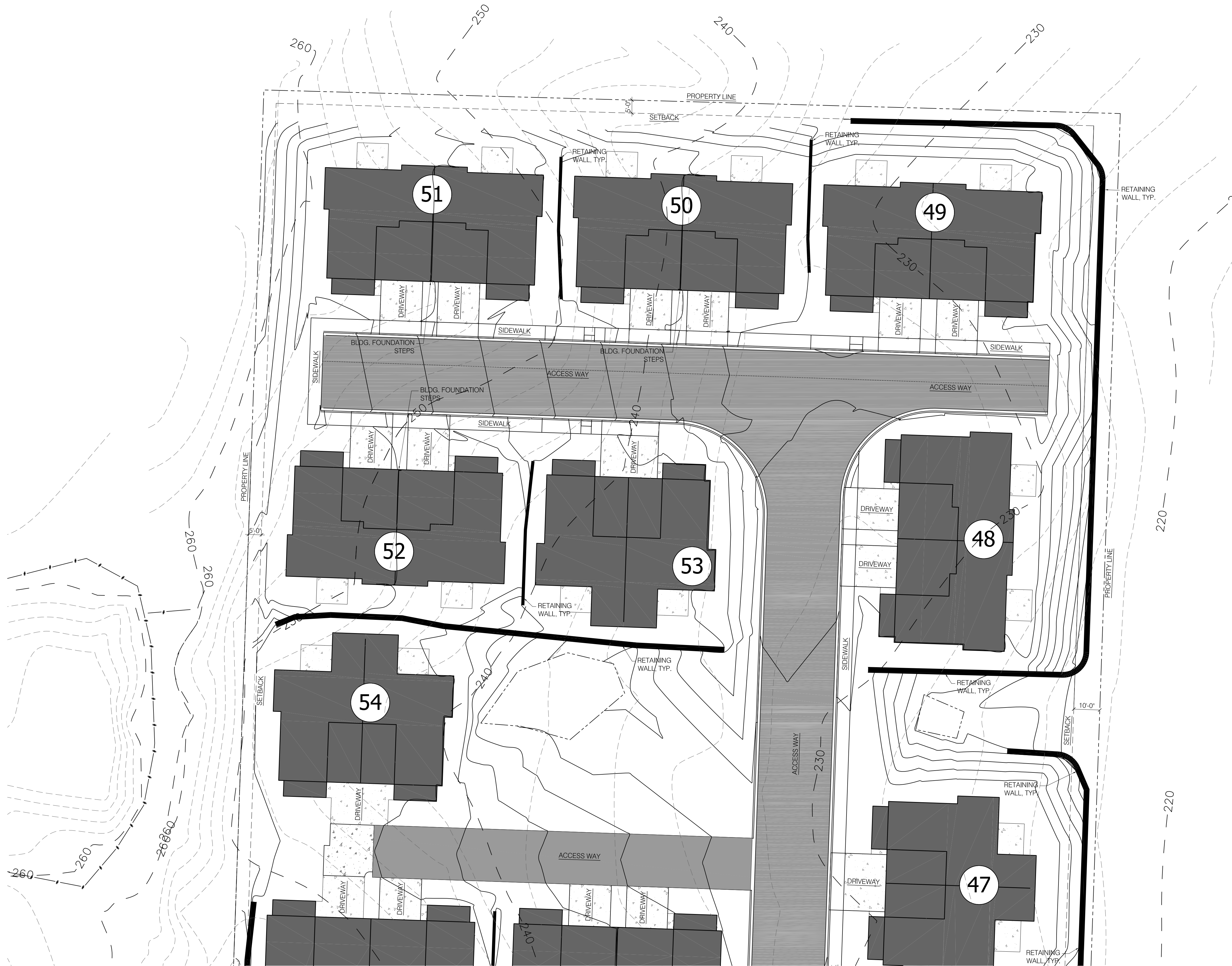
PARTIAL SITE PLAN

SHEET NUMBER:

A1.3

BLDG. PERMIT APPLIC.

1 PARTIAL SITE PLAN
1" = 20'-0"



- GENERAL SITE PLAN NOTES
- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
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JAMES RANDALL STEEL
STATE OF WASHINGTON

ISSUANCES:	
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1 REV 1	2019.04.10

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11 X 17 = HALF SIZE

DRAWING TITLE:
PARTIAL SITE PLAN

SHEET NUMBER:
A1.4
BLDG. PERMIT APPLIC.



- GENERAL SITE PLAN NOTES
- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADIUS, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
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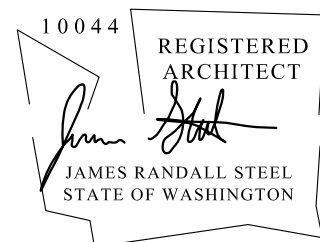
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BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:
PARTIAL SITE PLAN

SHEET NUMBER:

A1.5

BLDG. PERMIT APPLIC.





GENERAL SITE PLAN NOTES

- REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
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STATE OF WASHINGTON

ISSUANCES:	
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1 REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:
PARTIAL SITE PLAN

SHEET NUMBER:
A1.6
BLDG. PERMIT APPLIC.



- GENERAL SITE PLAN NOTES
1. REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
 2. REFER TO LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE IRRIGATION INFORMATION.

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JAMES RANDALL STEEL
STATE OF WASHINGTON

ISSUANCES:	
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REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:
PARTIAL SITE PLAN

SHEET NUMBER:
A1.7
BLDG. PERMIT APPLIC.



GENERAL SITE PLAN NOTES

1. REFER TO CIVIL FOR: WATER PURVEYOR, FIRE PROTECTION SYSTEM & HYDRANT LOCATIONS, CIRCULATION PLAN, ACCESS CORRIDOR TURNING RADII, & EMERGENCY VEHICLE ACCESS ROAD CRITERIA.
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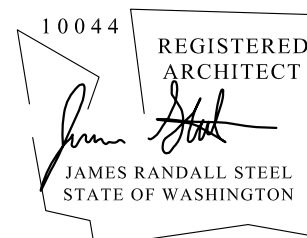
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REV 1	2019.04.10

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11 X 17 = HALF SIZE

DRAWING TITLE:

PARTIAL SITE PLAN

SHEET NUMBER:

A1.8

BLDG. PERMIT APPLIC.



FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED.
- WATER HEATERS IN GARAGE TO BE SUPPORTED MIN. 3" ABOVE FINISH FLOOR. BURNER & IGNITION DEVICES TO BE MIN. 18" ABOVE FINISH FLOOR. PROVIDE STRAPPING AT TOP 1/3 AND BOTTOM 1/3 (MIN. 4" ABOVE CONTROLS) OF VERT. DIMENSION.
- GFI OUTLETS ARE TO BE USED IN ALL WET AREAS.
- SMOKE DETECTORS ARE TO BE HARDWIRED WITH BATTERY BACKUP. ONE CARBON MONOXIDE DETECTOR TO BE INSTALLED IN EACH RESIDENTIAL UNIT.
- WHOLE HOUSE VENTILATION SHALL BE MET WITH ONE 50 CFM (45 CFM CODE MIN) HIGH EFFICIENCY FAN (MAX 0.35 WATTS/CFM) INSTALLED IN LAUNDRY ROOM OF EACH RESIDENTIAL UNIT PER WSEC TABLE 406.2/CREDIT 2.A AND IRC M1507.3.
- PROVIDE MIN. 50 CFM HIGH EFFICIENCY (MAX 1.4 CFM/WATT) EXHAUST FAN (E) AT ALL BATHROOMS AND LAUNDRY ROOM.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. BORATE PRESSURE TREATED WOOD SHALL BE USED IN ALL LOCATIONS WHERE PRESSURE TREATED WOOD IS NOTED AND WHERE REQ'D. ACQ PRESSURE TREATED WOOD SHALL BE USED WHERE WOOD IS IN CONTACT WITH SOIL OR OPEN TO WEATHER EXPOSURE.
- ATTIC OPENING SHALL BE MIN 30" X 22" W/ PASSAGEWAY TO FURNACE NOT MORE THAN 20' LONG. PASSAGEWAY SHALL HAVE CONT. FLOORING NOT LESS THAN 24" WIDE PER IBC CHAPTER 4. PROVIDE A LEVEL SERVICE SPACE NOT LESS THAN 30" X 30" ALONG ALL SIDES WHERE ACCESS IS REQUIRED. N. GAS FURNACE SHALL BE MIN AFUE OF 94% PER WSEC OPTION 3A. REF: 1/A6.2 FOR MORE INFO.
- ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS* PER WSEC SECTION R406:
*DWELLING UNITS LESS THAN 1500 SF, SMALL DWELLING UNIT = 1.5 CREDITS REQ'D
OPTION 2A = 1.0 CREDITS
AIR LEAKAGE CONTROL AND EFFICIENT VENT.
- AIR LEAKAGE OF 3.0 ACU/HR
- STAND ALONE WHOLE HOUSE VENTILATION FAN W/ MAX 0.35 WATTS/CFM
OPTION 3A = 0.5 CREDITS
HIGH EFFICIENCY HVAC EQUIPMENT
- N. GAS FURNACE W/ AFUE OF 94% OR BETTER

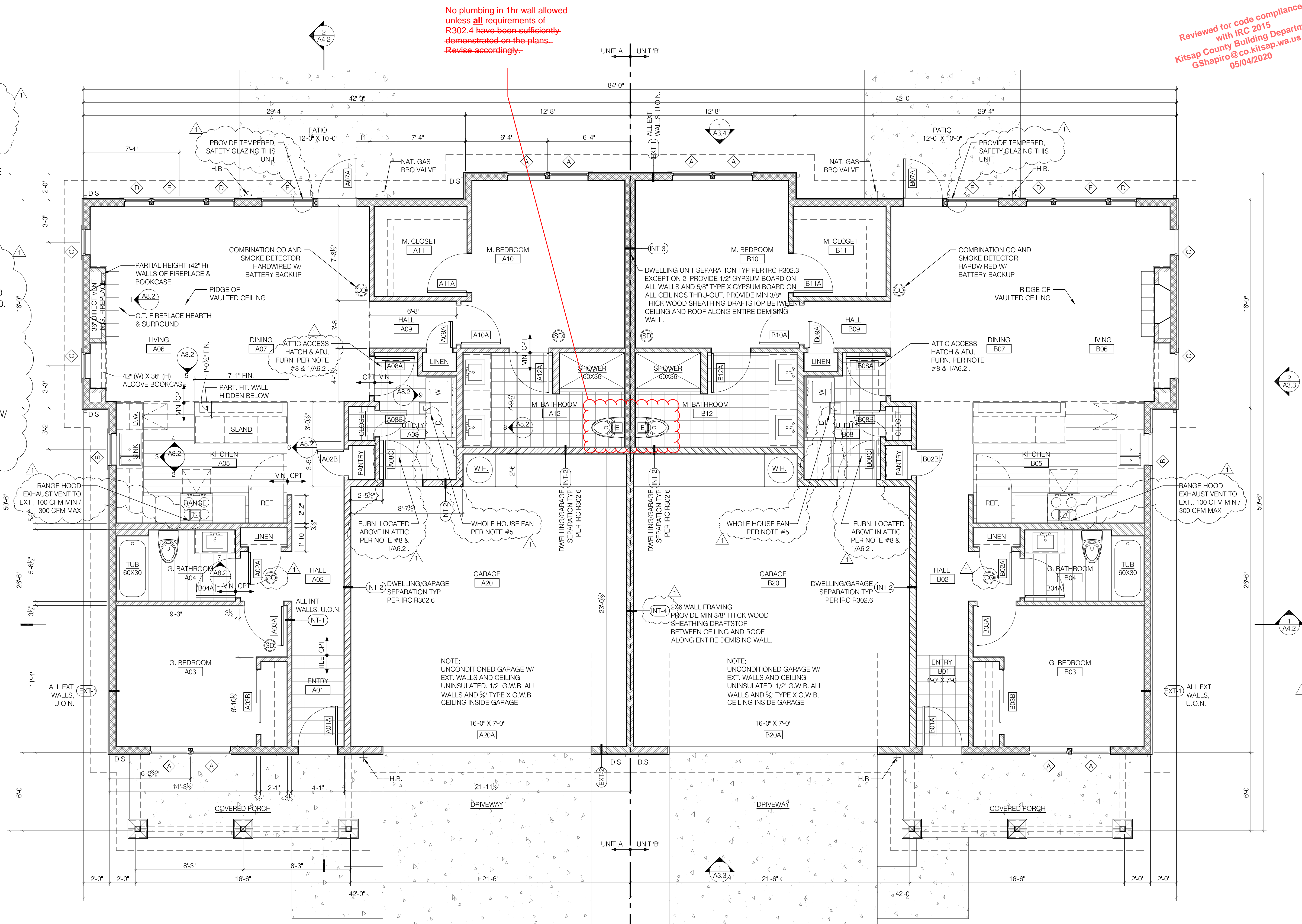
REFERENCE:

- X DOOR SCHEDULE - A6.1
◇ WINDOW SCHEDULE - A6.1
X WALL ASSEMBLY SCHEDULE - A6.2

Smoke & carbon monoxide detectors required.
Smoke and carbon monoxide detectors must be installed throughout the building in all locations required by the IRC as amended by WAC.

UNIT AREAS:

UNIT 'A'	
RESIDENCE	1284 SF
FRONT PORCH	99 SF
PATIO	120 SF
GARAGE	473 SF
UNIT 'B'	
RESIDENCE	1284 SF
FRONT PORCH	99 SF
PATIO	120 SF
GARAGE	473 SF



No plumbing in 1hr wall allowed unless all requirements of R302.4 have been sufficiently demonstrated on the plans. Revise accordingly.

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COTTAGES ON THE RIDGE
12000 RIDGETOP BLVD NW
SILVERDALE, WA 98383

10044 REGISTERED ARCHITECT
JAMES RANDALL STEEL
STATE OF WASHINGTON

ISSUANCES:

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REV 1	2019.04.10

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11 X 17 = HALF SIZE

DRAWING TITLE:

FLOOR PLAN -
BUILDING TYPE Y

SHEET NUMBER:

A2.1

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ROOF PLAN NOTES

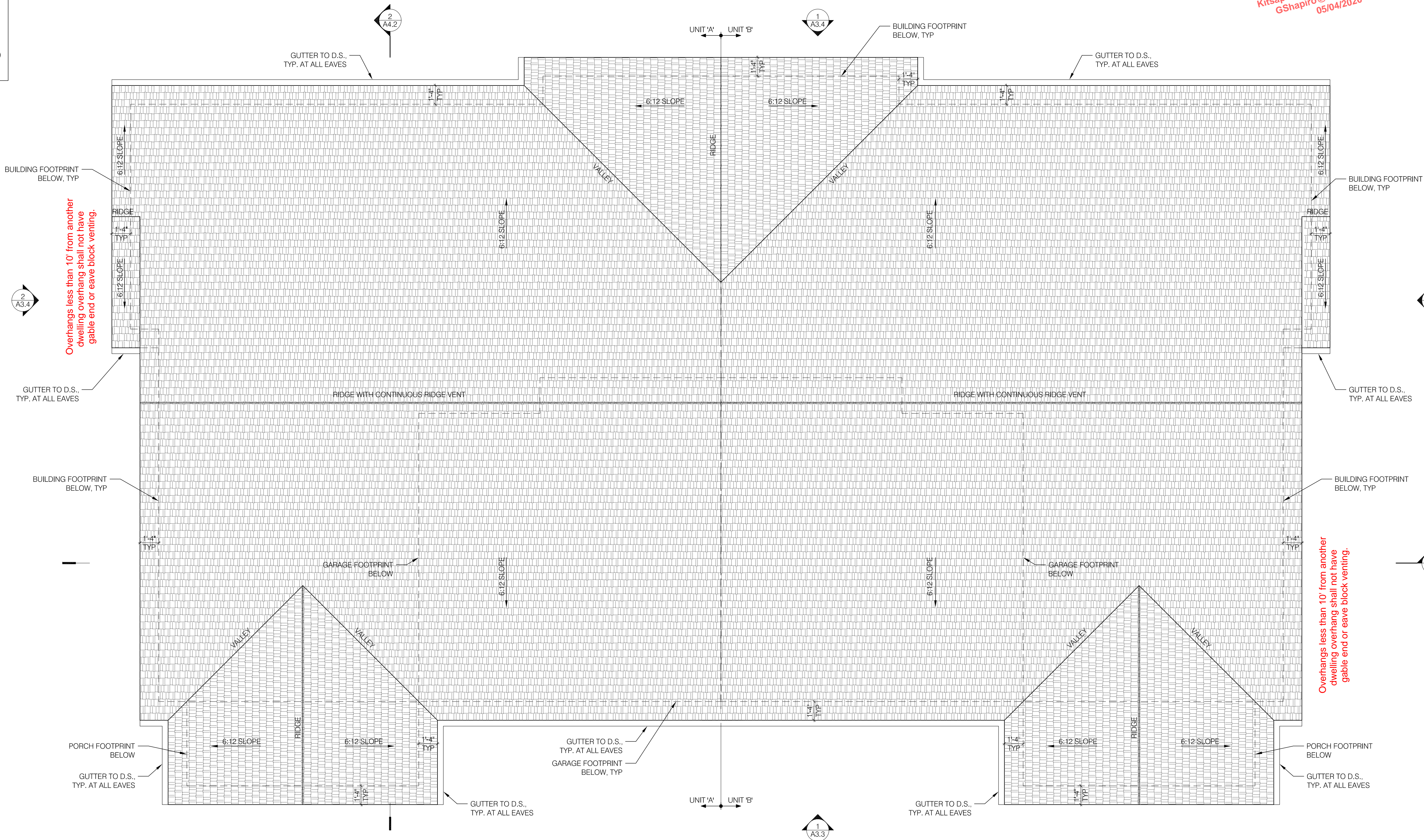
1. PROVIDE CONT. RIDGE VENTS MEETING THE CRITERIA OF THE ROOF VENT CALC'S SHOWN WITH RIDGE FRAMING OPEN TO VENTS AS SHOWN ON PLAN, TYP.
2. PROVIDE EAVE VENTING WITH INSECT SCREENS AT EXPOSED FRIEZE BLOCKS MEETING THE CRITERA OF THE ROOF VENT CAL'S SHOWN, TYP.
3. PROVIDE CLEAR VENT AREA PER CALC'S SHOWN.
4. REFERENCE FLOOR PLANS FOR DOWNSPOUT (D.S.)/RAIN LEADER LOCATIONS. REFERENCE FOUNDATION DETAILS AND CIVIL DRAWINGS FOR BELOW GRADE DRAIN LOCATIONS.
5. PLUMBING VENT ROOF PENETRATIONS TO BE LOCATED IN FIELD BY PLUMBING CONTRACTOR. ROOFING CONTRACTOR SHALL PROVIDE ALLOWANCES FOR PLUMBING VENTS.

ROOF VENTILATION CALCULATIONS:
(UNIT Y-A, UNIT Y-B SIM.)

ATTIC AREA: 1856 SF

MIN VENT. AREA: 931.7 SQ. IN.
(1856 X 1/300 = 6.19 SF X 144 = 891 SQ. IN.)

TOTAL PROVIDED: 972 SQ. IN.
68.83 LF EAVE: 432 SQ IN.
(EAVE BIRD BLOCKS (2/LF) X 2"-D HOLES = 6.28 SQ.IN./LF)
40 LF RIDGE VENT: 540 SQ. IN.
(CORA VENT-V-300 @13.5 SQ. IN./LF)



1 ROOF PLAN - BUILDING TYPE Y
1/4" = 1'-0"

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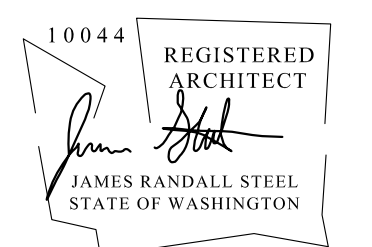
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DRAWING TITLE:

ROOF PLAN -
BUILDING TYPE Y

SHEET NUMBER:

A2.2

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ROOF PLAN NOTES

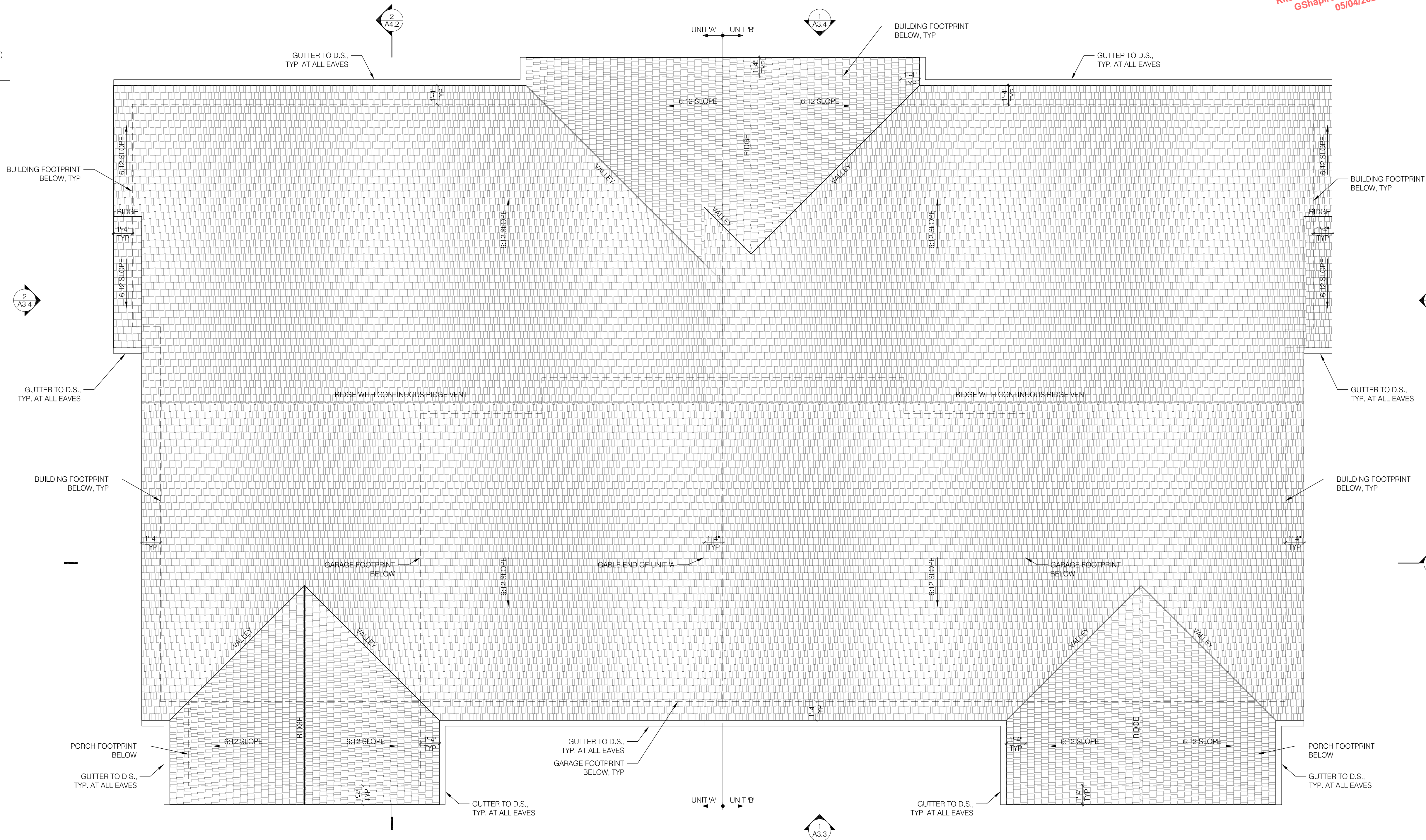
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ROOF VENTILATION CALCULATIONS:
(UNIT Y-A, UNIT Y-B SIM.)

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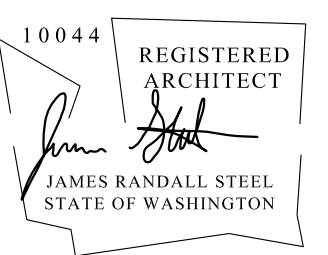
1 ROOF PLAN - BUILDING TYPE Y ALTERNATE A
1/4" = 1'-0"

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ISSUANCES:

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22 X 34 = FULL SIZE
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DRAWING TITLE:

ROOF PLAN -
BUILDING TYPE Y ALT. A

SHEET NUMBER:

A2.2-A

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ROOF PLAN NOTES

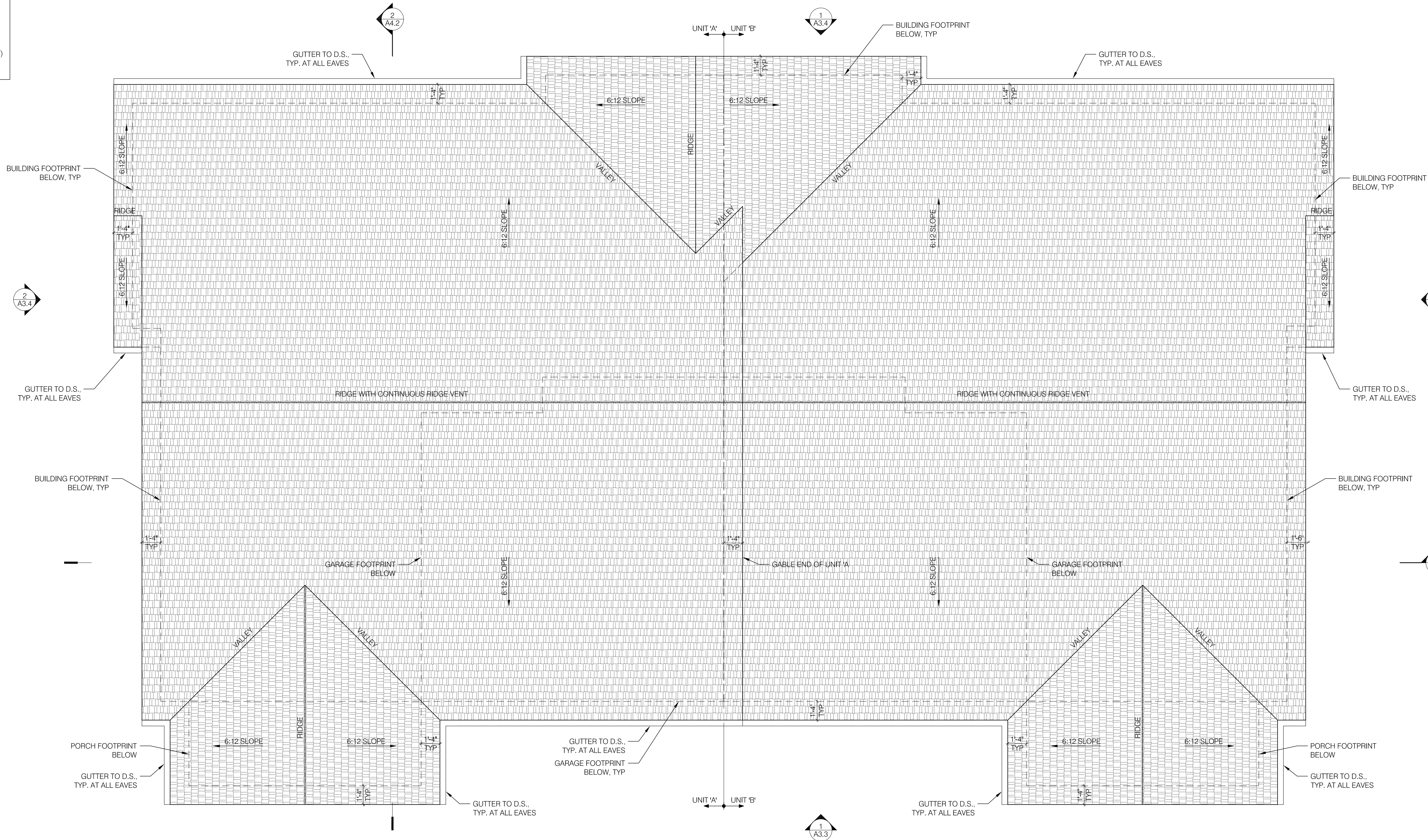
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(EAVE BIRD BLOCKS (2/LF) X 2"-D HOLES = 6.28 SQ.IN./LF)
40 LF RIDGE VENT: 540 SQ. IN.
(CORA VENT-Y-300 @13.5 SQ. IN./LF)



1 ROOF PLAN - BUILDING TYPE Y ALTERNATE B
1/4" = 1'-0"

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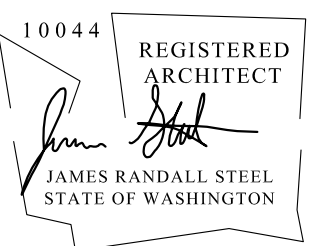
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PLLC

CONTACT:
JAMES STEEL
PO BOX 7600
TACOMA WA 98417

COTTAGES ON THE RIDGE
12000 RIDGETOP BLVD NW
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:

ROOF PLAN -
BUILDING TYPE Y ALT. B

SHEET NUMBER:

A2.2-B

BLDG. PERMIT APPLIC.

Gutters and downspouts are required.
All roof and yard drains shall be directed to splash blocks at a minimum,
or to an infiltration system if required. All surface drainage shall have a
minimum 2% grade away from the foundation.

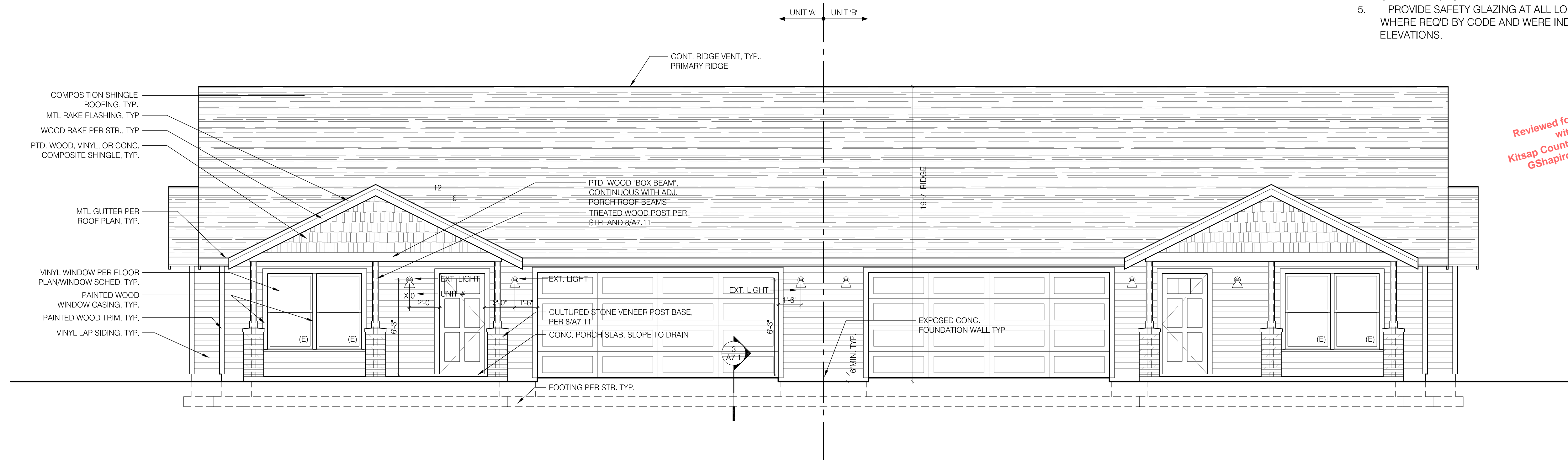
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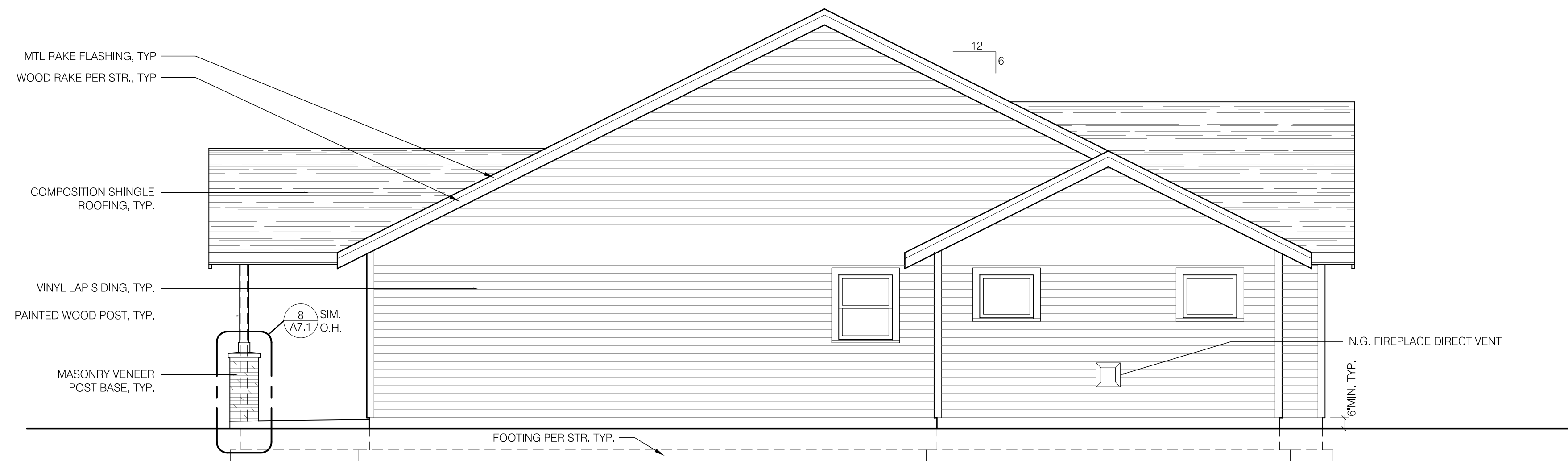
ELEVATION NOTES

1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
2. REF: FLOOR PLANS FOR DIMENSIONS.
3. EXT. LIGHTS INDICATED TO BE 'DARK SKY' COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
4. PROVIDE EGRESS WINDOWS AT ALL BEDROOMS, WHERE REQ'D BY CODE, AND WHERE INDICATED (E) ON ELEVATIONS.
5. PROVIDE SAFETY GLAZING AT ALL LOCATIONS WHERE REQ'D BY CODE AND WERE INDICATED (T) ON ELEVATIONS.

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1 EXT. ELEVATION - FRONT
1/4" = 1'-0"



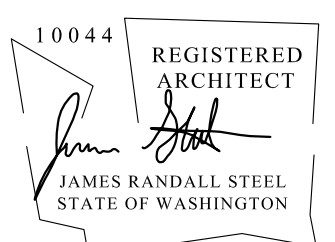
2 EXT. ELEVATION - SIDE
1/4" = 1'-0"

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ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR ELEVATIONS -
BUILDING TYPE Y

SHEET NUMBER:

A3.1

BLDG. PERMIT APPLIC.

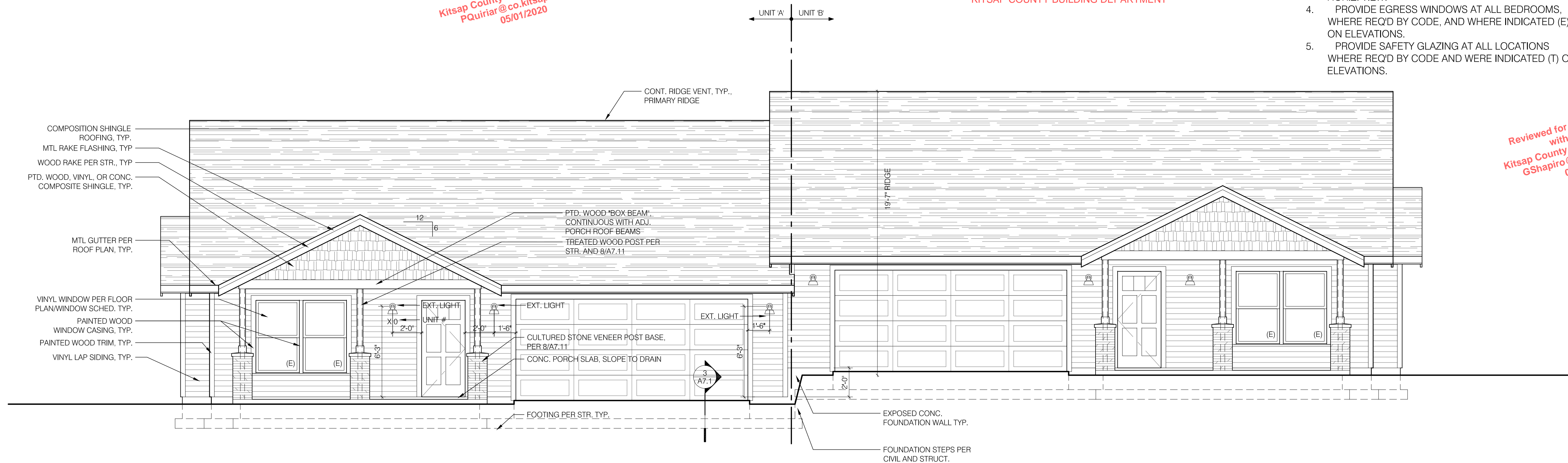
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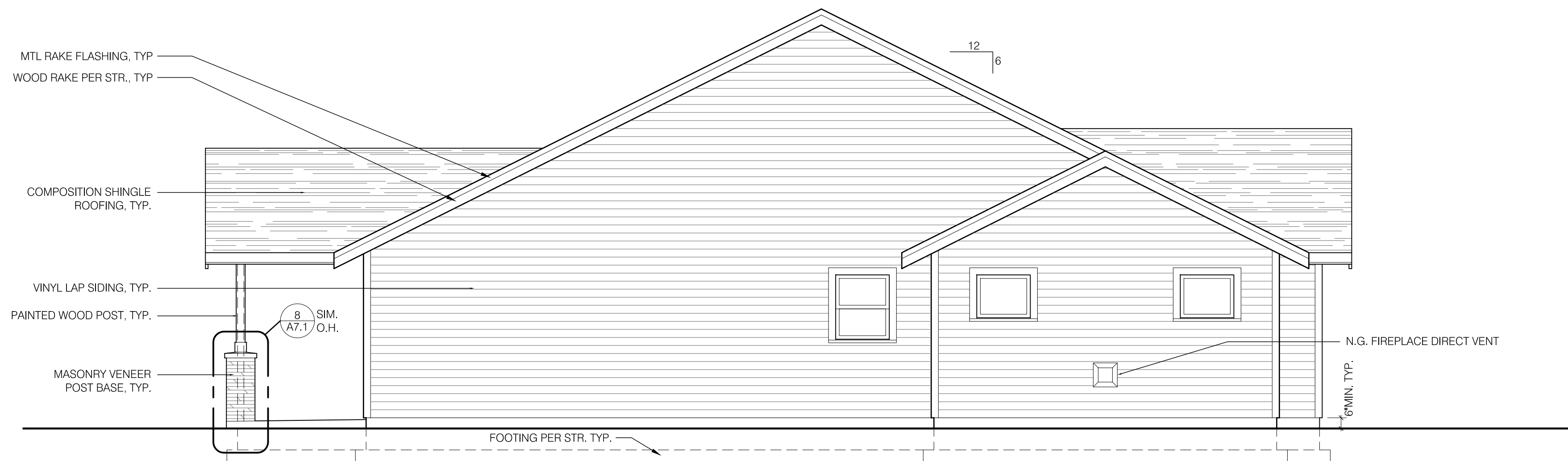
ELEVATION NOTES

1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
2. REF: FLOOR PLANS FOR DIMENSIONS.
3. EXT. LIGHTS INDICATED TO BE 'DARK SKY' COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
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1 EXT. ELEVATION - FRONT
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE
1/4" = 1'-0"

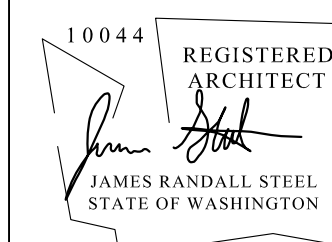
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COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR ELEVATIONS -
BUILDING TYPE Y ALT A

SHEET NUMBER:

A3.1-A

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ELEVATION NOTES

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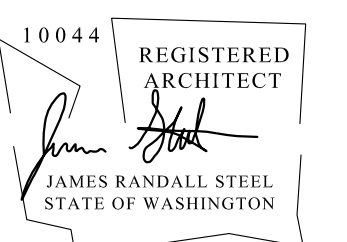
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COTTAGES ON THE RIDGE

12000 RIDGE OF BLVD NW
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

2 X 34 =	FULL SIZE
1 X 17 =	HALF SIZE

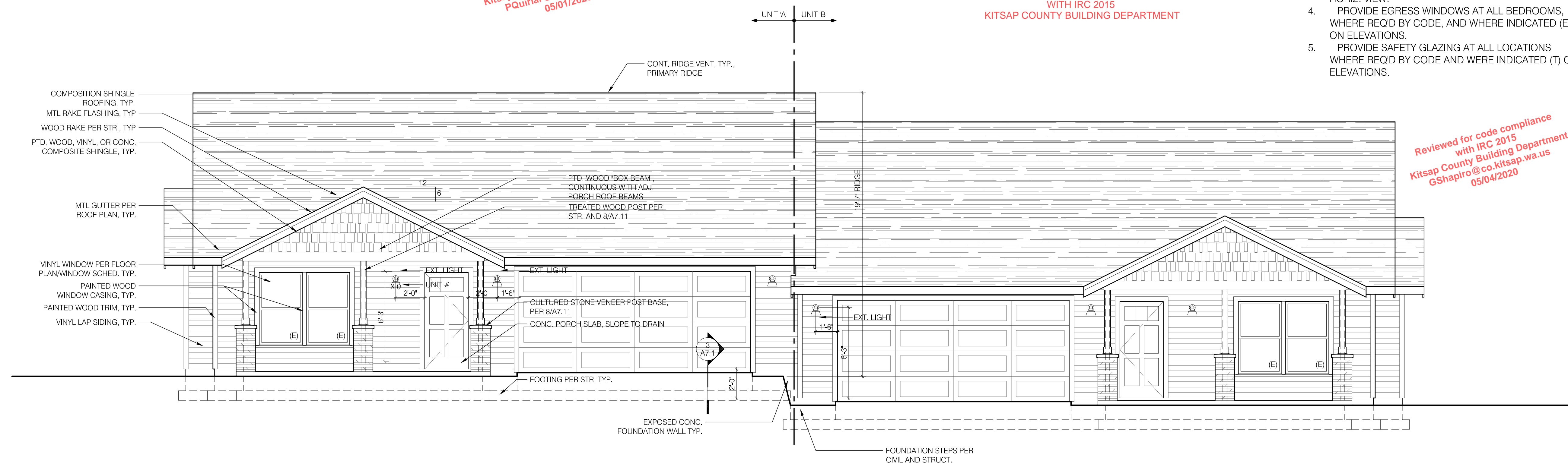
DRAWING TITLE:

EXTERIOR ELEVATIONS -
BUILDING TYPE Y ALT B

SHEET NUMBER:

A3.1-B

BLDG. PERMIT APPLIC.



1 EXT. ELEVATION - FRONT
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE
1/4" = 1'-0"

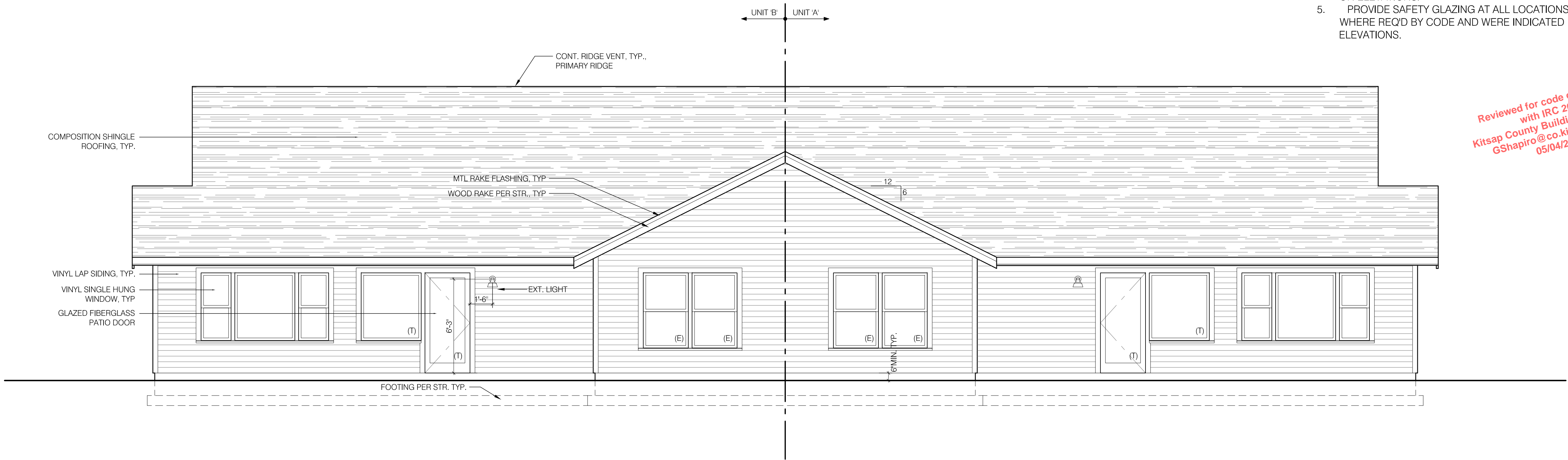
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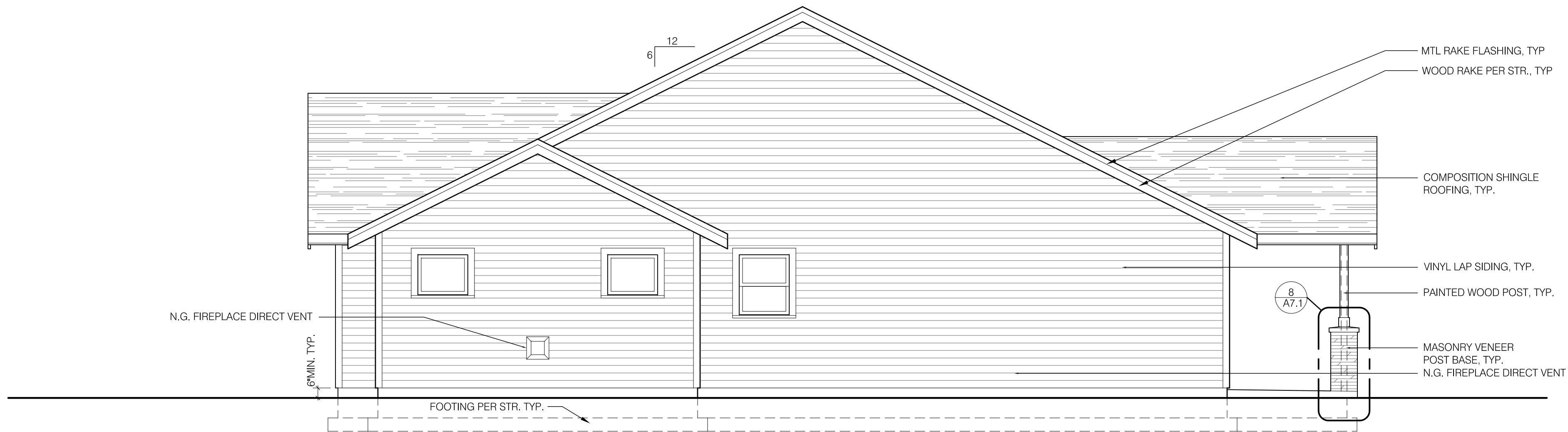
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1. REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
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1 EXT. ELEVATION - REAR
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE
1/4" = 1'-0"

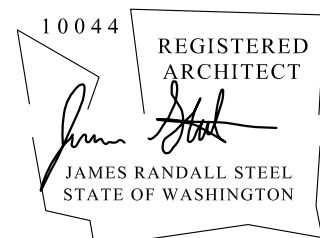
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COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW
SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR ELEVATIONS -
BUILDING TYPE Y

SHEET NUMBER:

A3.2

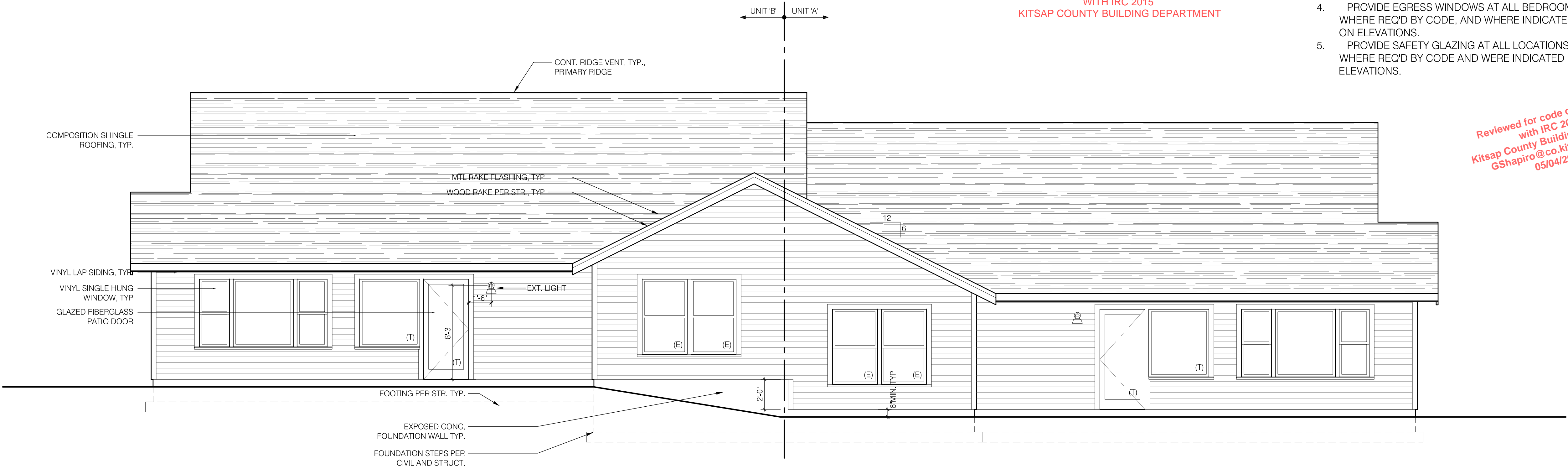
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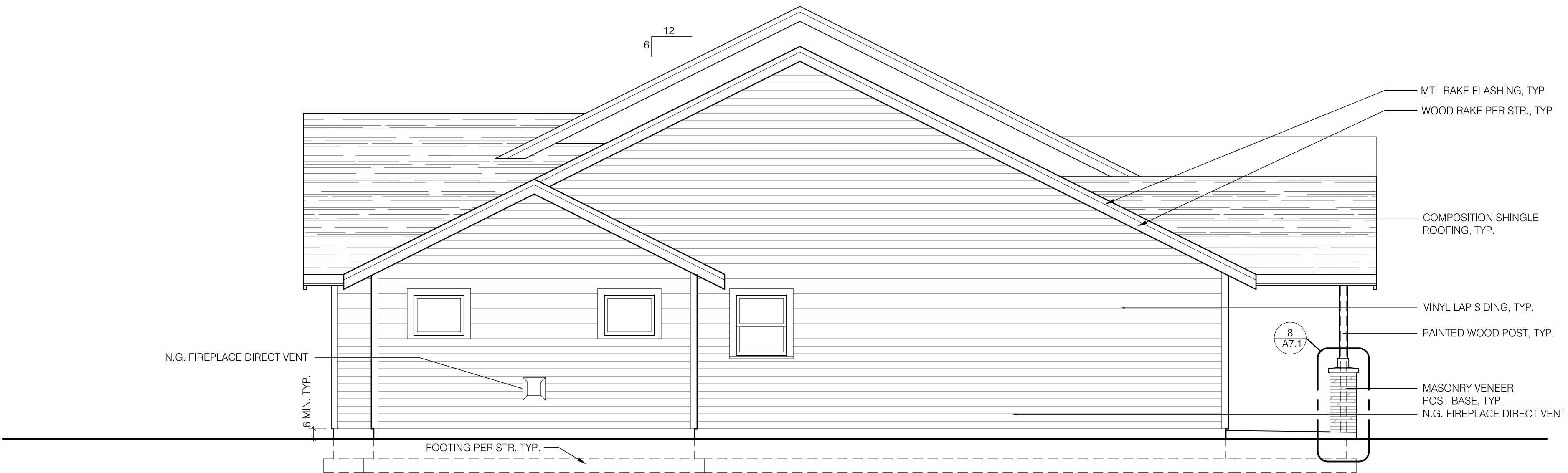
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- ELEVATION NOTES
- REF: FLOOR PLANS FOR DOOR AND WINDOW TYPES.
 - REF: FLOOR PLANS FOR DIMENSIONS.
 - EXT. LIGHTS INDICATED TO BE 'DARK SKY' COMPLIANT, WITH LIGHT SOURCE CONCEALED FROM HORIZ. VIEW.
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1 EXT. ELEVATION - REAR
1/4" = 1'-0"



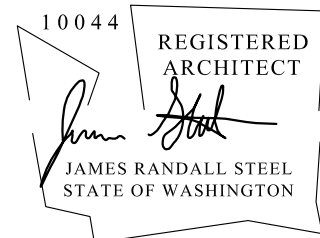
2 EXT. ELEVATION - SIDE
1/4" = 1'-0"

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SILVERDALE, WA 98383



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR ELEVATIONS -
BUILDING TYPE Y ALT A

SHEET NUMBER:

A3.2-A

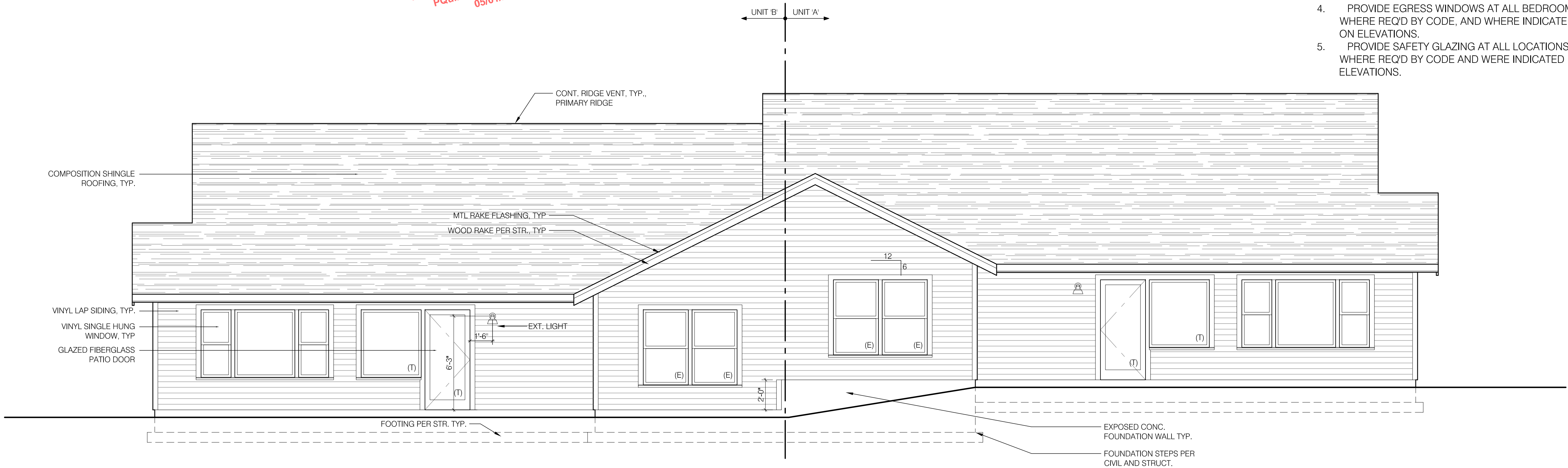
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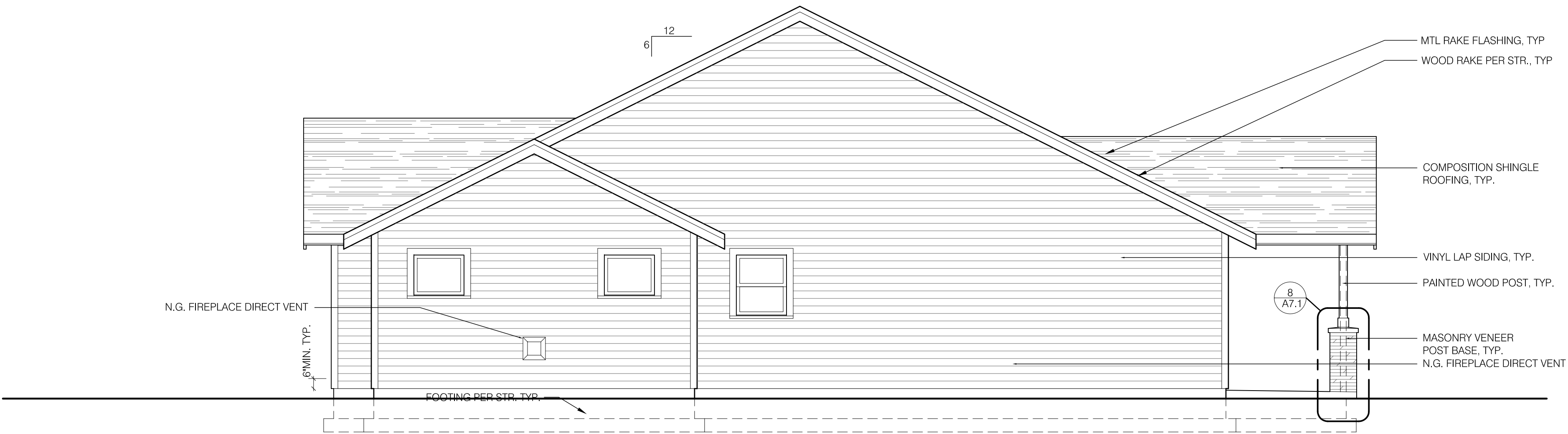
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- ELEVATION NOTES**
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1 EXT. ELEVATION - REAR
1/4" = 1'-0"



2 EXT. ELEVATION - SIDE
1/4" = 1'-0"

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COTTAGES ON THE RIDGE
12000 RIDGETOP BLVD NW
SILVERDALE, WA 98383

10044 REGISTERED
ARCHITECT
JAMES RANDALL STEEL
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR ELEVATIONS -
BUILDING TYPE Y ALT B

SHEET NUMBER:

A3.2-B

BLDG. PERMIT APPLIC.

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CONTACT:
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PO BOX 7600
TACOMA WA 98417

COTTAGES ON THE RIDGE

12000 RIDGETOP BLVD NW
SILVERDALE, WA 98383

10044 REGISTERED
ARCHITECT
James Steel
JAMES RANDALL STEEL
STATE OF WASHINGTON

ISSUANCES:

BLDG. PERMIT	2018.12.10
REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

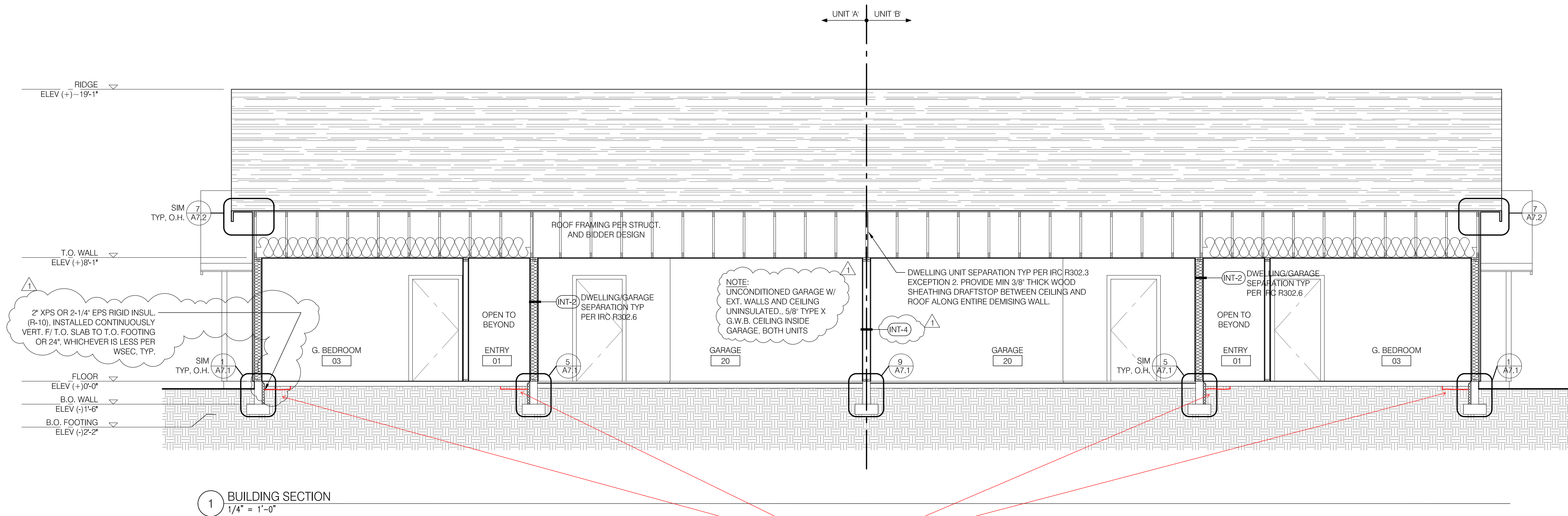
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BUILDING SECTIONS -
BUILDING TYPE Y

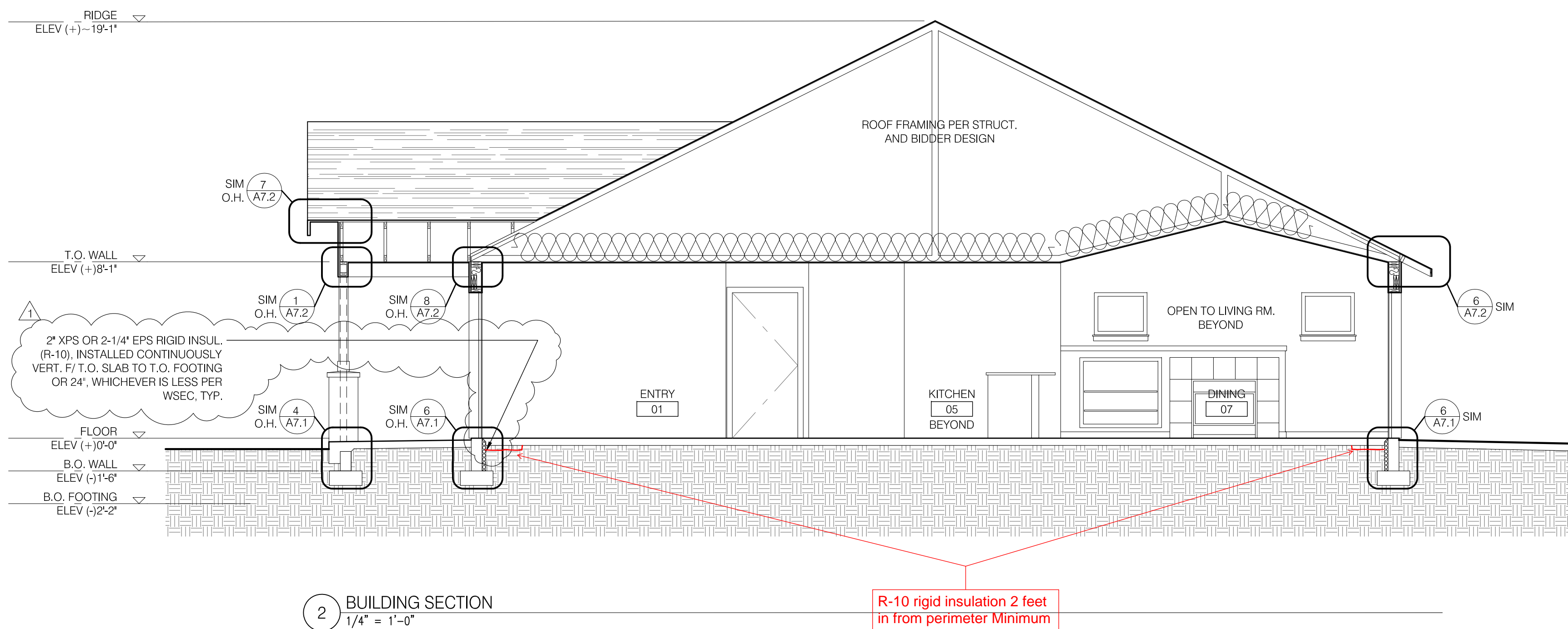
SHEET NUMBER:

A4.1

BLDG. PERMIT APPLIC.



R-10 rigid insulation 2 feet
in from perimeter Minimum



R-10 rigid insulation 2 feet
in from perimeter Minimum

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ISSUANCES:

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REV 1	2019.04.10

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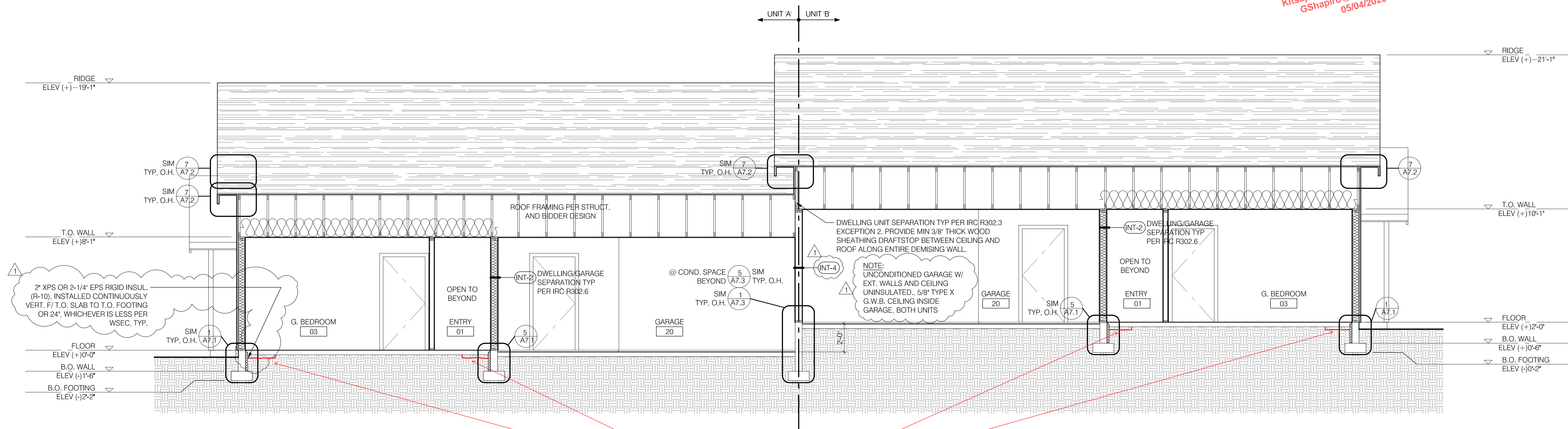
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BUILDING SECTIONS -
BUILDING TYPE Y ALT A

SHEET NUMBER:

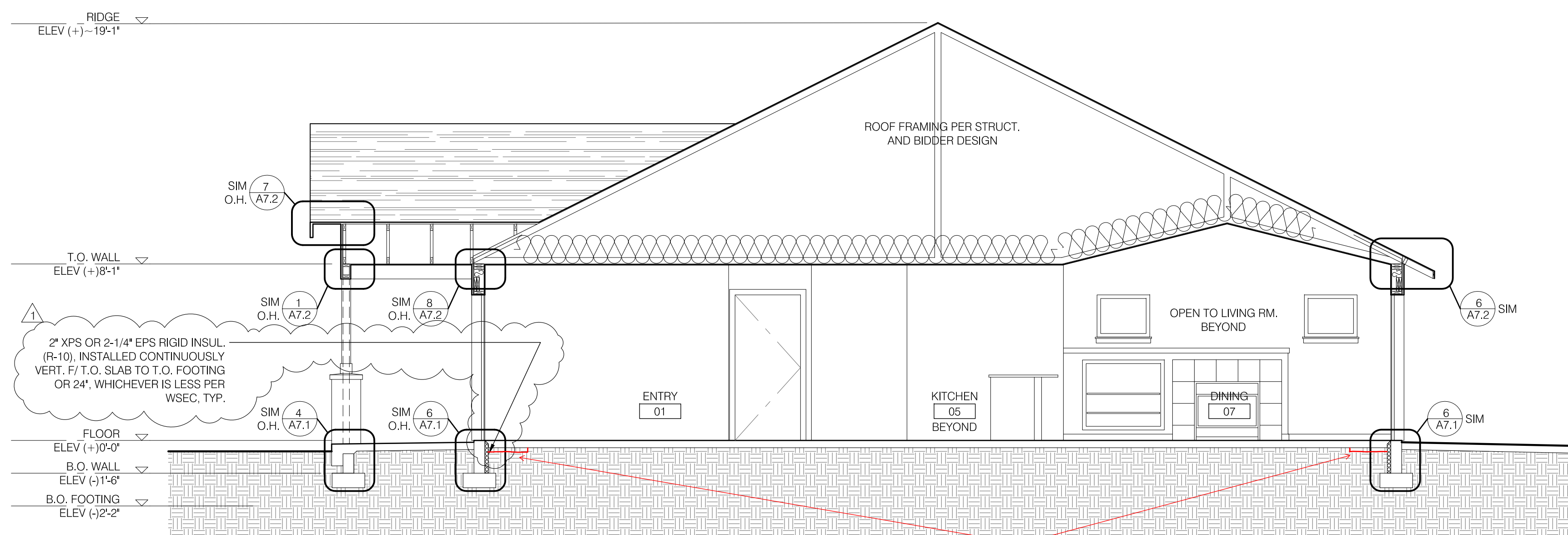
A4.1-A

BLDG. PERMIT APPLIC.



1 BUILDING SECTION
1/4" = 1'-0"

R-10 rigid insulation 2 feet
in from perimeter Minimum



2 BUILDING SECTION
1/4" = 1'-0"

R-10 rigid insulation 2 feet
in from perimeter minimum

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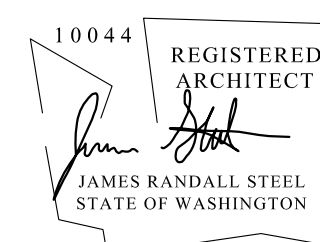
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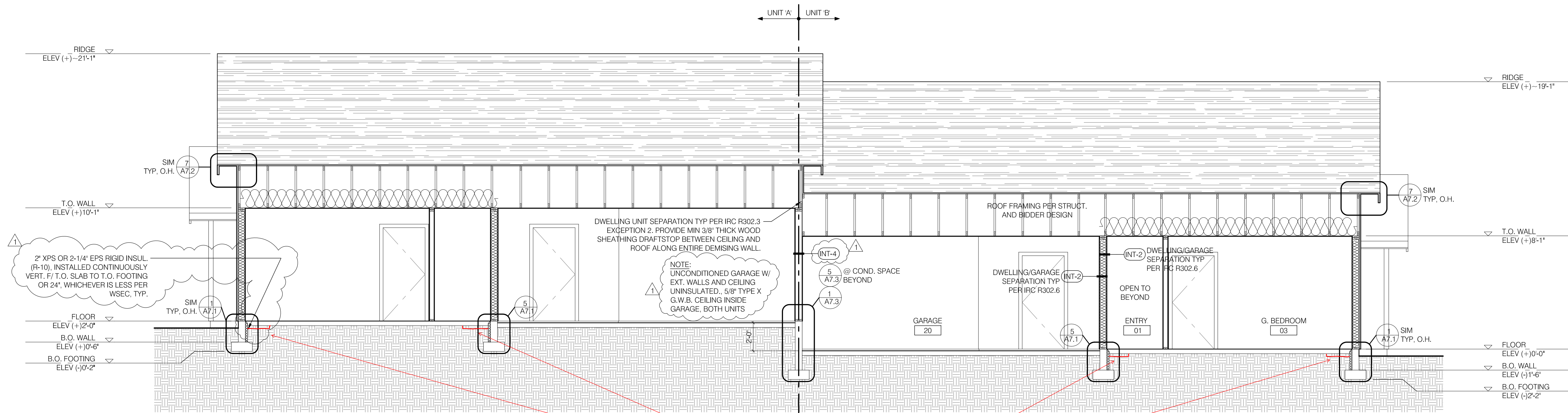
DRAWING TITLE:

BUILDING SECTIONS -
BUILDING TYPE Y ALT B

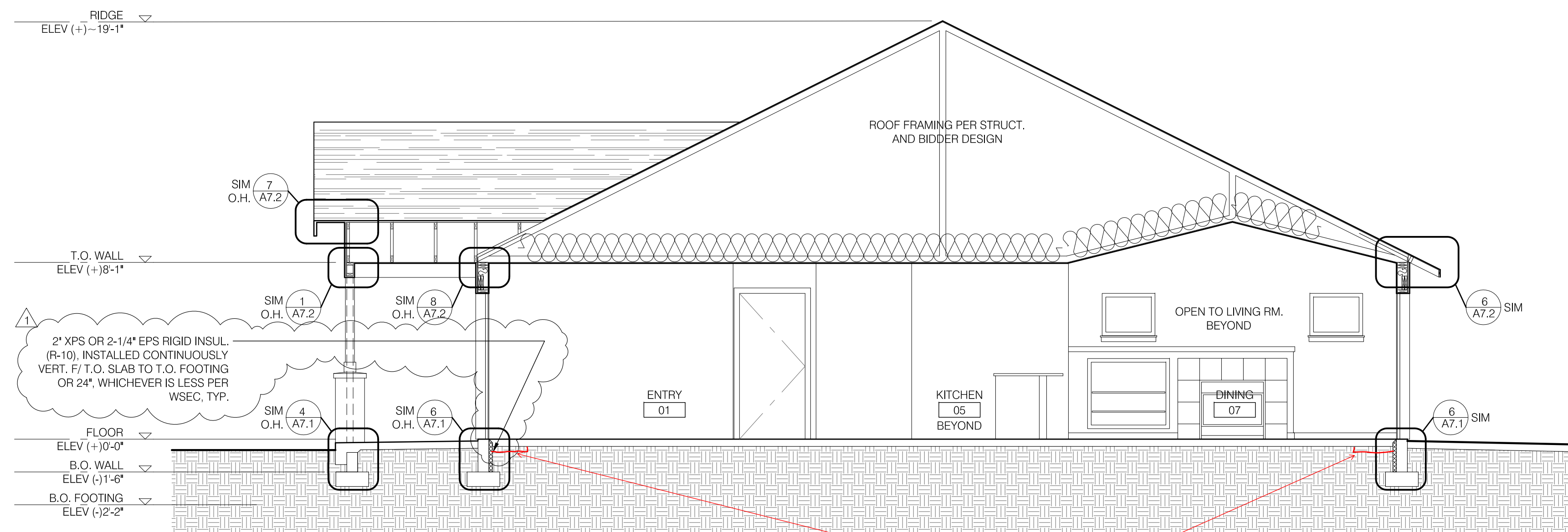
SHEET NUMBER:

A4.1-B

BLDG. PERMIT APPLIC.



1 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"

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GShapiro@co.kitsap.wa.us
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DOOR NOTES:
1. DIMENSIONS SHOWN ARE DOOR SIZES. FRAMES AND REQ'D SHIM SPACE SHALL BE ACCOUNTED FOR IN R.O. SIZES (NOT SHOWN).
2. PROVIDE IMPACT RESISTANT GLAZING (TEMPERED) WHERE INDICATED (T) ON DOOR SCHEDULE AND/OR ON EXTERIOR ELEVATIONS, AND WHERE REQ'D BY CODE.
3. VERIFY DOOR SIZES, TYPES, QUANTITIES, LOCATIONS AND SWING DIRECTIONS ON BUILDING TYPE FLOOR PLANS.

DOOR KEY

TYPE 1 EXTERIOR, IN-SWING - 'CRAFTSMAN' STYLE
TYPE 2 EXTERIOR, IN-SWING, SAFETY GLAZED
TYPE 3 EXTERIOR, SWING, PANEL, FIRE-RATED 20 MINUTE
TYPE 4 INTERIOR, SWING, 2-PANEL, SOLID CORE
TYPE 5 INTERIOR, SWING, 2-PANEL, HOLLOW CORE
TYPE 6 INTERIOR, BI-PASS, 2-PANEL, HOLLOW CORE
TYPE 7 AUTOMATIC OVERHEAD, GARAGE, 4 PANEL

FRAME KEY

TYPE 1 EXTERIOR, PRE-PRIMED WOOD
TYPE 2 INTERIOR, PRE-PRIMED WOOD
TYPE 3 NONE, GWB WRAP OPENING AND TRACK VALANCE

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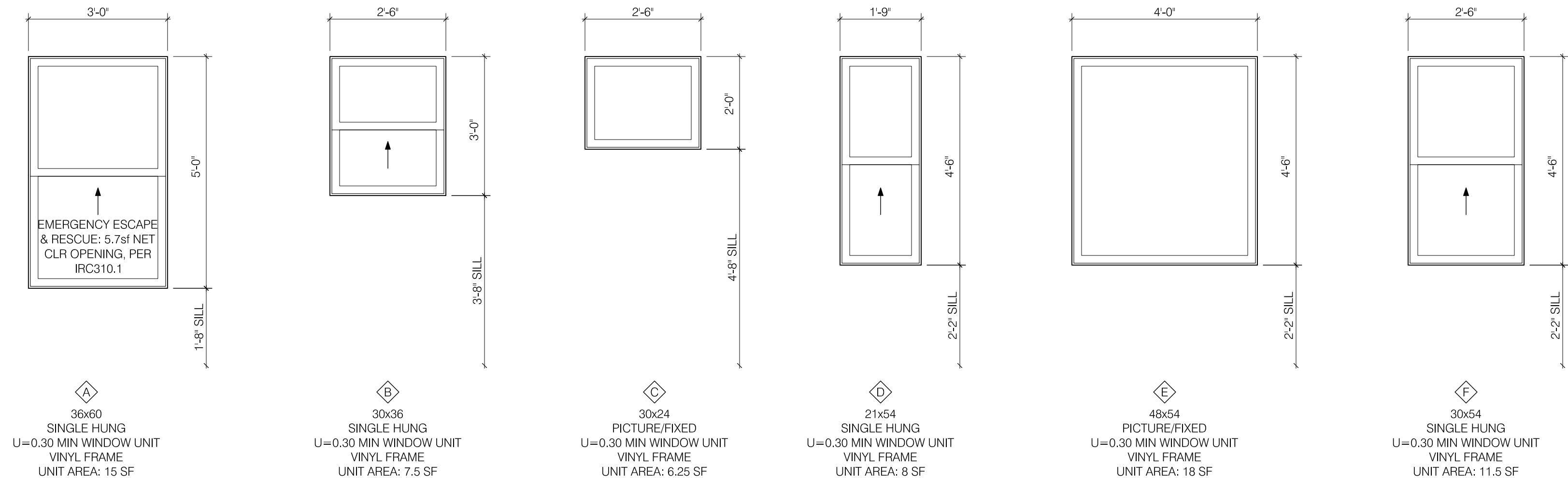
BUILDING TYPE Y, UNIT 'A' - DOOR SCHEDULE

		DOOR				FRAME						
NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICK	MATL	TYPE	HEAD	JAMB	MATL	HDWR SET	REMARKS
A01A	ENTRY	1	3'-0"	6'-8"	1 3/4"	FG	1			WD	ENTRY/D.B.	
A02A	HALL	5	2'-6"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A02B	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A03A	G. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A03B	G. BEDROOM	6	5'-0"	6'-8"	1 3/8"	WD	3			WD	BYPASS	
A04A	G. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRIVACY	
A07A	DINING	2	3'-0"	6'-8"	1 3/4"	FG	1			WD	PATIO/D.B.	(T) SAFETY GLAZING
A08A	LAUNDRY	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A08B	LAUNDRY	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A08C	LAUNDRY	3	3'-0"	6'-8"	1 3/8"	MTL	1			WD	PASSAGE/D.B.	20 MIN RATED W/ SELF CLOSING DEVICE
A09A	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A10A	M. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A11A	M. CLOSET	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
A12A	M. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRIVACY	
A20A	GARAGE	7	16'-0"	7'-0"	1 3/4"	FG	1			WD	AUTOMATIC	

BUILDING TYPE Y, UNIT 'B' - DOOR SCHEDULE

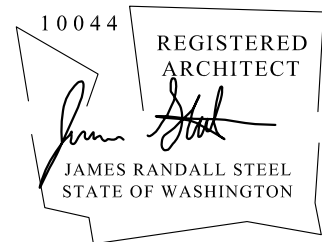
		DOOR				FRAME						
NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICK	MATL	TYPE	HEAD	JAMB	MATL	HDWR SET	REMARKS
B01A	ENTRY	1	3'-0"	6'-8"	1 3/4"	FG	1			WD	ENTRY/D.B.	
B02A	HALL	5	2'-6"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B02B	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B03A	G. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B03B	G. BEDROOM	6	5'-0"	6'-8"	1 3/8"	WD	3			WD	BYPASS	
B04A	G. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRIVACY	
B07A	DINING	2	3'-0"	6'-8"	1 3/4"	FG	1			WD	PATIO/D.B.	(T) SAFETY GLAZING
B08A	LAUNDRY	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B08B	LAUNDRY	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B08C	LAUNDRY	3	3'-0"	6'-8"	1 3/8"	MTL	1			WD	PASSAGE/D.B.	20 MIN RATED W/ SELF CLOSING DEVICE
B09A	HALL	5	2'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B10A	M. BEDROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B11A	M. CLOSET	5	3'-0"	6'-8"	1 3/8"	WD	2			WD	PASSAGE	
B12A	M. BATHROOM	4	3'-0"	6'-8"	1 3/8"	WD	2			WD	PRIVACY	
B20A	GARAGE	7	16'-0"	7'-0"	1 3/4"	FG	1			WD	AUTOMATIC	

WINDOW TYPE ELEVATIONS - ALL BUILDINGS



WINDOWS NOTES

- ALL UNITS DRAWN AS VIEWED FROM THE EXTERIOR.
- DIMENSIONS SHOWN ARE WINDOW SIZES. REQ'D SHIM SPACE SHALL BE ACCOUNTED FOR IN R.O. SIZES (NOT SHOWN).
- PROVIDE IMPACT RESISTANT GLAZING (TEMPERED) WHERE REQ'D BY CODE.
- VERIFY WINDOW SIZES, TYPES, QUANTITIES, AND LOCATIONS ON BUILDING TYPE FLOOR PLANS.



ISSUANCES:

BLDG. PERMIT	2018.12.10
1 REV 1	2019.04.10

22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

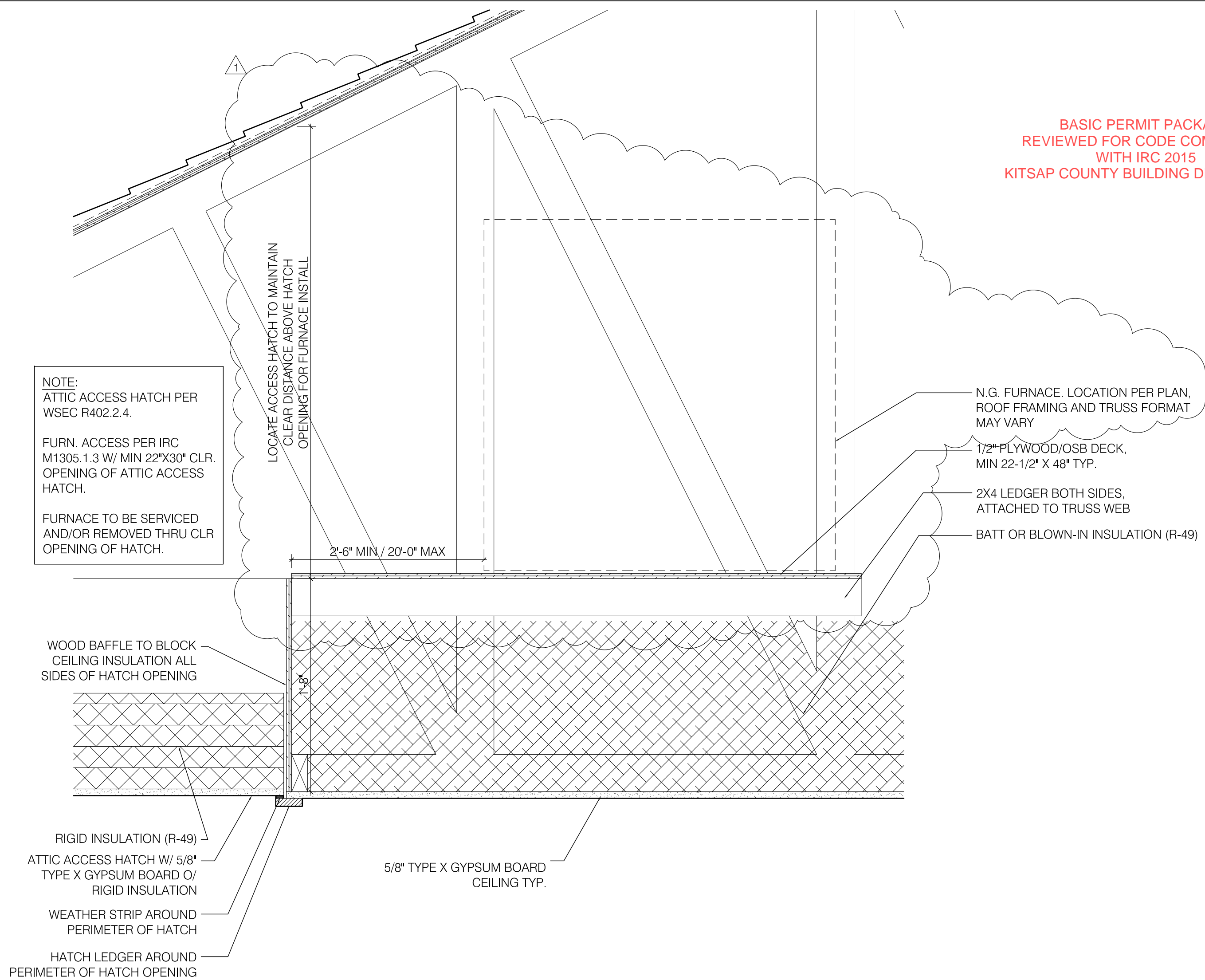
DRAWING TITLE:

DOOR SCHEDULES -
BLDGS X,Y,Z
WINDOW SCHEDULE - ALL

SHEET NUMBER:

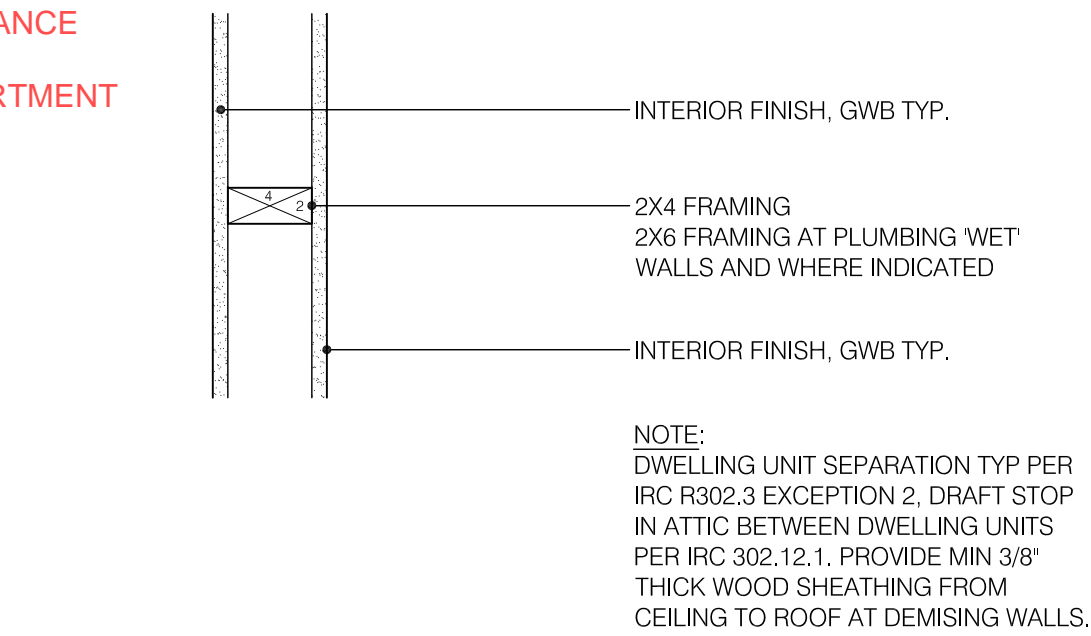
A6.1

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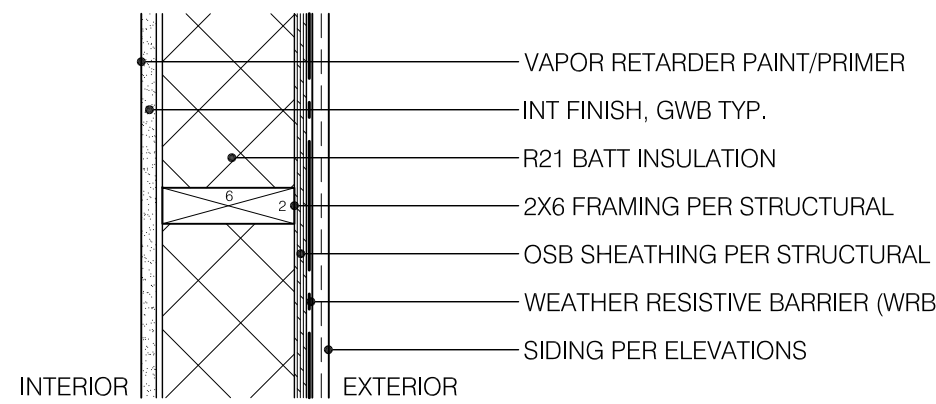


1 DETAIL - ATTIC ACCESS HATCH / FURNACE
1 1/2" = 1'-0"

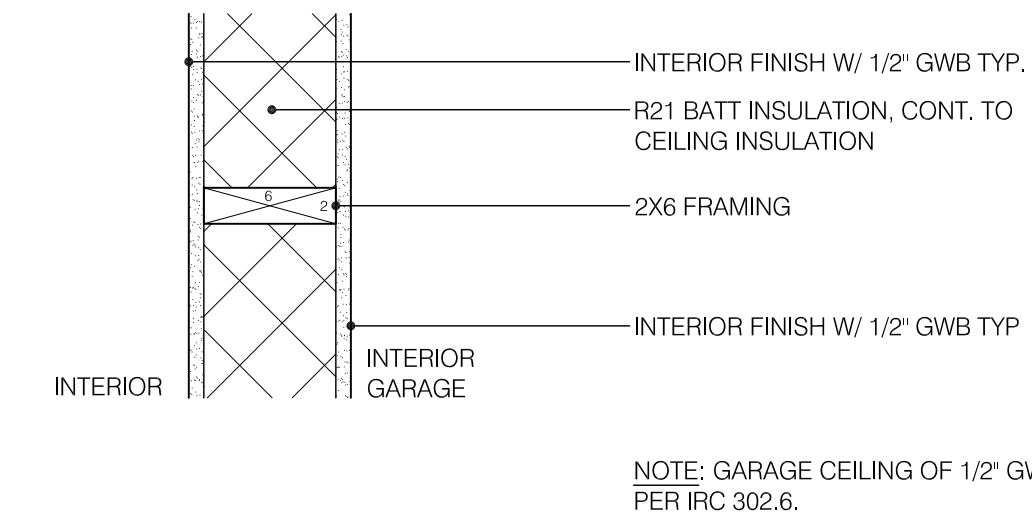
WALL ASSEMBLY SCHEDULE



INT-1 WALL ASSEMBLY - INTERIOR
1 1/2" = 1'-0"

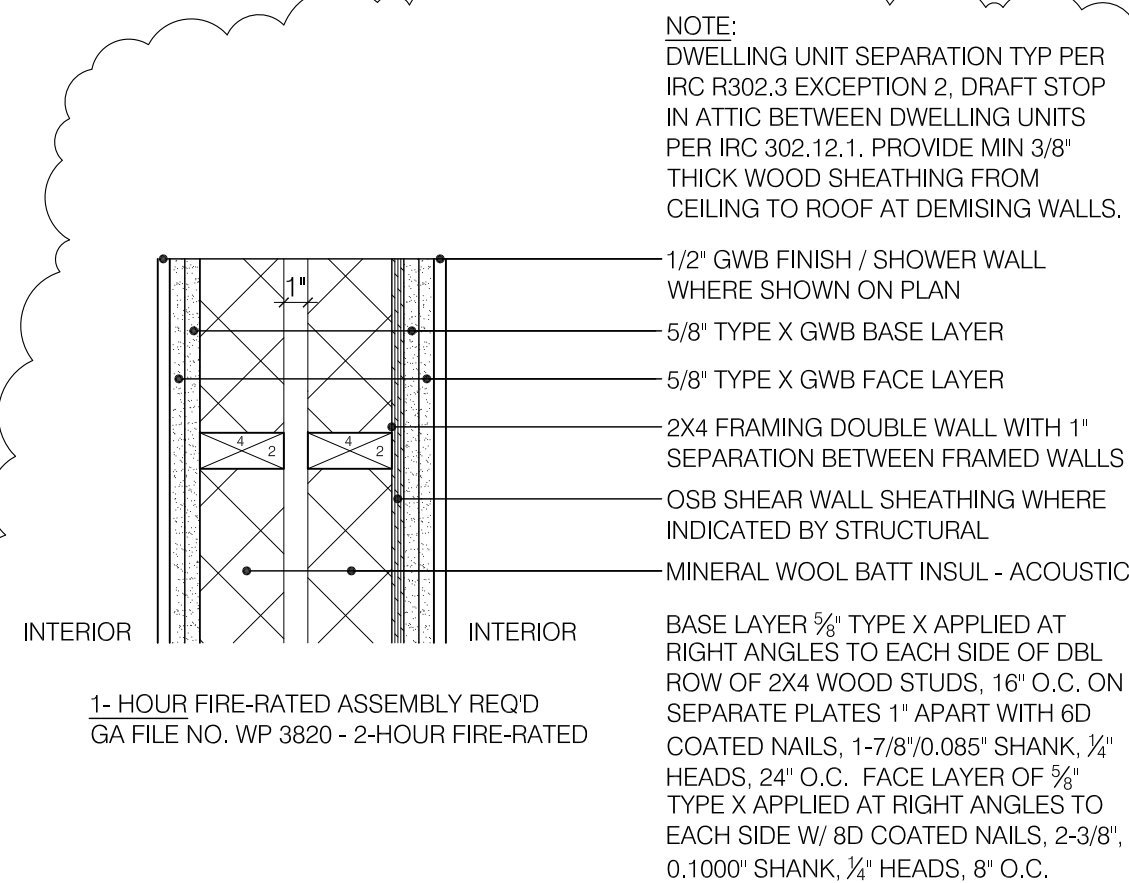


EXT-1 WALL ASSEMBLY - EXTERIOR INSULATED
1 1/2" = 1'-0"



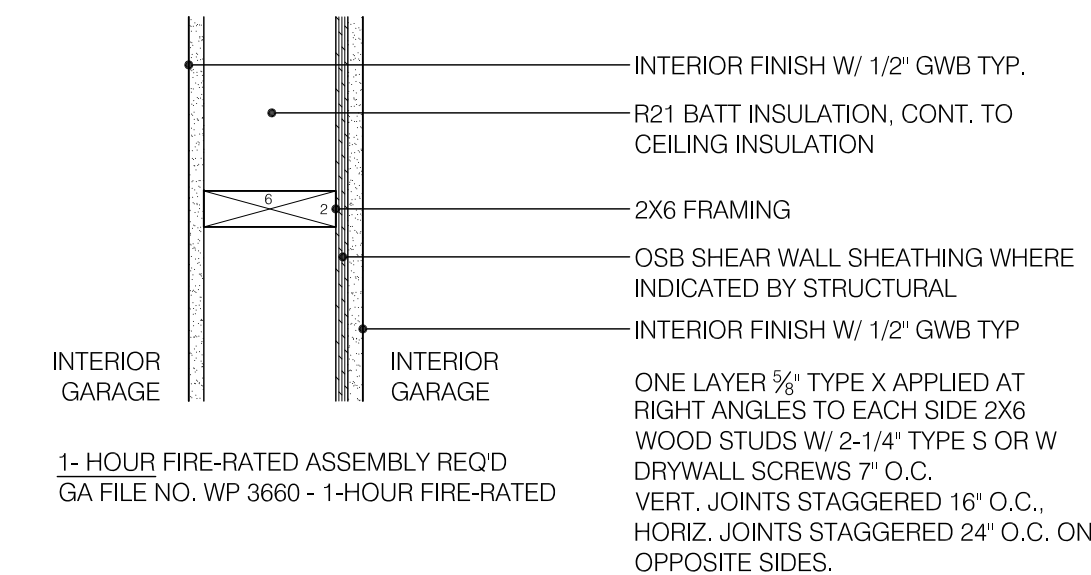
INT-2 WALL ASSEMBLY - INTERIOR
1 1/2" = 1'-0"

EXT-2 WALL ASSEMBLY - EXTERIOR UNINSULATED
1 1/2" = 1'-0"



INT-3 WALL ASSEMBLY - INTERIOR
1 1/2" = 1'-0"

NOTE:
DWELLING UNIT SEPARATION TYP PER
IRC R302.3 EXCEPTION 2. DRAFT STOP
IN ATTIC BETWEEN DWELLING UNITS
PER IRC 302.12.1. PROVIDE MIN 3/8"
THICK WOOD SHEATHING FROM
CEILING TO ROOF AT DEMISING WALLS.



INT-4 WALL ASSEMBLY - INTERIOR
1 1/2" = 1'-0"

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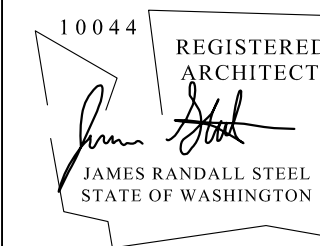
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STEEL ARCHITECTS
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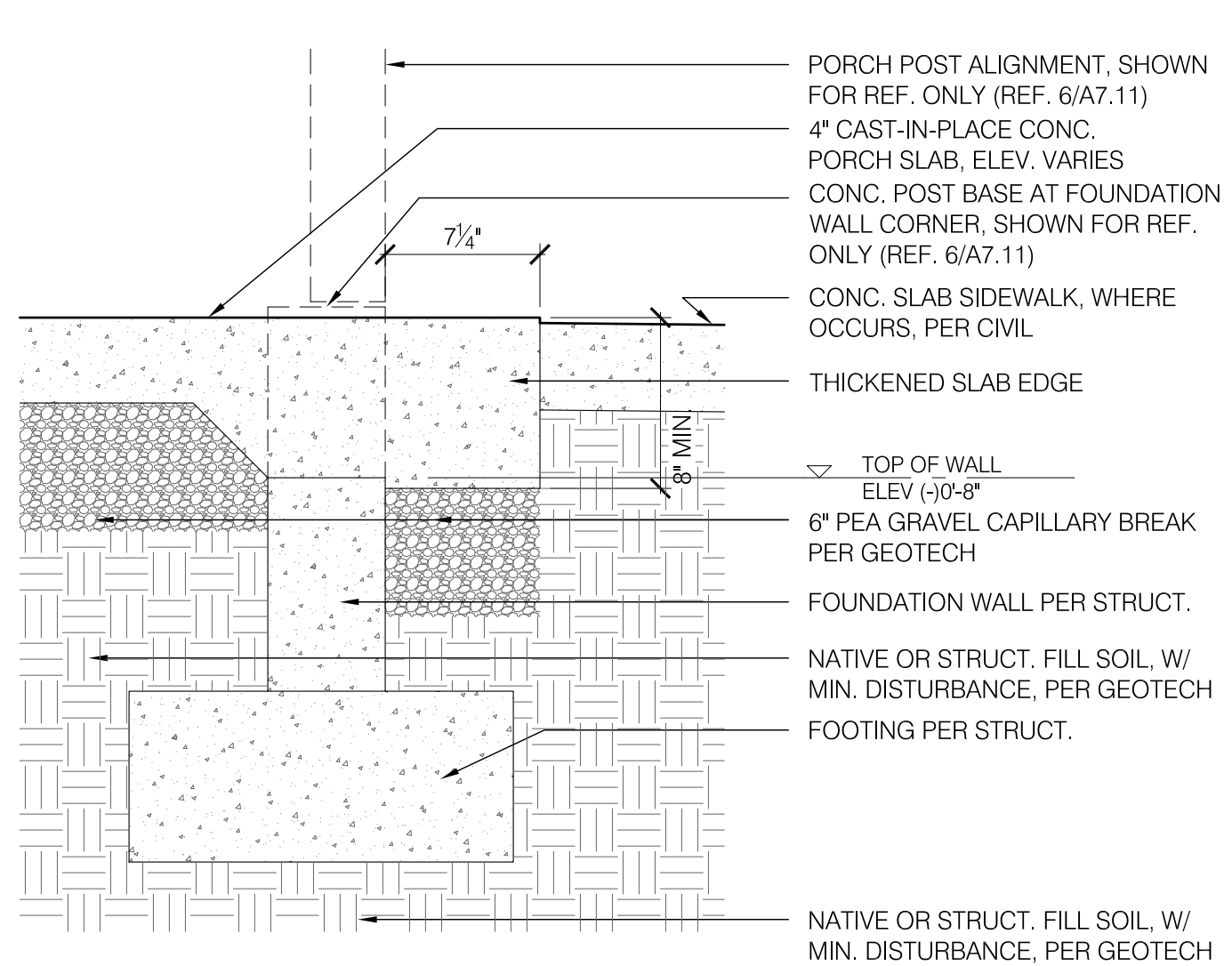
DRAWING TITLE:

WALL SCHEDULE

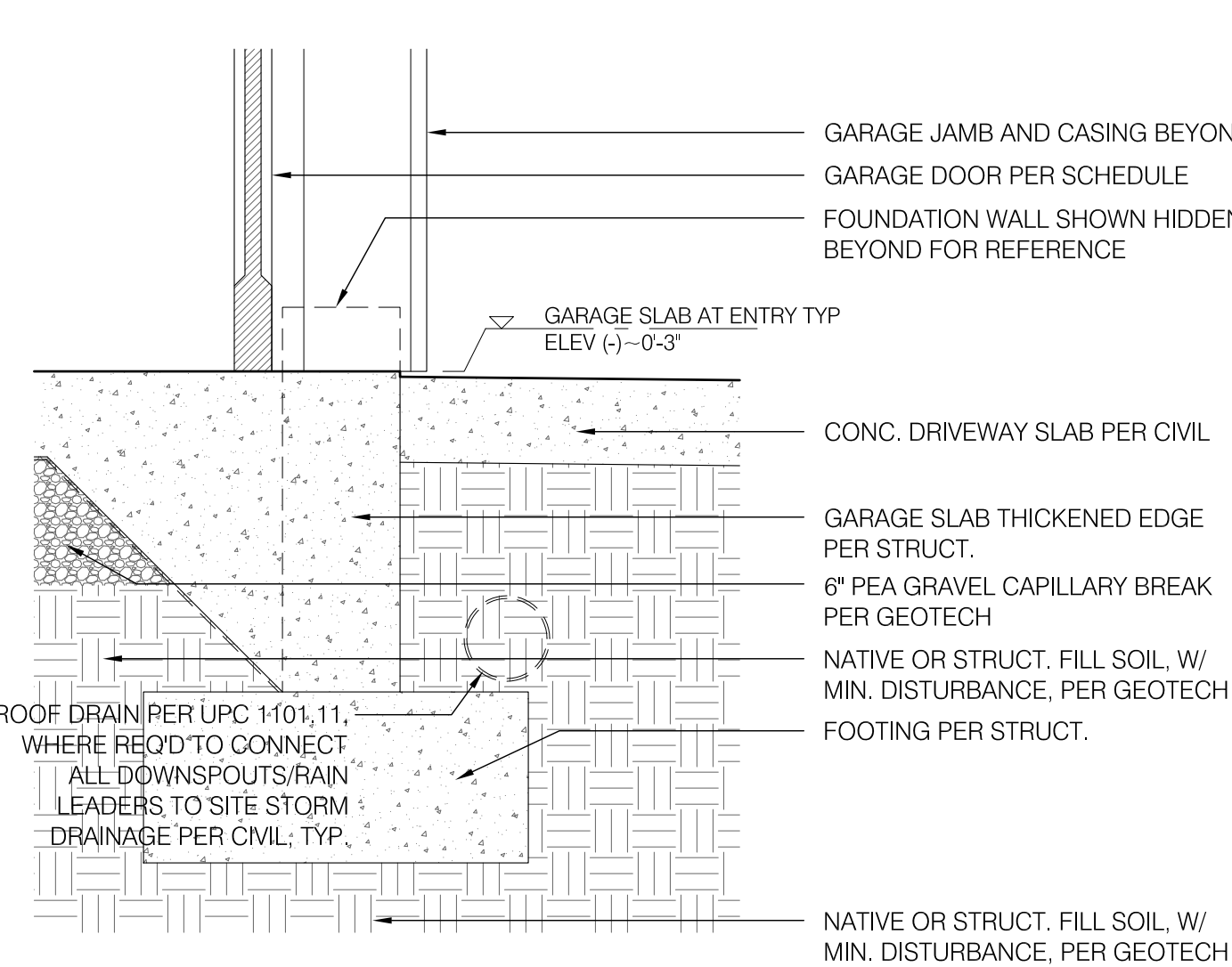
SHEET NUMBER:

A6.2

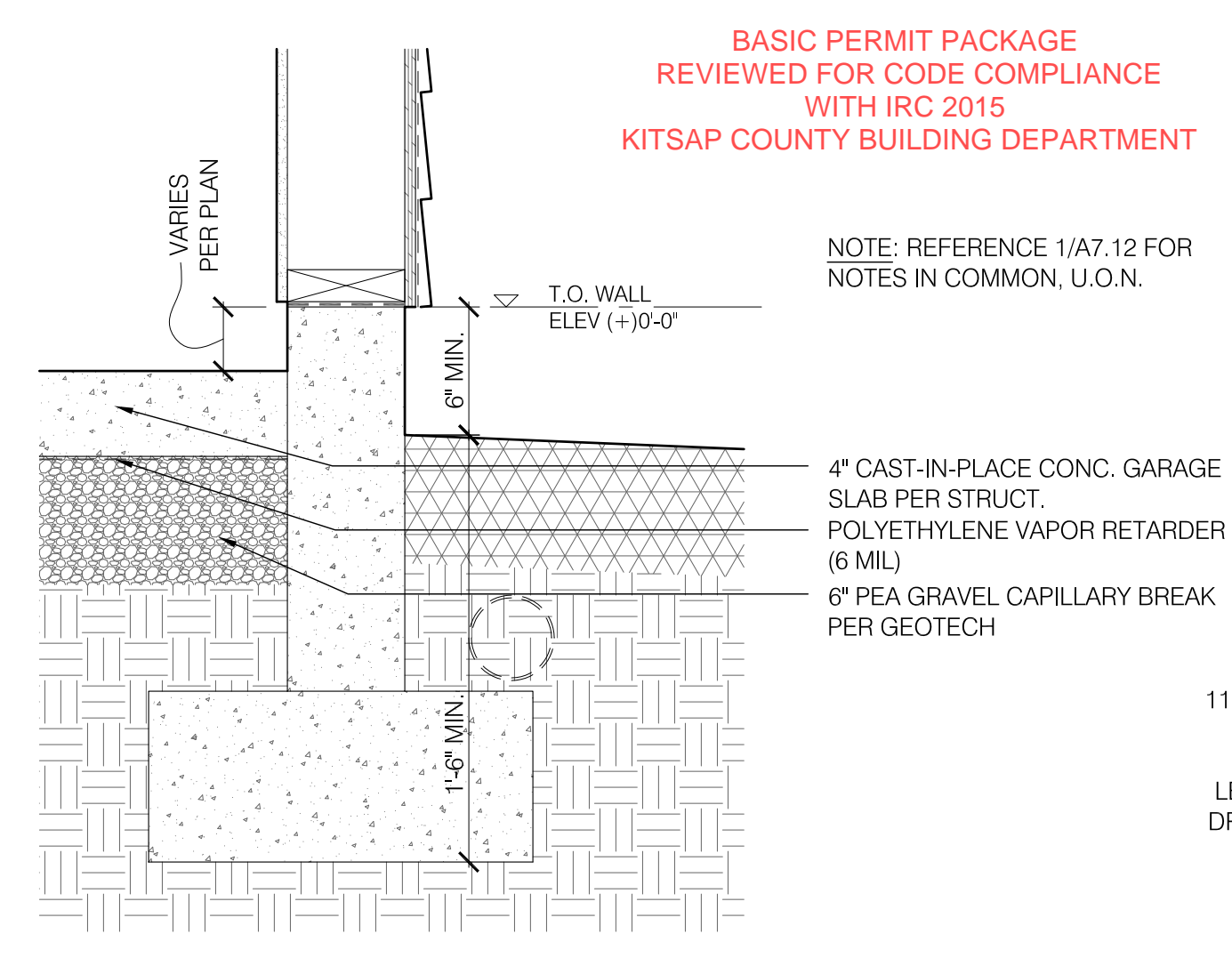
BLDG. PERMIT APPLIC.



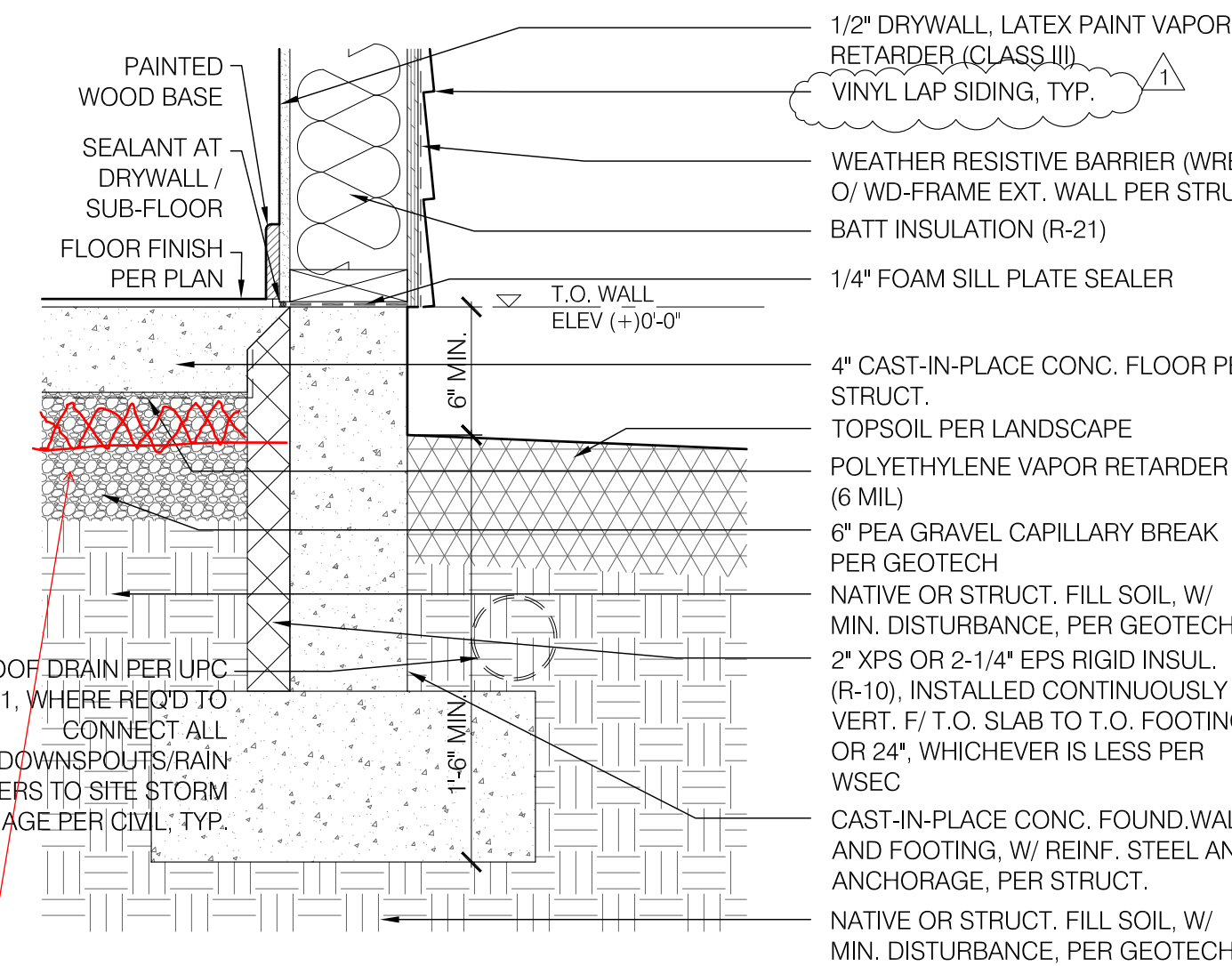
4 DETAIL - FOUNDATION AT PORCH SLAB EDGE
1 1/2"= 1'-0"



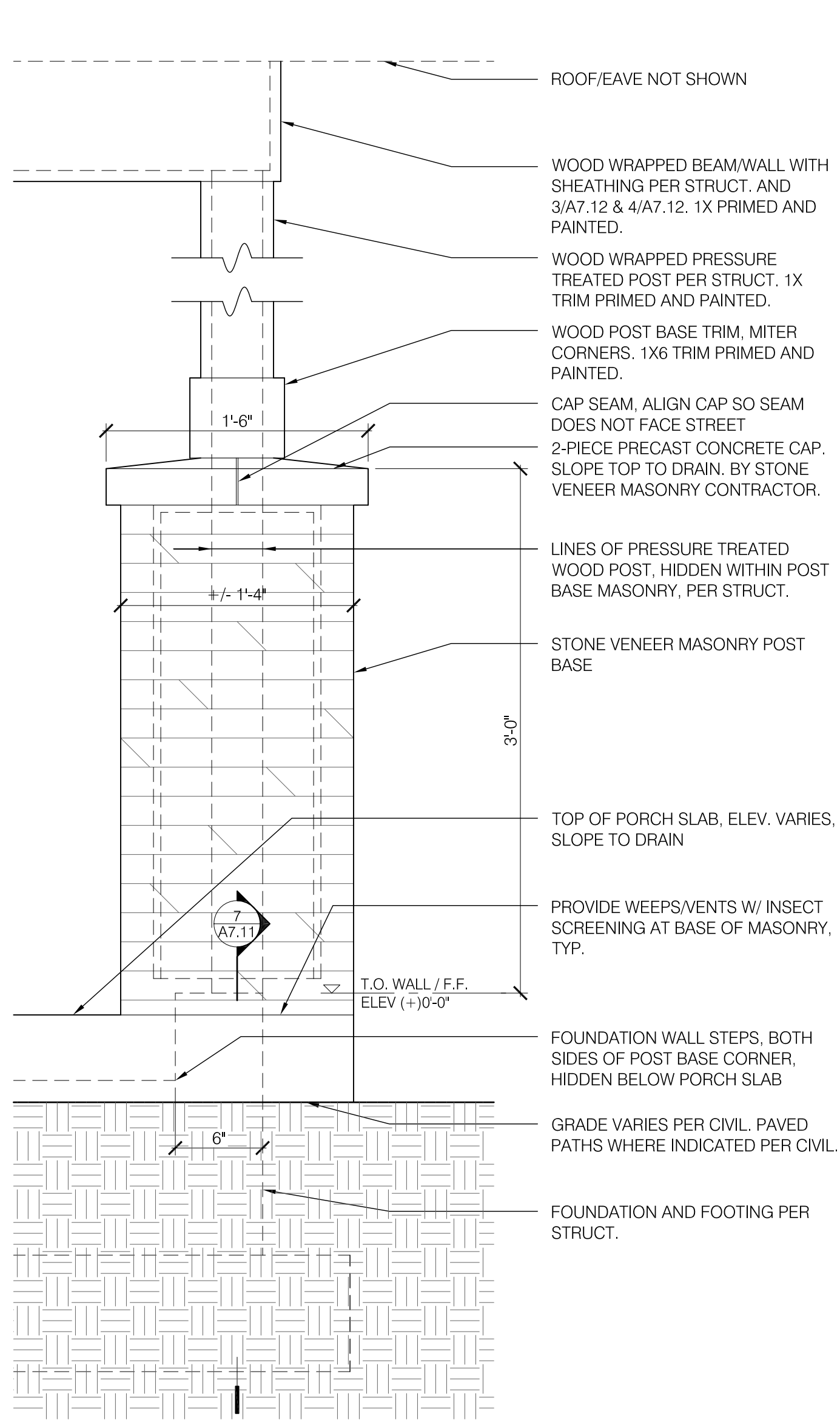
3 DETAIL - FOUNDATION AT GARAGE ENTRY/DOOR
1 1/2"= 1'-0"



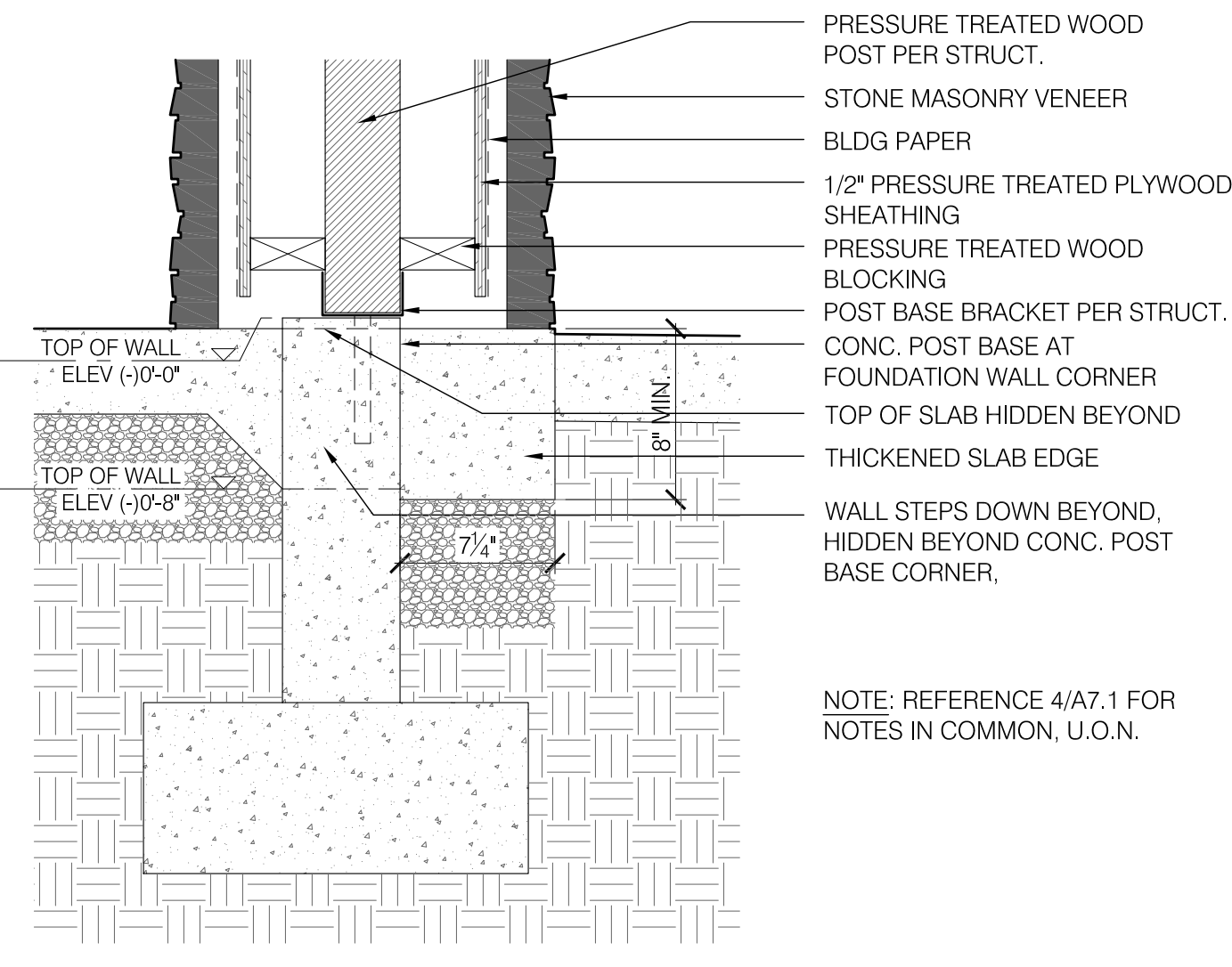
2 DETAIL - FOUNDATION WALL AT UNCOND. GARAGE
1 1/2"= 1'-0"



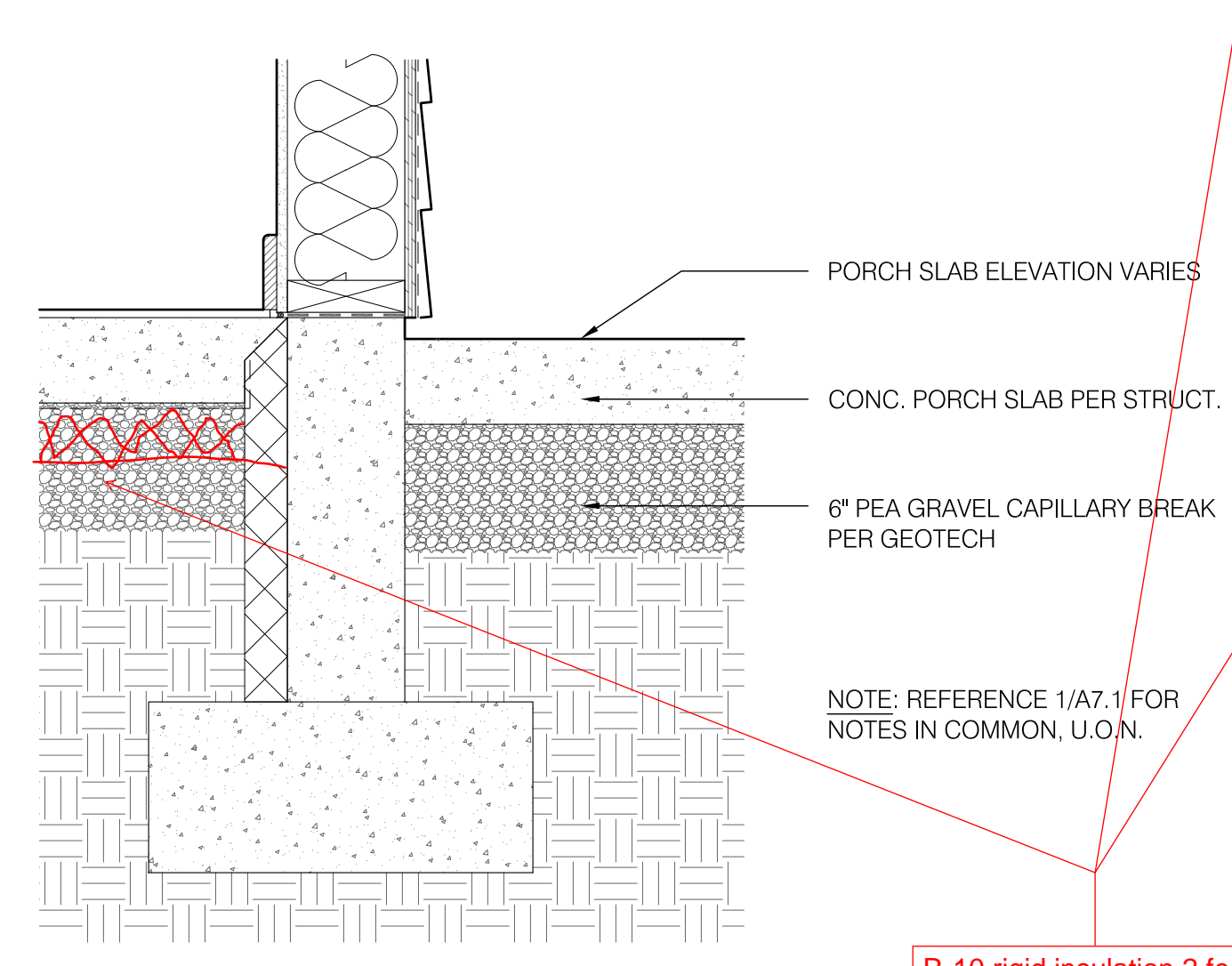
1 DETAIL - FOUNDATION WALL TYP
1 1/2"= 1'-0"



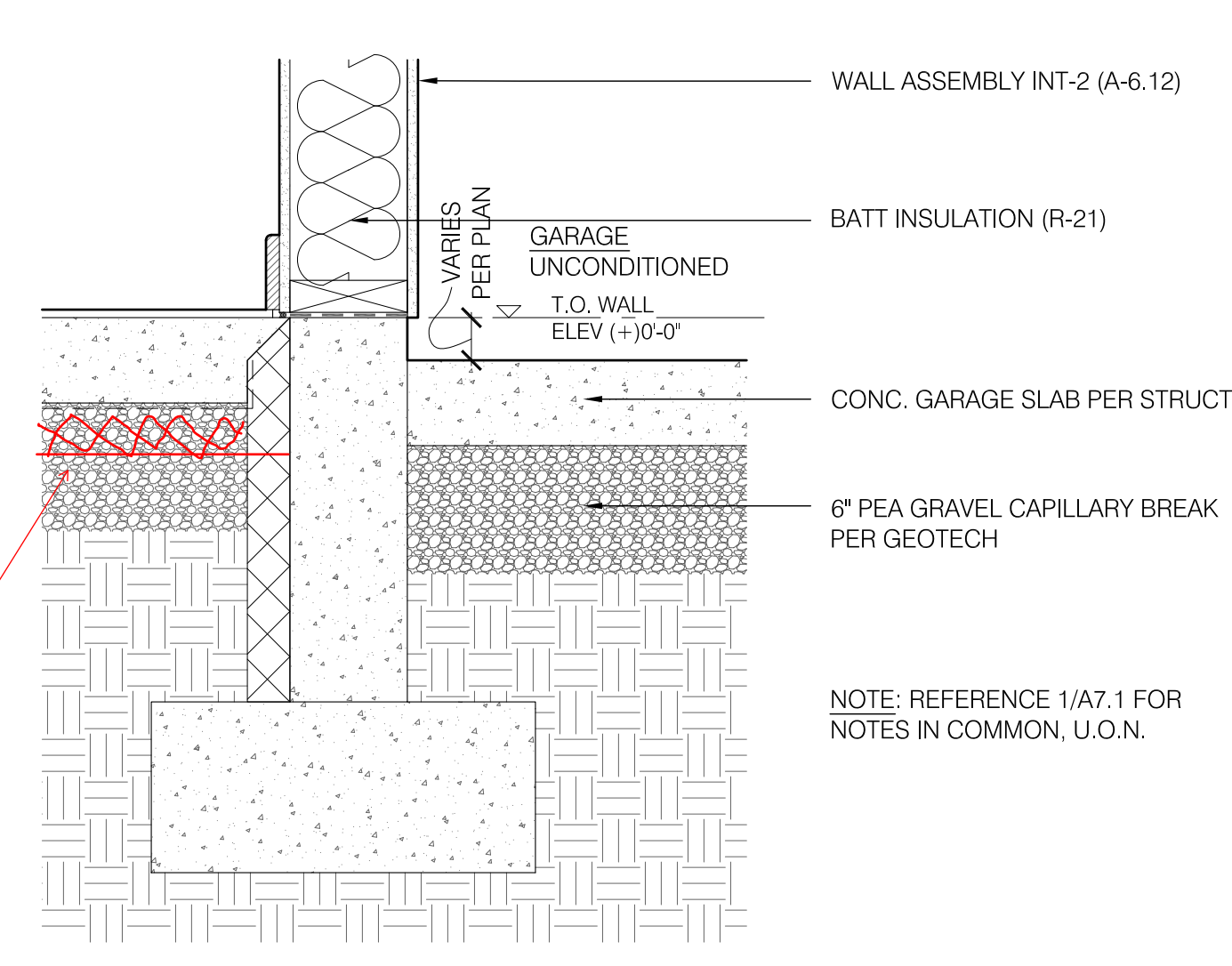
8 DETAIL - ELEVATION PORCH POST
1 1/2"= 1'-0"



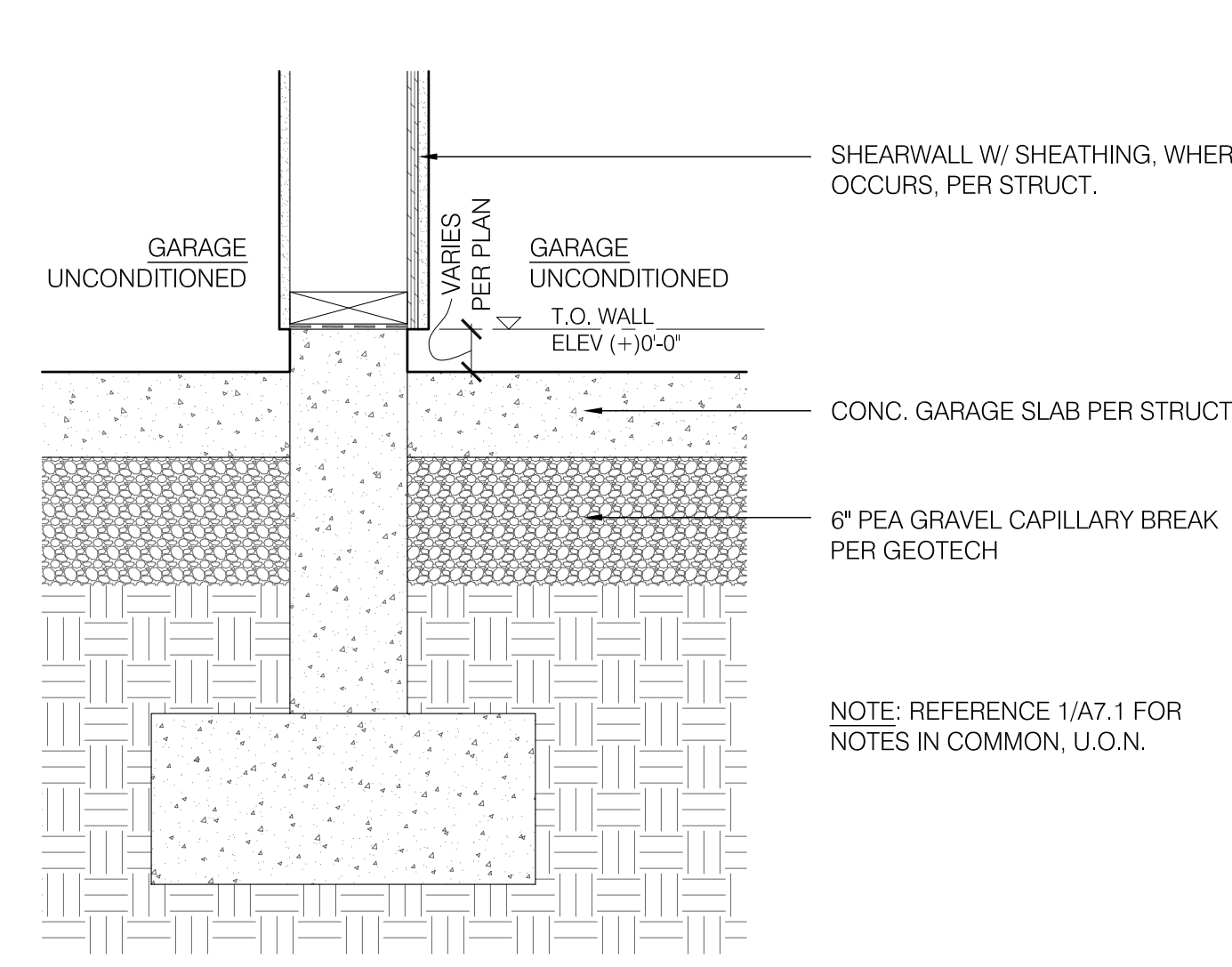
7 DETAIL - POST BASE AT PORCH SLAB EDGE
1 1/2"= 1'-0"



6 DETAIL - FOUNDATION WALL AT PORCH SLAB
1 1/2"= 1'-0"



5 DETAIL - FOUNDATION WALL AT GARAGE/UNIT
1 1/2"= 1'-0"



9 DETAIL - FOUNDATION WALL AT GARAGE/GARAGE
1 1/2"= 1'-0"

See Engineered Plans

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STATE OF WASHINGTON

ISSUANCES:

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22 X 34 = FULL SIZE
11 X 17 = HALF SIZE

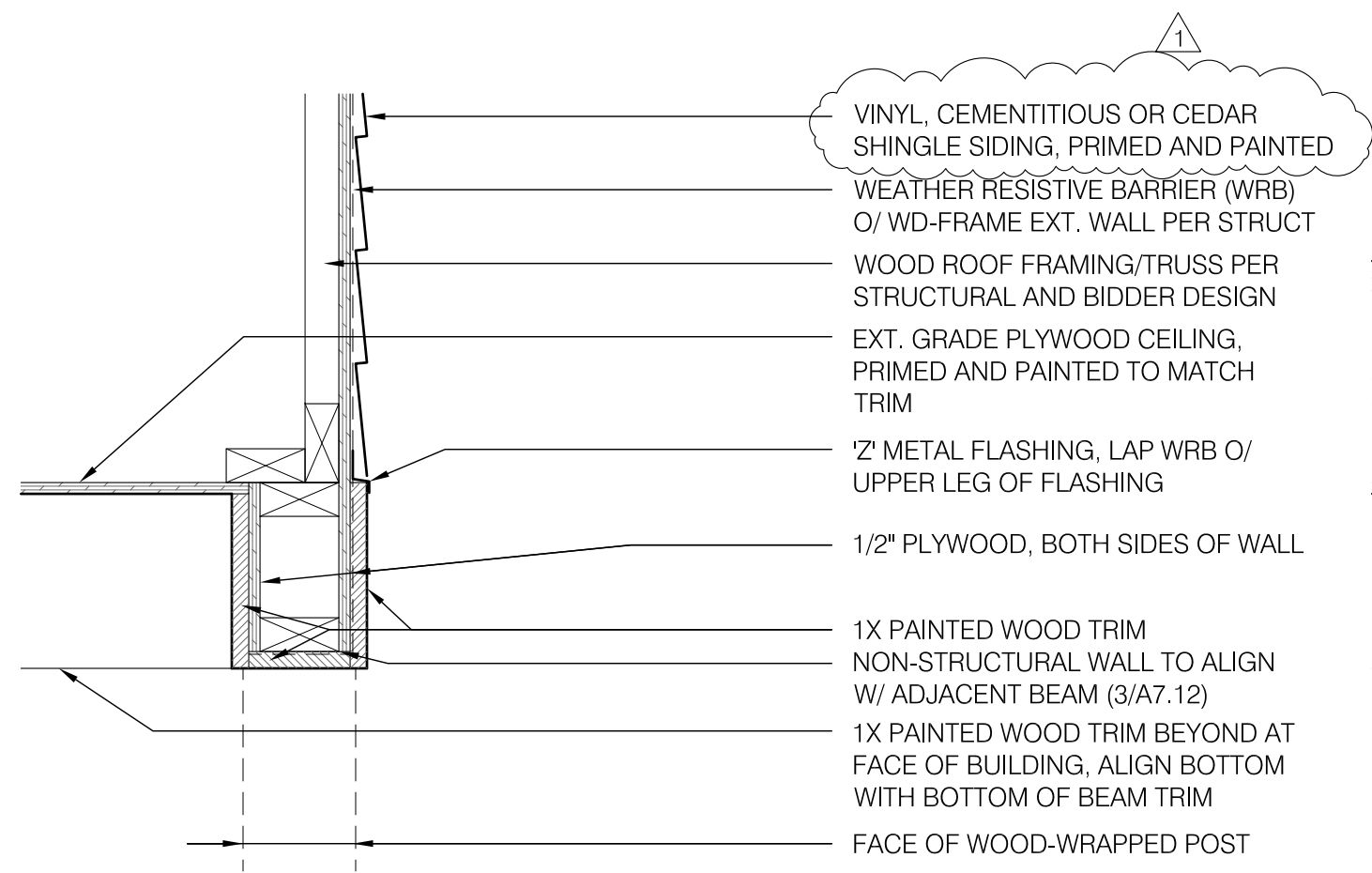
DRAWING TITLE:

EXTERIOR DETAILS

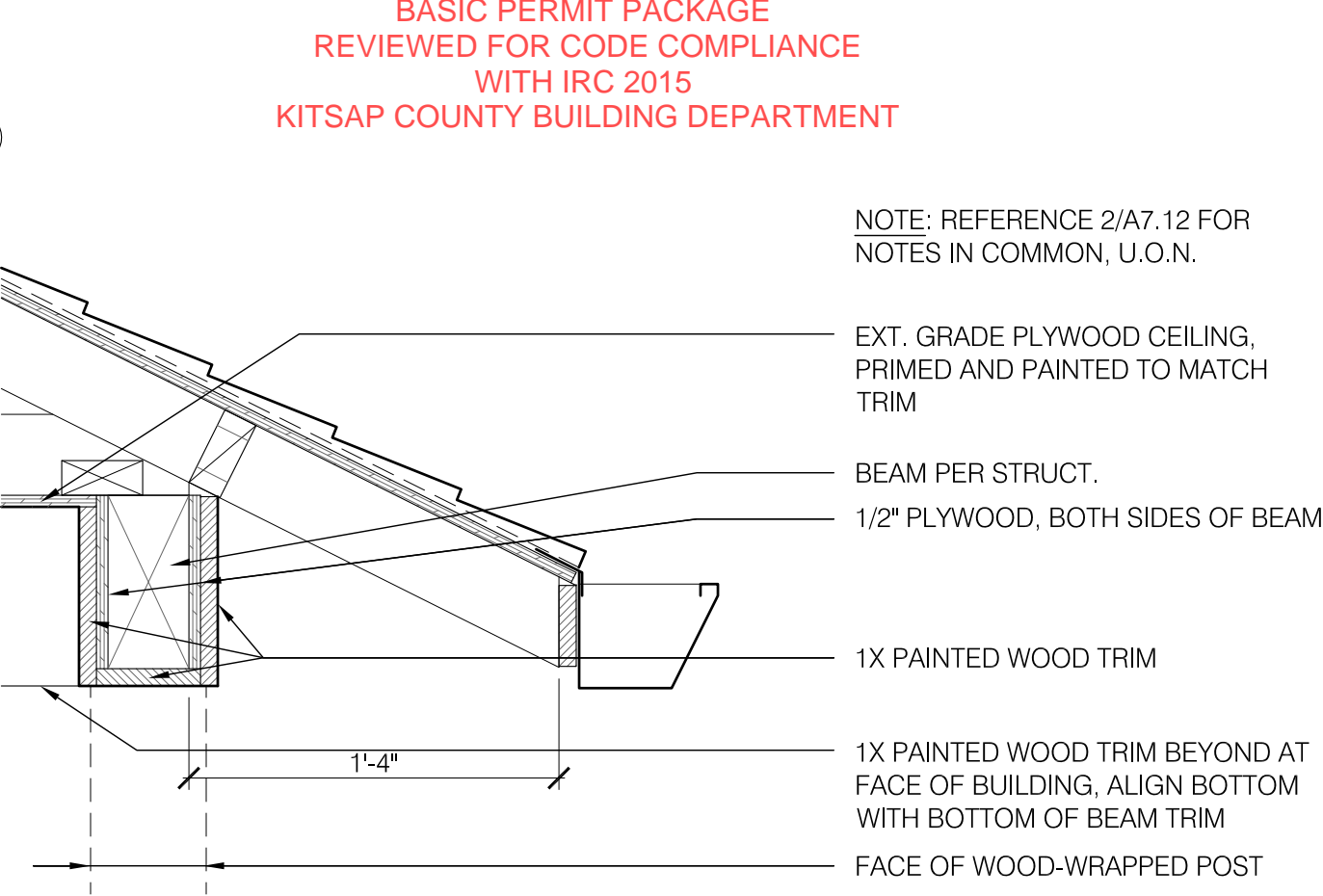
SHEET NUMBER:

A7.1

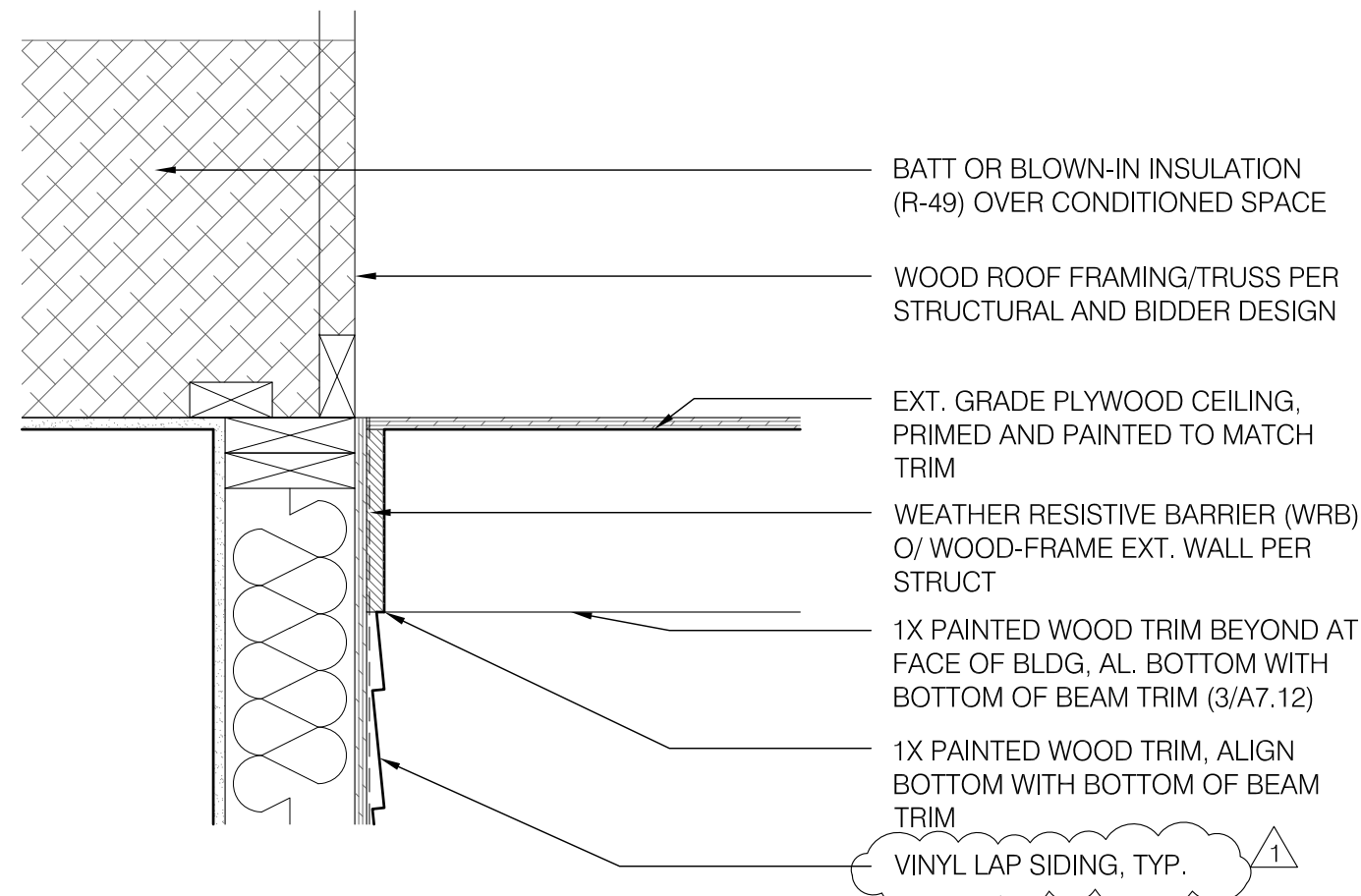
BLDG. PERMIT APPLIC.



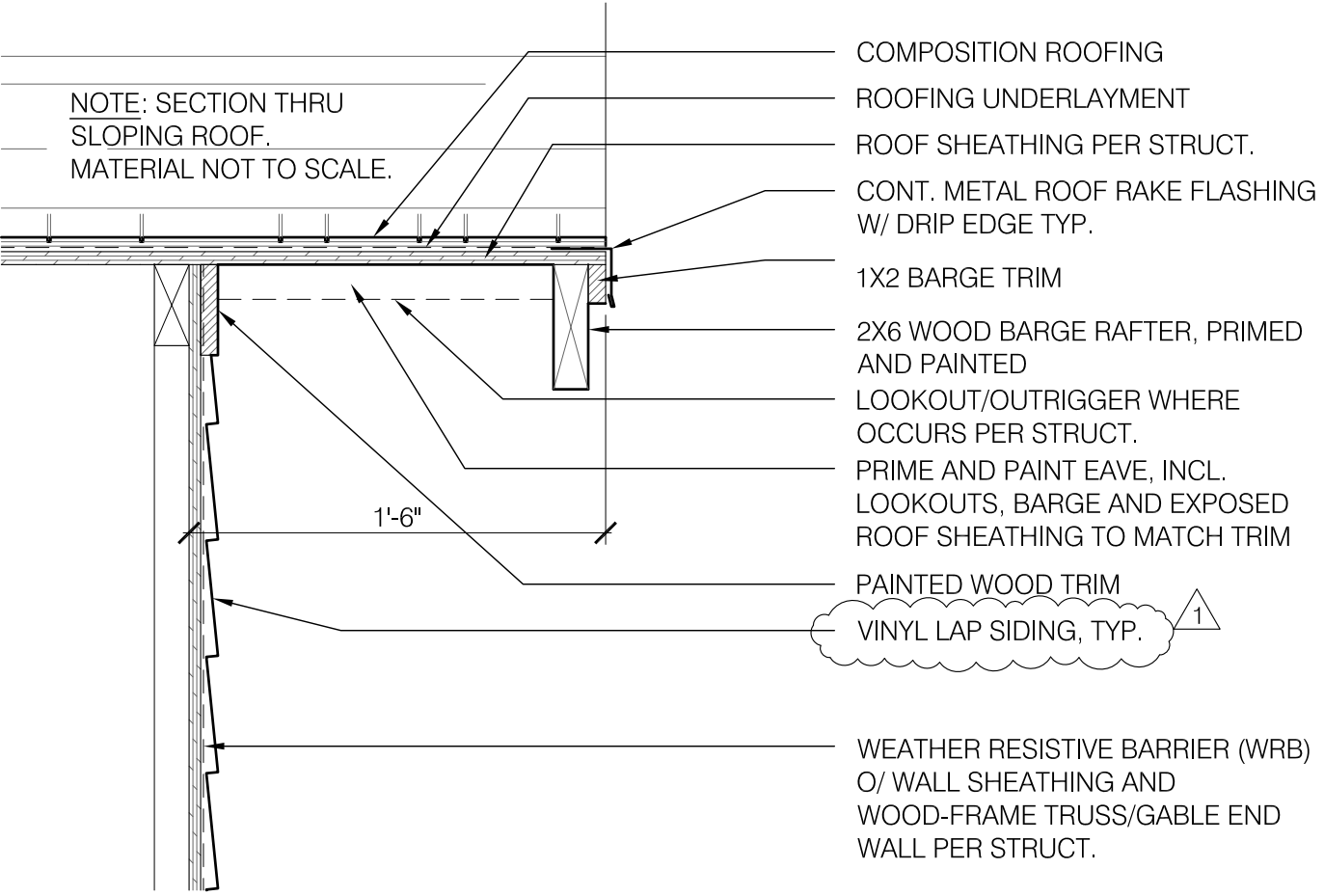
4 DETAIL - GABLE END AT PORCH CEILING
1 1/2" = 1'-0"



3 DETAIL - ROOF EAVE AT PORCH
1 1/2" = 1'-0"

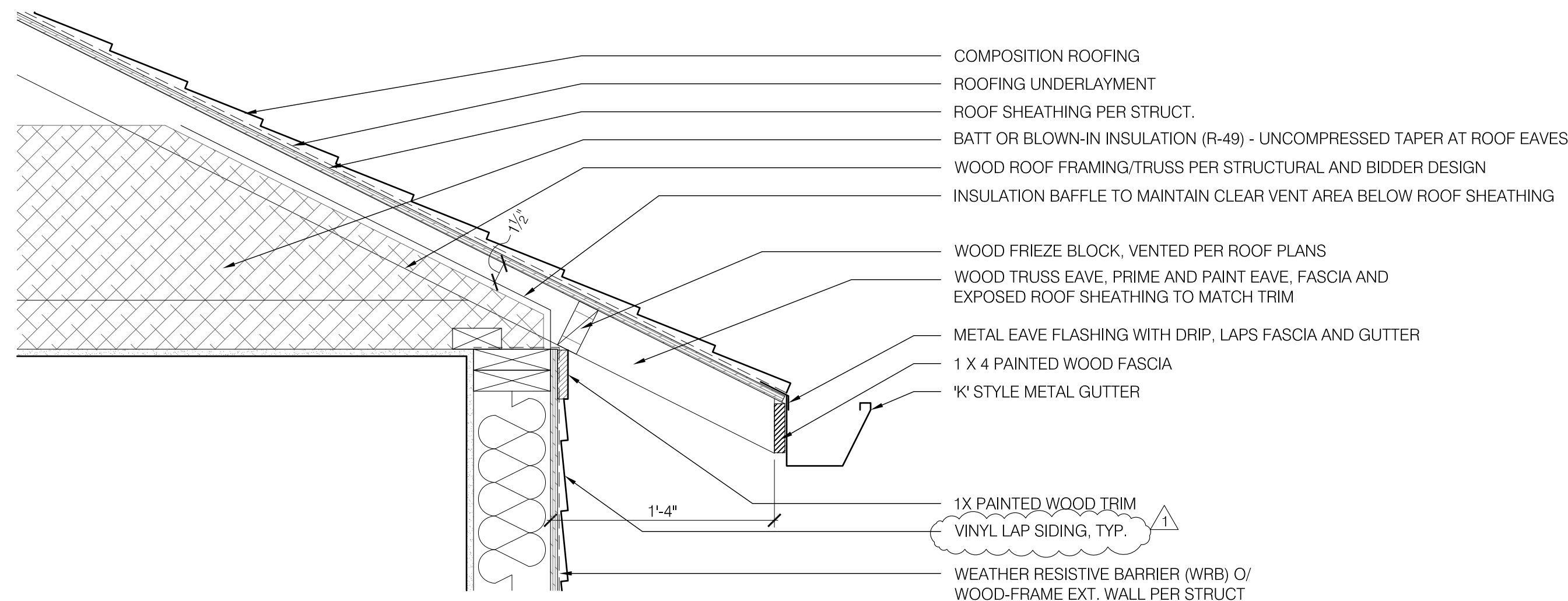


8 DETAIL
1 1/2" = 1'-0"

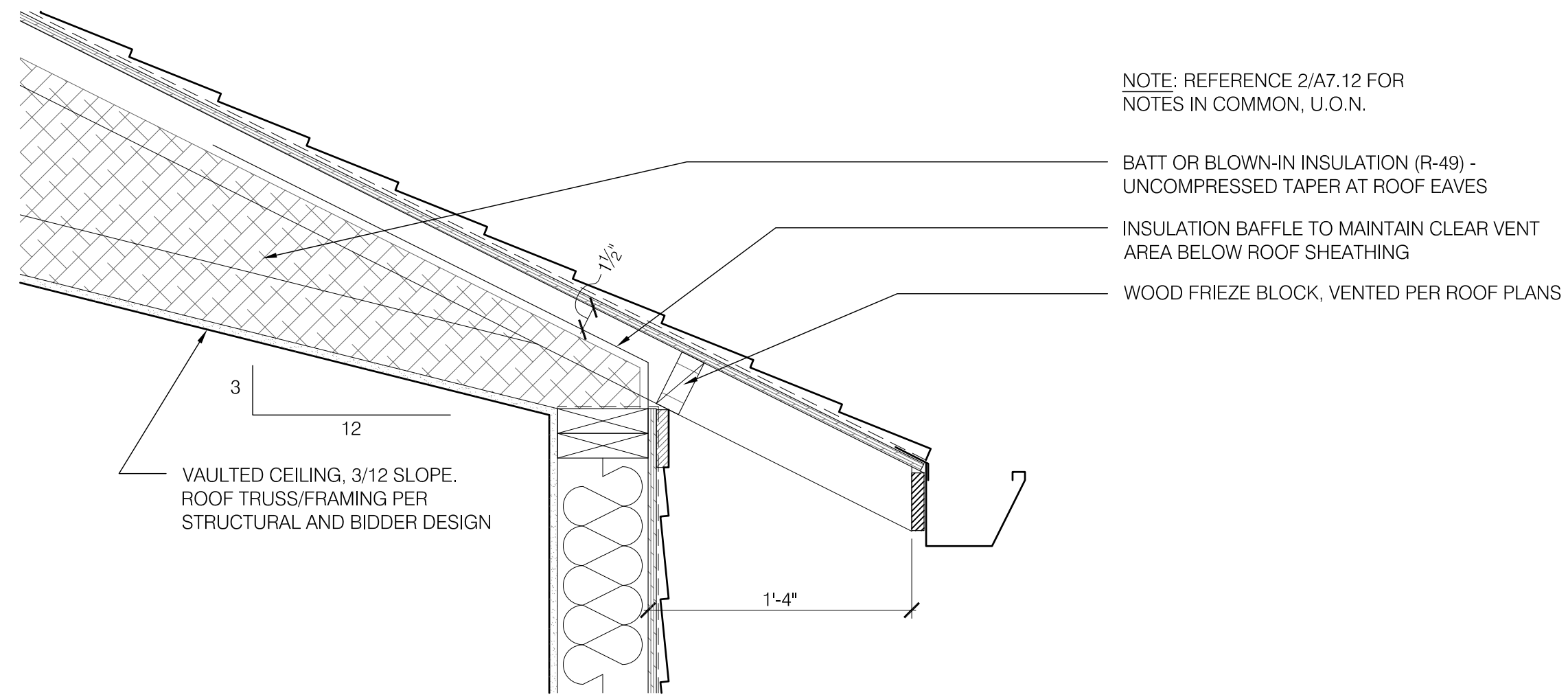


7 DETAIL - TRUSS/GABLE END WALL RAKE EAVE TYP.
1 1/2" = 1'-0"

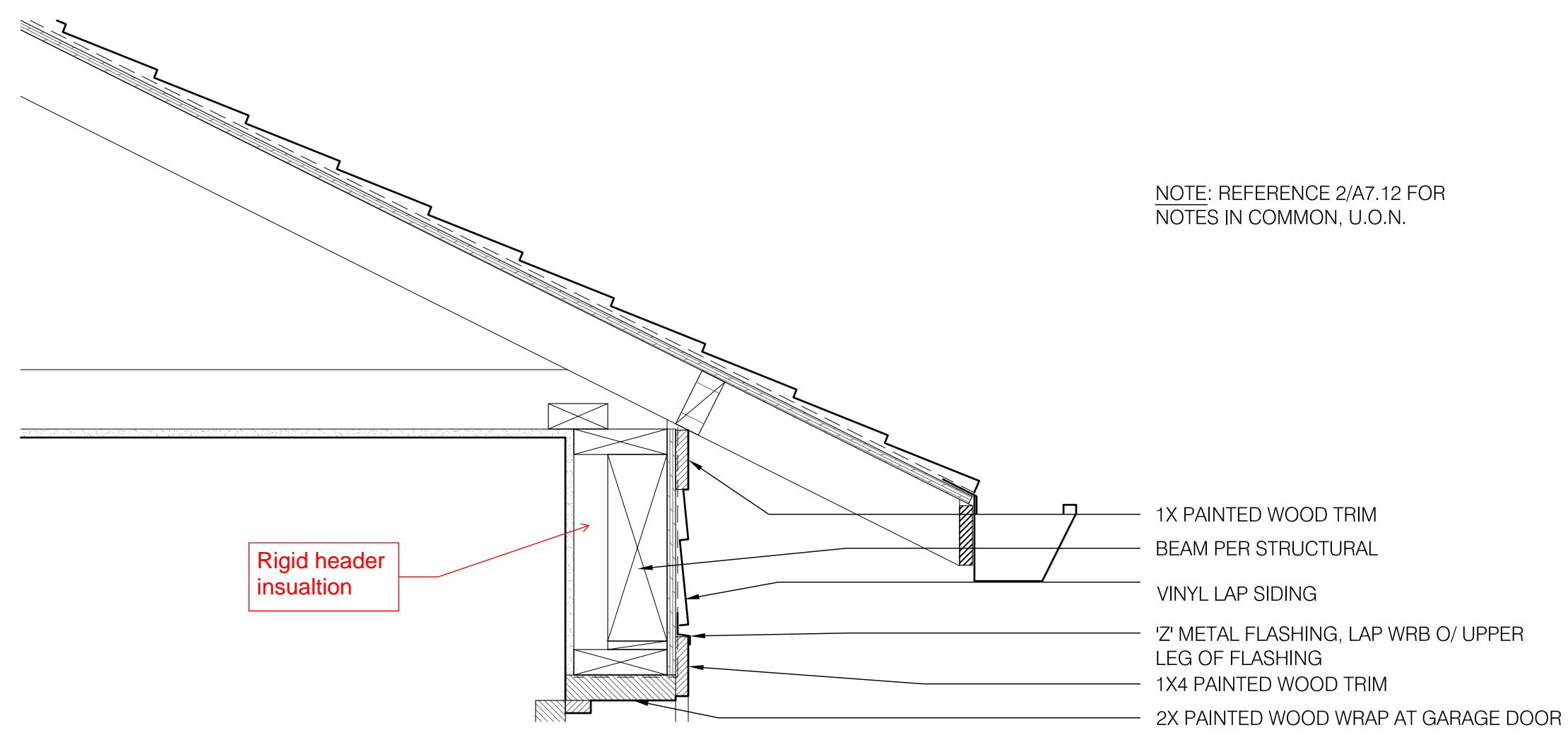
NOTE: REFERENCE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION, TYP.



2 DETAIL - ROOF EAVE TYP.
1 1/2" = 1'-0"



6 DETAIL - ROOF EAVE AT VAULTED CEILING
1 1/2" = 1'-0"



10 DETAIL - ROOF EAVE AT GARAGE DOOR HEAD
1 1/2" = 1'-0"

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10044 REGISTERED ARCHITECT
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11 X 17 = HALF SIZE

DRAWING TITLE:

EXTERIOR DETAILS

SHEET NUMBER:

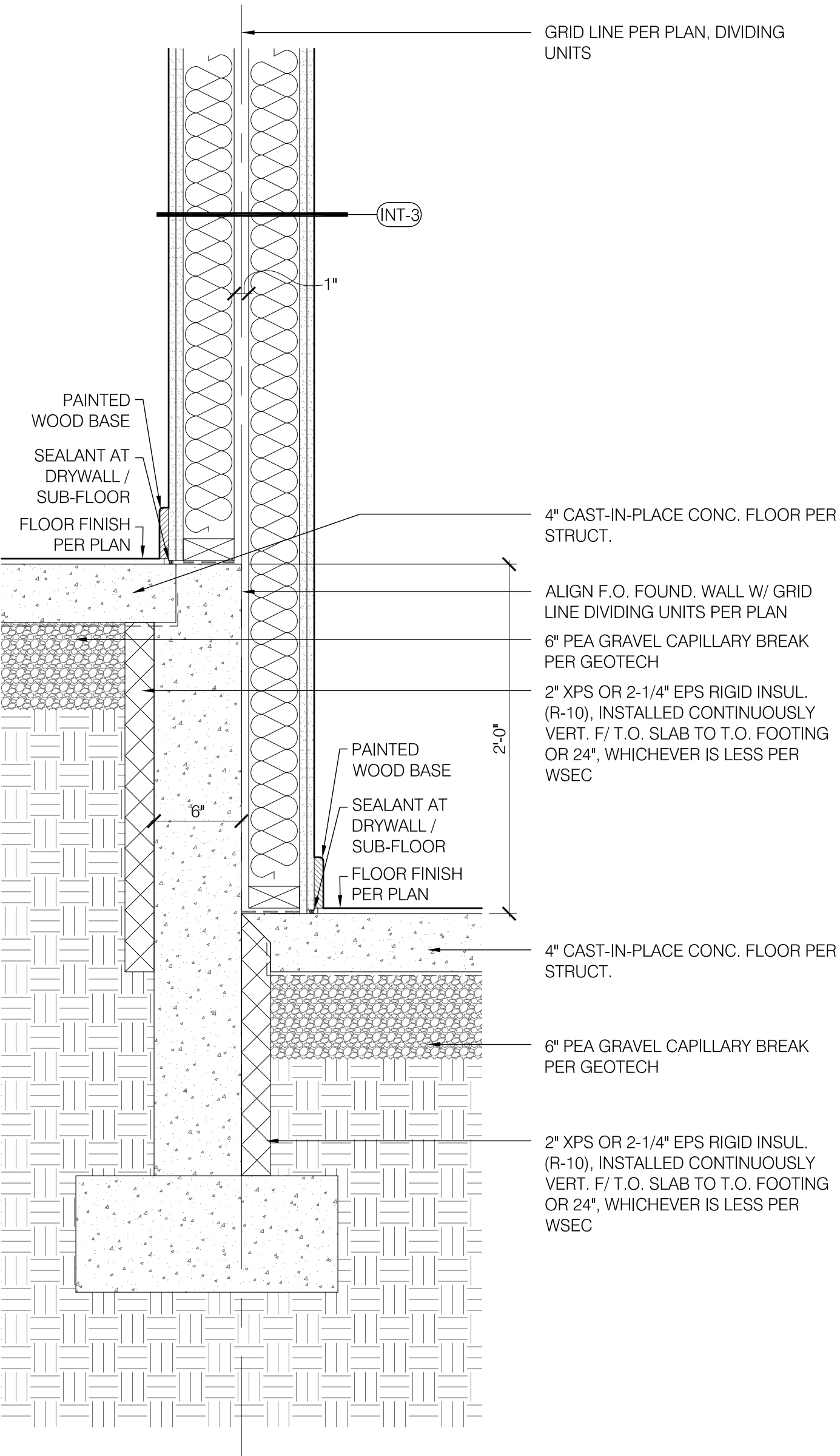
A7.2

BLDG. PERMIT APPLIC.

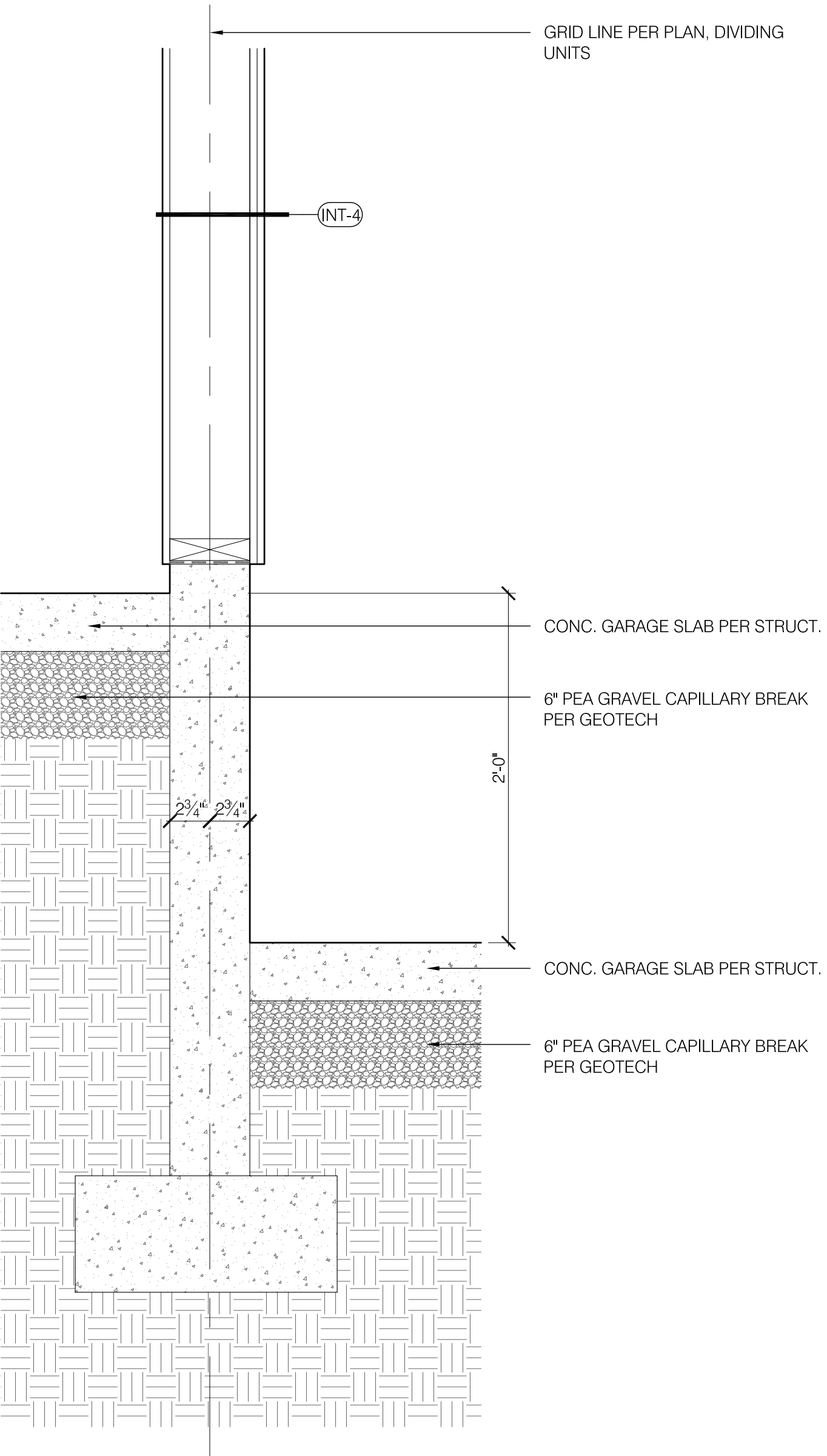
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5 DETAIL - STEPPED FOUNDATION WALL AT PARTY WALL
1 1/2"= 1'-0"

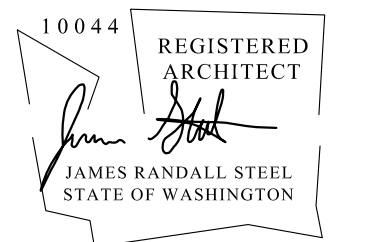


1 DETAIL - STEPPED FOUNDATION WALL AT GARAGE PARTY WALL
1 1/2"= 1'-0"

NOTE:
REFERENCE STRUCTURAL
DRAWINGS FOR ALL STRUCTURAL
INFORMATION, TYP.

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ISSUANCES:	
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11 X 17 = HALF SIZE

DRAWING TITLE:

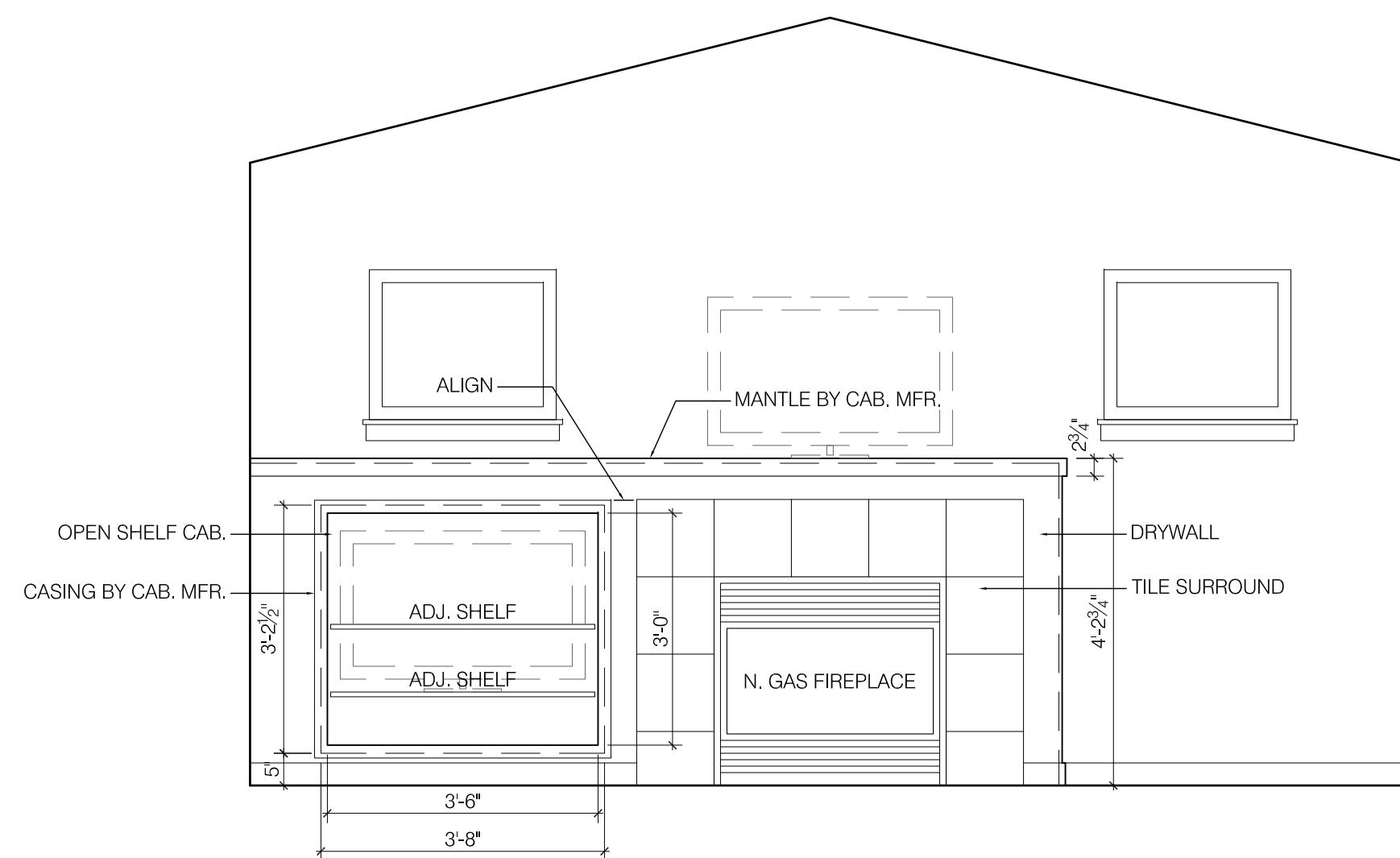
EXTERIOR DETAILS

SHEET NUMBER:

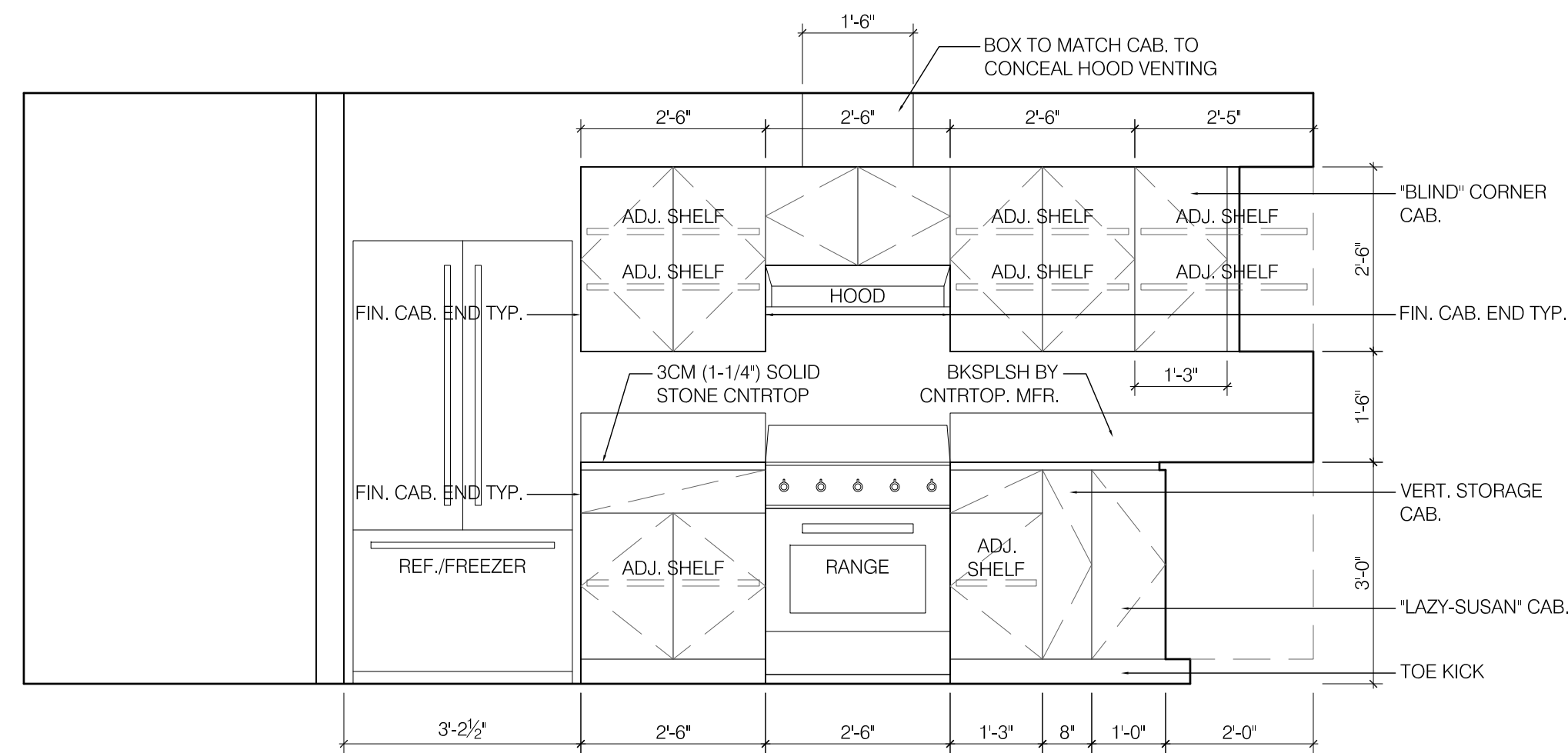
A7.3

BLDG. PERMIT APPLIC.

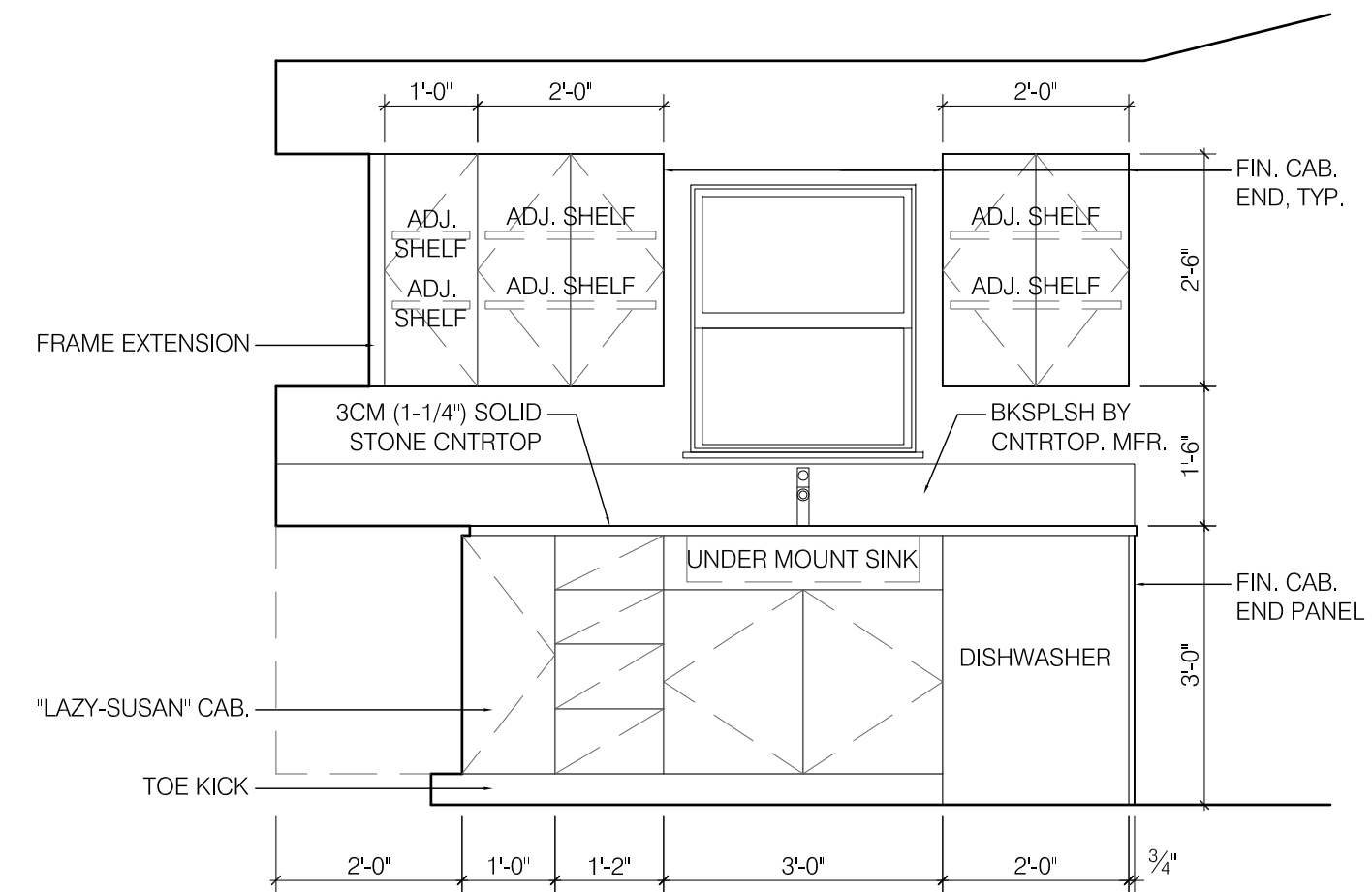
See Engineered Plans



1 LIVING RM (06) ELEV.
1/2" = 1'-0"

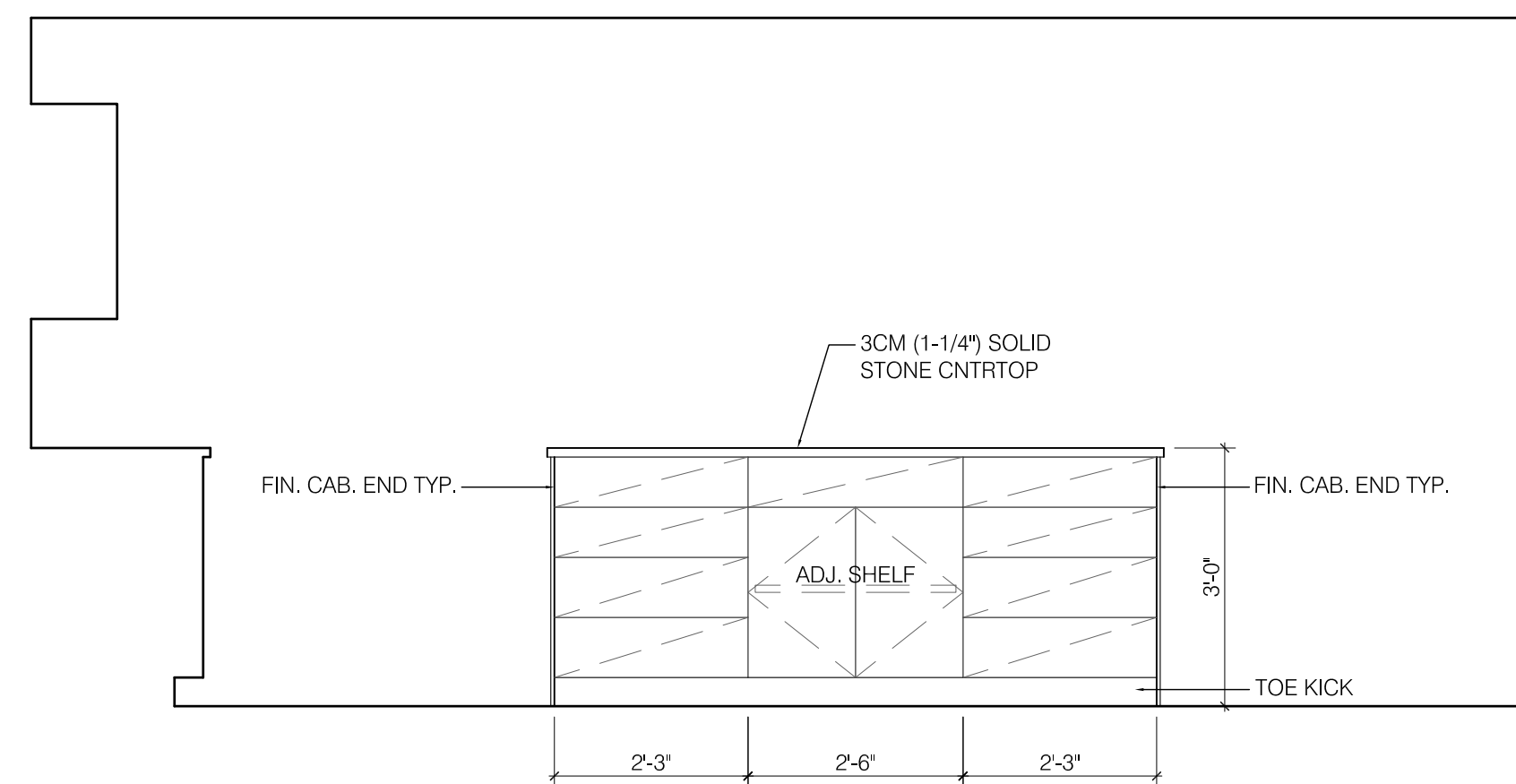


2 KITCHEN (05) ELEV.
1/2" = 1'-0"

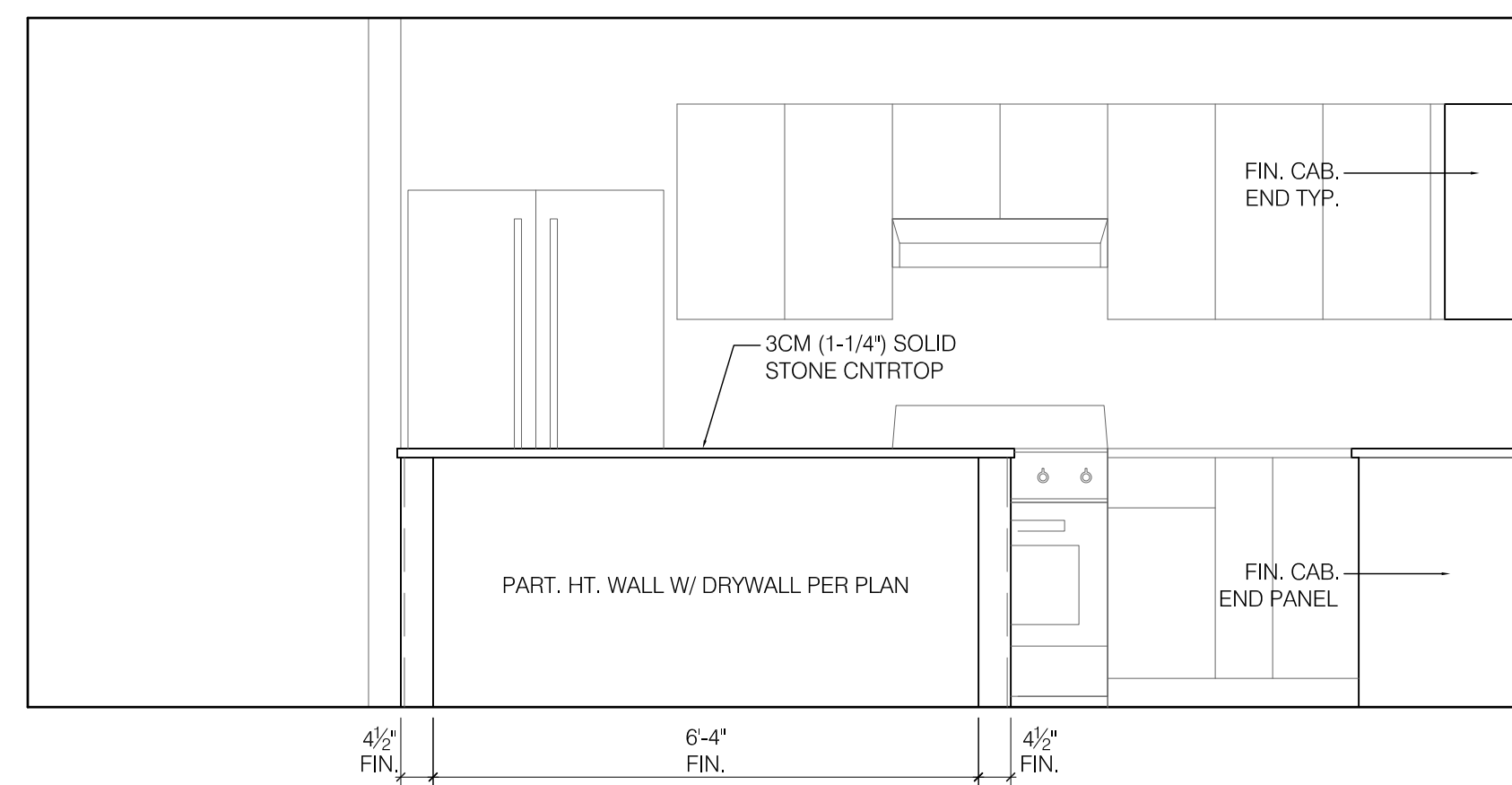


3 KITCHEN (05) ELEV.
1/2" = 1'-0"

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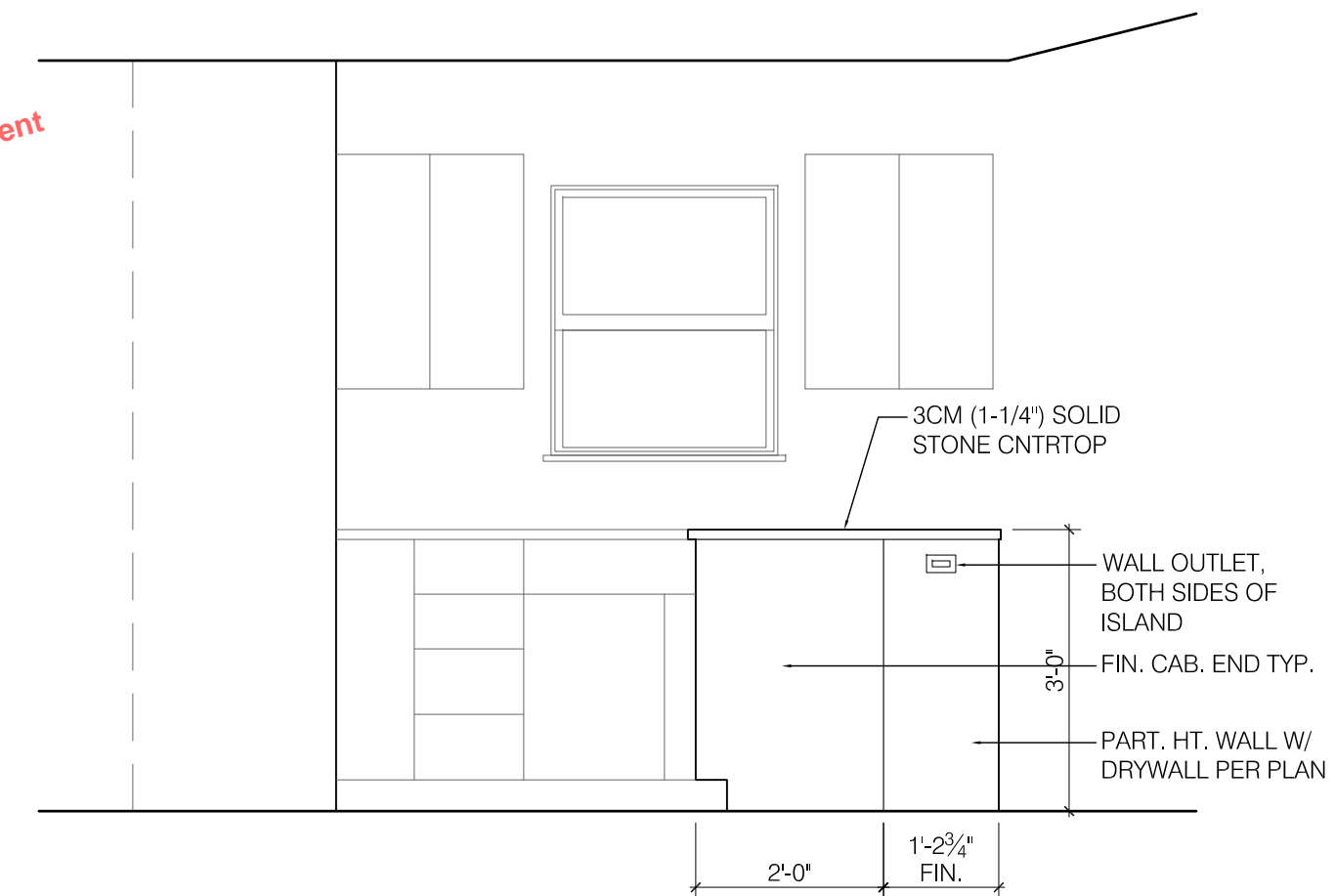


4 KITCHEN (05) ELEV.
1/2" = 1'-0"



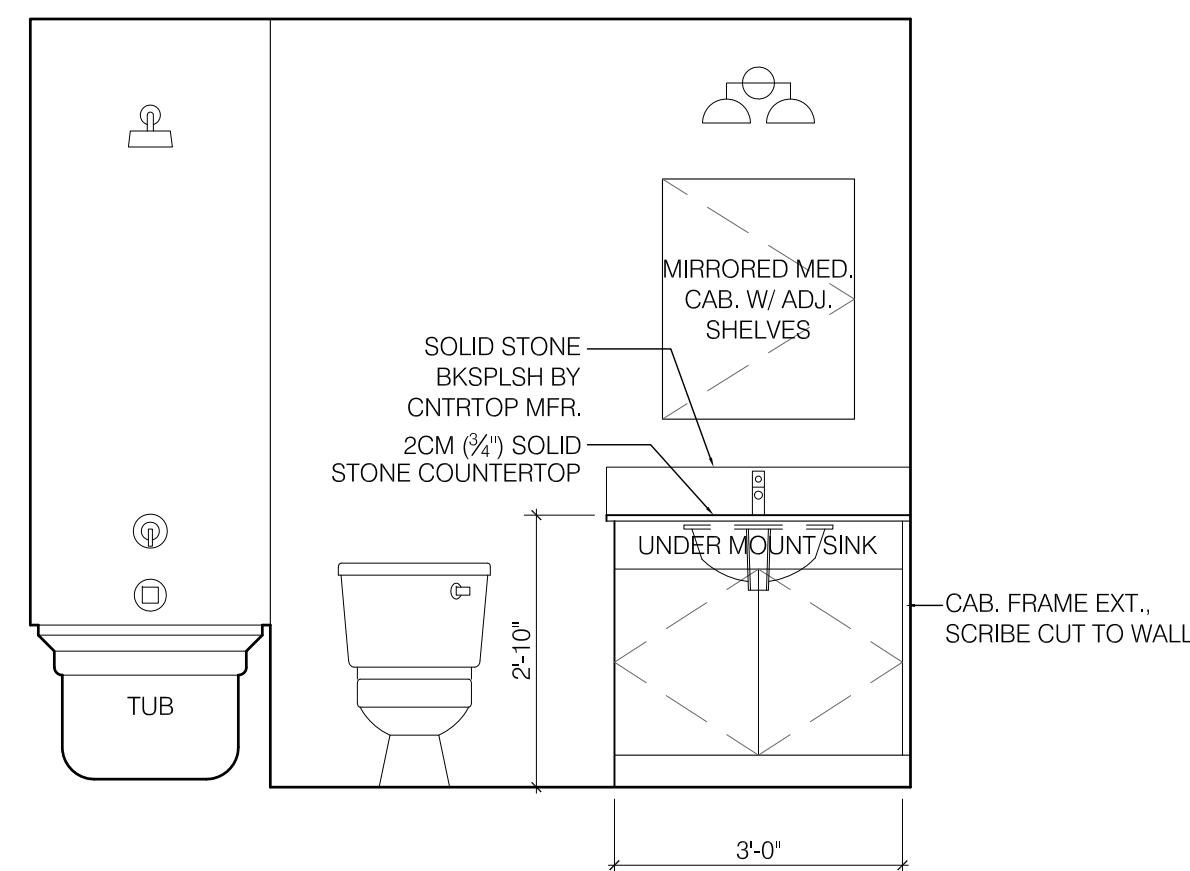
5 KITCHEN (05) ELEV.
1/2" = 1'-0"

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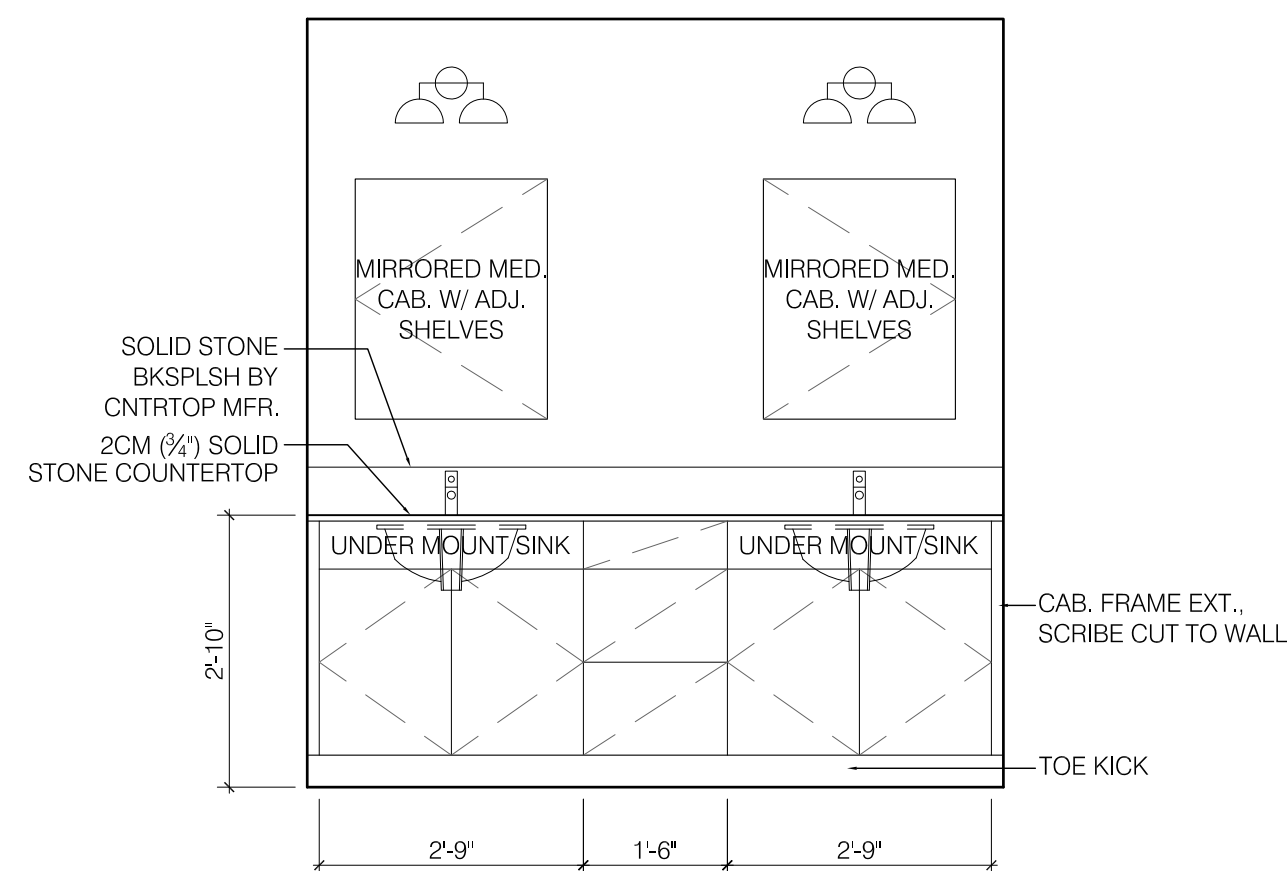


6 KITCHEN (05) ELEV.
1/2" = 1'-0"

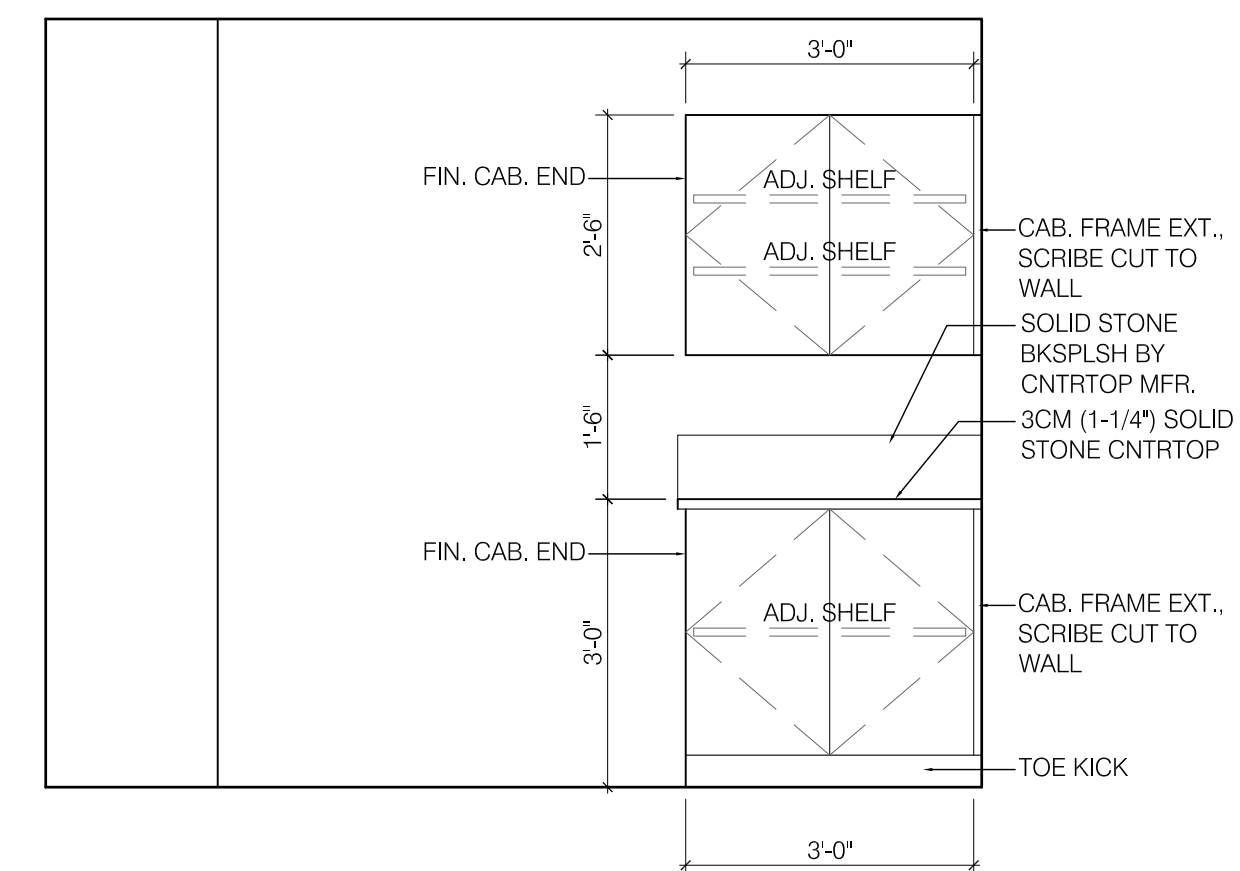
NOTE:
ELEVATIONS SHOWN REFLECT UNIT 'A'
CONFIGURATION. UNIT 'B' ELEVATIONS
ARE SIMILAR BUT MIRRORED.



7 G. BATHROOM (04) ELEV.
1/2" = 1'-0"



8 M. BATHROOM (12) ELEV.
1/2" = 1'-0"

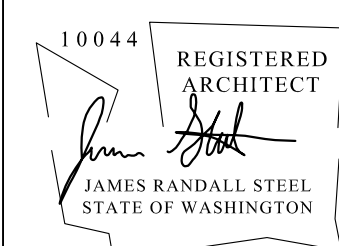


9 UTILITY ROOM (08) ELEV.
1/2" = 1'-0"

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ISSUANCES:

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1	REV 1	2019.04.10

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11 X 17 =	HALF SIZE

DRAWING TITLE:

INTERIOR ELEVATIONS -
BUILDING TYPE Y

SHEET NUMBER:

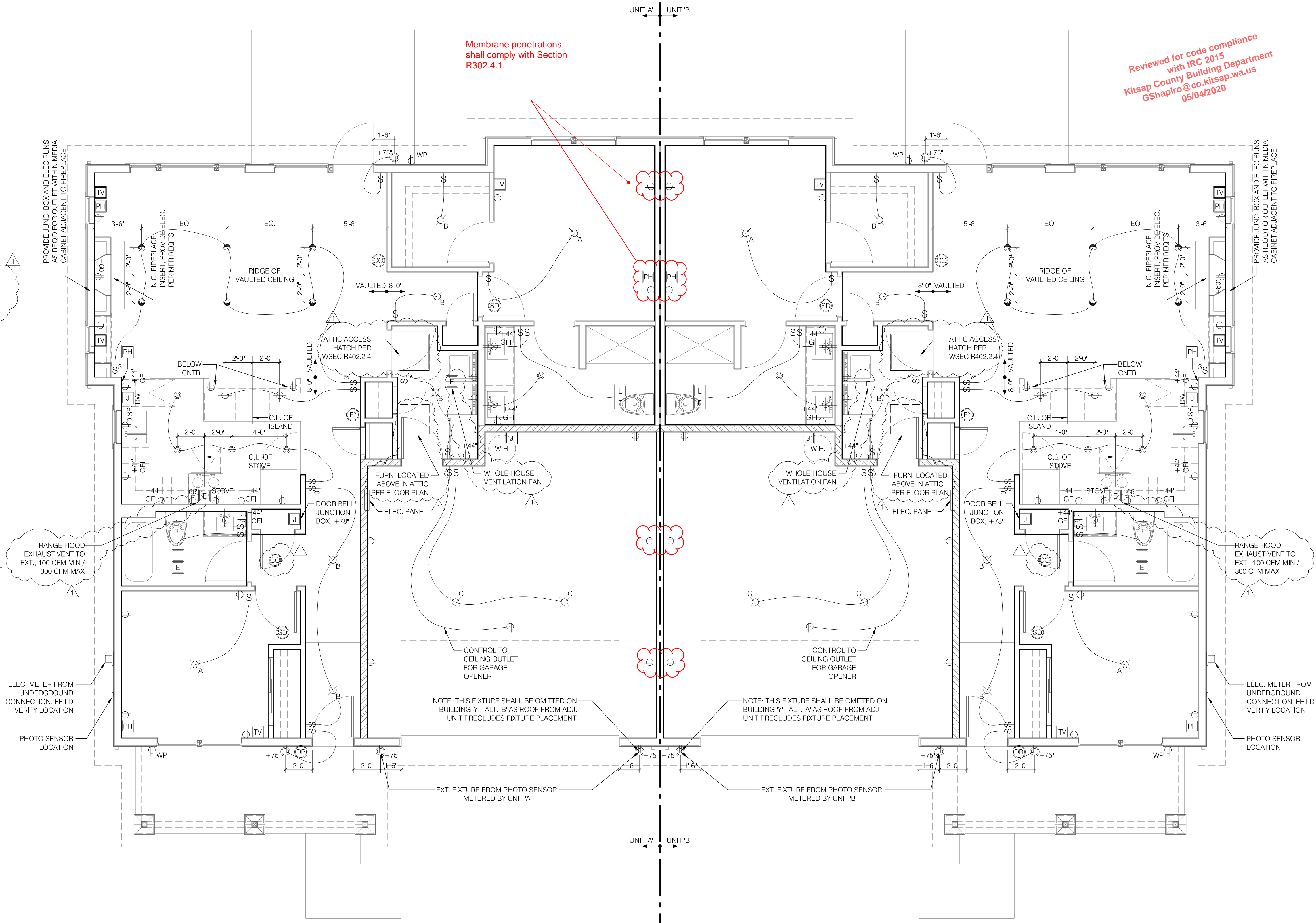
A8.1

BLDG. PERMIT APPLIC.

SYMBOLS LEGEND AND NOTES - ALL BUILDINGS

- EXTERIOR WALL MOUNTED FIXTURE
WALL MOUNTED VANITY FIXTURE
CEILING MOUNTED PENDANT
CEILING MOUNTED FIXTURE
CEILING MOUNTED GARAGE FIXTURE
RECESSED CAN
'EYE BALL' RECESSED CAN
OUTLET
OUTLET - 240 V
SWITCH
3-WAY SWITCH
CARBON MONOXIDE (CO) & SMOKE DETECTOR COMBINATION
SMOKE DETECTOR
DOOR BELL BUTTON
WALL MOUNTED THERMOSTAT
50 CFM HIGH EFFIC. (MIN. 1.4 CFM/WATT) EXHAUST FAN
50 CFM HIGH EFFIC. (MIN. 1.4 CFM/WATT) EXHAUST FAN AND LIGHT ON TIMER
JUNCTION BOX
CABLE TELEVISION CONNECTION
TELEPHONE CONNECTION

- NOTES:
1. ELEC. CONTRACTOR TO VERIFY OUTLET & SWITCH LOCATIONS AND PROVIDE FOR ADDITIONAL OUTLETS/SWITCHES AS REQ'D BY CODE.
2. ELEC. CONTRACTOR TO CONFIRM AND PROVIDE FOR APPLIANCE AND MECH. UNIT LOCATION/ELEC. SUPPLY PER MFR.
3. EXTERIOR LIGHT FIXTURES TO BE INSTALLED PER EXT. ELEVATIONS.
4. GFI OUTLETS ARE TO BE USED IN ALL WET AREAS.
5. SMOKE DETECTORS ARE TO BE HARDWIRED WITH BATTERY BACKUP. ONE CARBON MONOXIDE DETECTOR TO BE INSTALLED IN EACH RESIDENTIAL UNIT.
6. WHOLE HOUSE VENTILATION SHALL BE MET WITH ONE HIGH EFFICIENCY FAN (MAX 0.35 WATTS/SFM) INSTALLED IN LAUNDRY ROOM OF EACH RESIDENTIAL UNIT PER WSEC TABLE 406.2/CREDIT 2.A AND IRC M1507.3.



Membrane penetrations shall comply with Section R302.4.1.

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ISSUANCES:

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11 X 17 = HALF SIZE

DRAWING TITLE:

ELECTRICAL / REFLECTED
CEILING PLAN -
BUILDING TYPE Y

SHEET NUMBER:

E1.1

BLDG. PERMIT APPLIC.

1 ELECTRICAL / REFLECTED CEILING PLAN - BUILDING TYPE Y
1/4" = 1'-0"